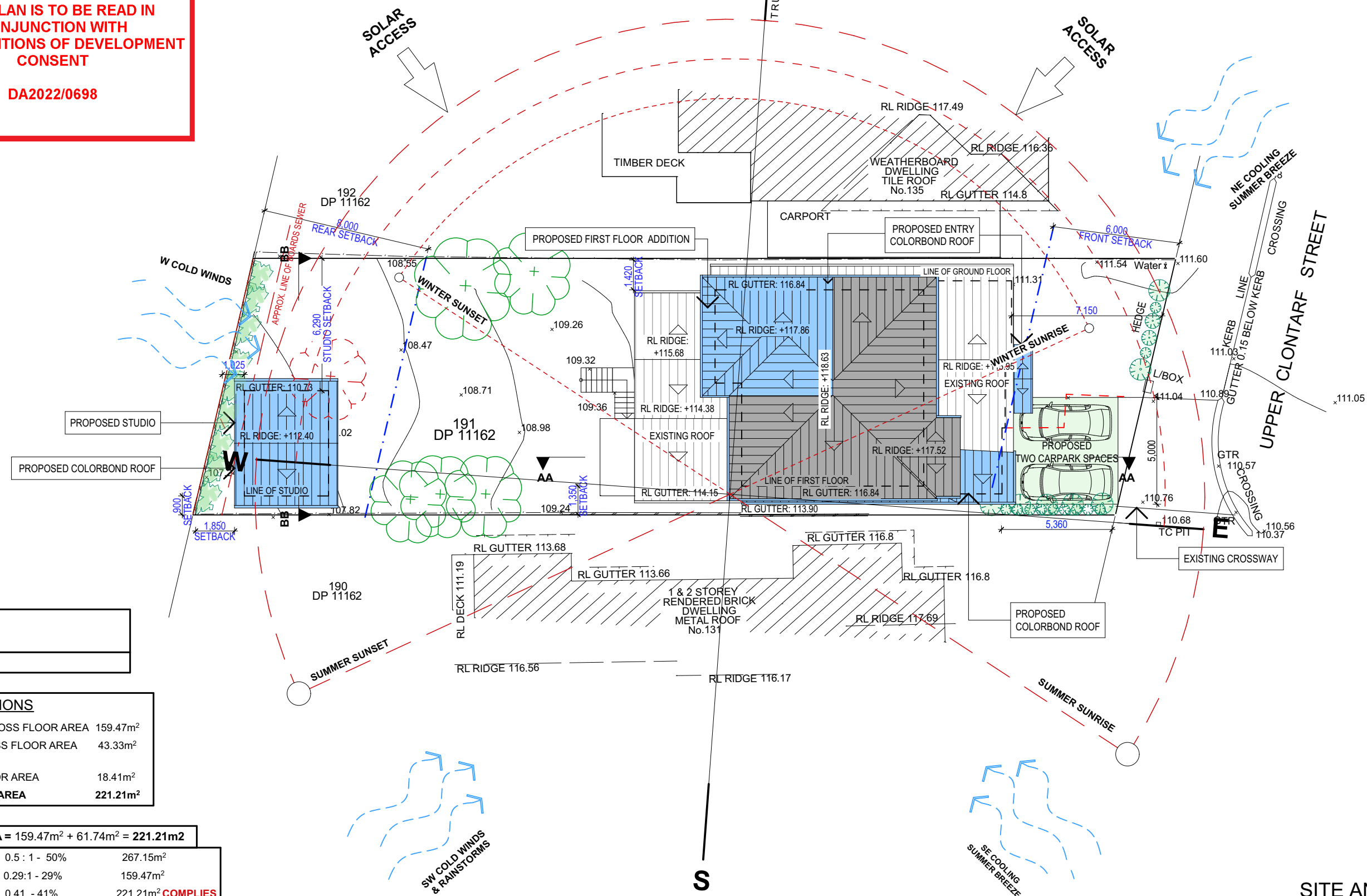




**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2022/0698



LOT	191
DP	11162
SITE AREA = 534.3 m²	

AREA CALCULATIONS

APPROX. EXISTING GROSS FLOOR AREA	159.47m ²
PROPOSED NEW GROSS FLOOR AREA (EXCLUDING STUDIO)	43.33m ²
APPROX. STUDIO FLOOR AREA	18.41m ²
TOTAL GROSS FLOOR AREA	221.21m²

GROSS FLOOR AREA = $159.47\text{m}^2 + 61.74\text{m}^2 = 221.21\text{m}^2$

FSR MAXIMUM =	0.5 : 1 - 50%	267.15m ²
EXISTING FSR =	0.29:1 - 29%	159.47m ²
PROPOSED FSR =	0.41 - 41%	221.21m ² COMPLIES

TRUE NORTH:



NOTES (E & OE)

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- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

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ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	10/12/2021	PROPOSED STUDIO
AB	17/12/2021	MINOR CHANGES
AC	24/01/2022	MINOR CHANGES
AD	03/02/2022	ROOF CHANGES
AE	14/03/2022	AMENDMENTS TO PRELIM DRAWINGS
AF	24/03/2022	DA DRAWINGS

PROPOSED ALTERATIONS AND ADDITIONS
133 UPPER CLONTARF ST. SEAFORTH

CLIENT:
RICHARD AND REBECCA

DRAWING TITLE:
SITE ANALYSIS PLAN

DATE:
NOW/21

JOB No:
970/21

DRAWN BY:
EV

CHECKED BY:
JJ

SCALE:
1:200 @ A3

DRAWING No:

DA.01

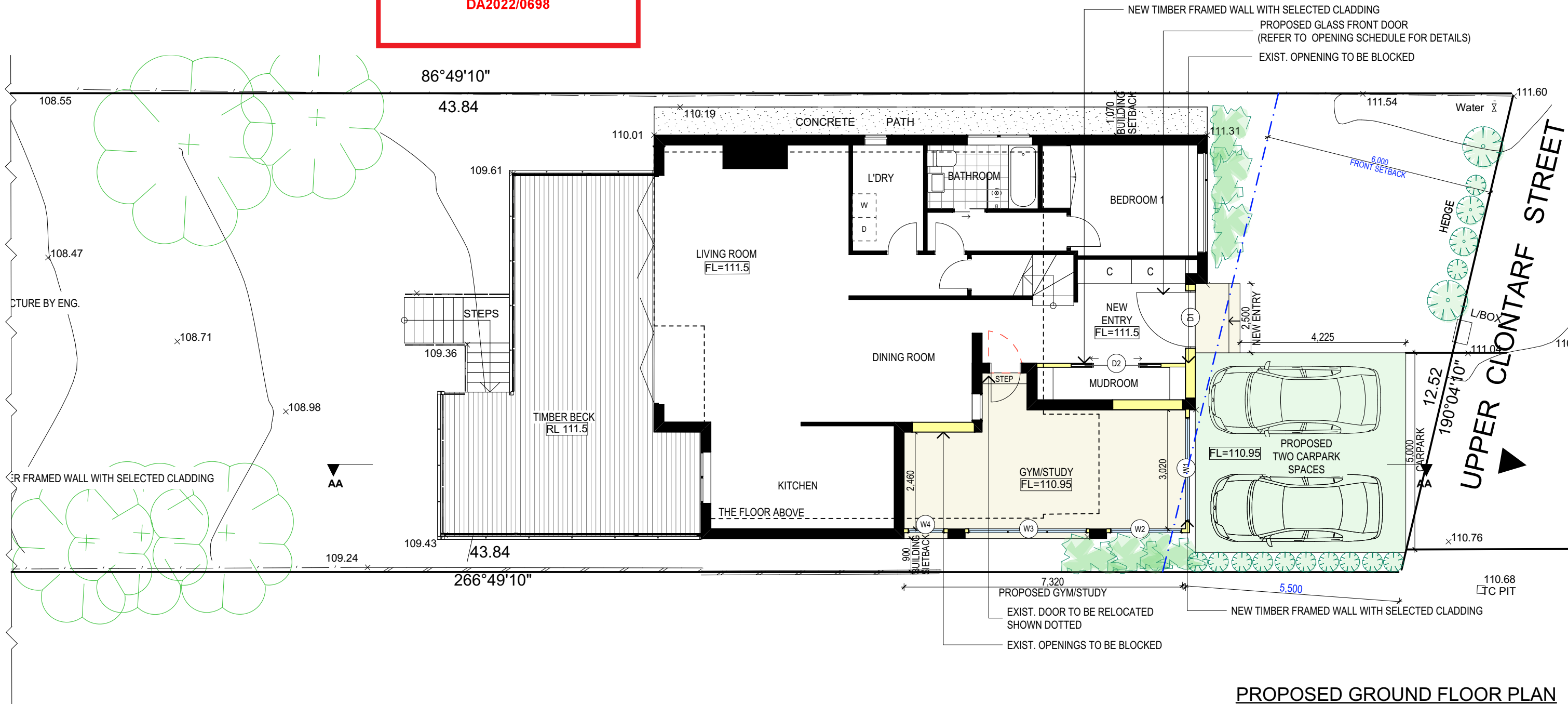
SITE ANALYSIS



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beaches
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CONSENT

DA2022/0698



PROPOSED GROUND FLOOR PLAN

GROUND FL. AREA CALCULATIONS

APPROX. EXISTING GROSS FLOOR AREA	101.21m ²
PROPOSED NEW GROSS FLOOR AREA (EXCLUDING STUDIO)	21.82m ²
APPROX. STUDIO FLOOR AREA	18.41m ²
TOTAL GROSS FLOOR AREA	185.37m ²

TRUE NORTH:



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AF	24/03/2022	DA DRAWINGS

PROPOSED ALTERATIONS AND ADDITIONS
133 UPPER CLONTARF ST. SEAFORTH
CLIENT:
RICHARD AND REBECCA

DRAWING TITLE:
GROUND FLOOR PLAN

DATE:
NOW/21

DRAWN BY:
EV

SCALE:
1:100 @ A3

JOB No:
970/21

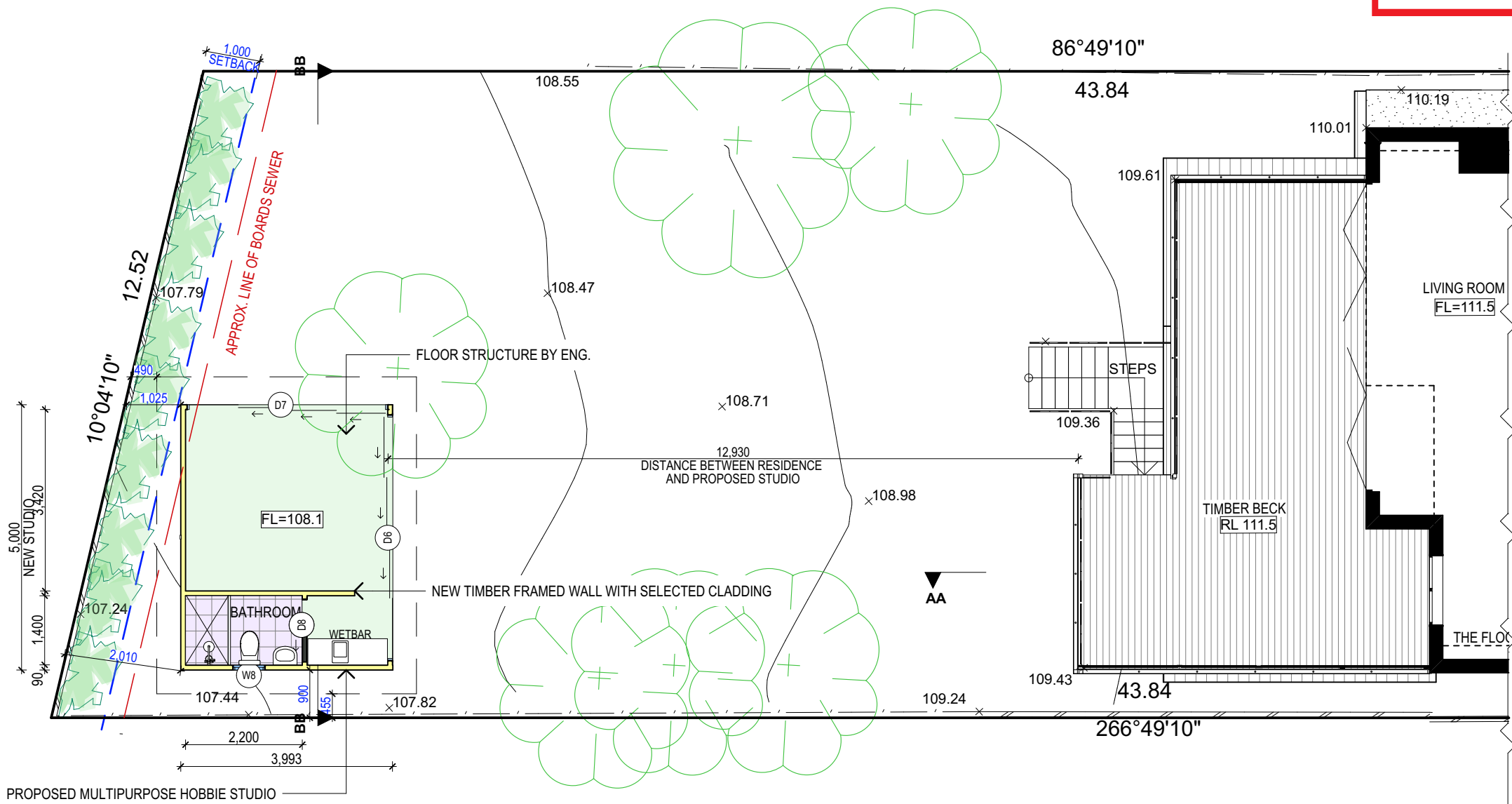
CHECKED BY:
JJ

DRAWING No:
DA.06



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PROPOSED STUDIO FLOOR PLAN

TRUE NORTH:



NOTES (E & OE)

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PROPOSED ALTERATIONS AND ADDITIONS
133 UPPER CLONTARF ST. SEAFORTH
CLIENT:
RICHARD AND REBECCA

DRAWING TITLE:
STUDIO FLOOR PLAN

DATE:
NOW/21

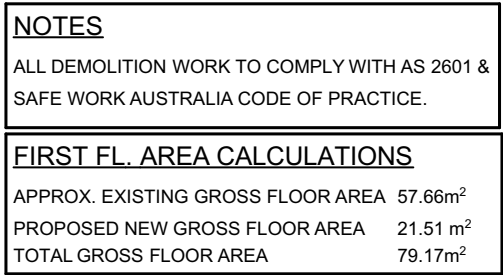
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EV

SCALE:
1:100 @ A3

JOB No:
970/21

CHECKED BY:
JJ

DRAWING No:
DA.07



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- All dimensions are to be checked on site prior to starting work.
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PROPOSED ALTERATIONS AND ADDITIONS 133 UPPER CLONTARF ST. SEAFORTH CLIENT: RICHARD AND REBECCA
DRAWING TITLE: PROPOSED FIRST FLOOR

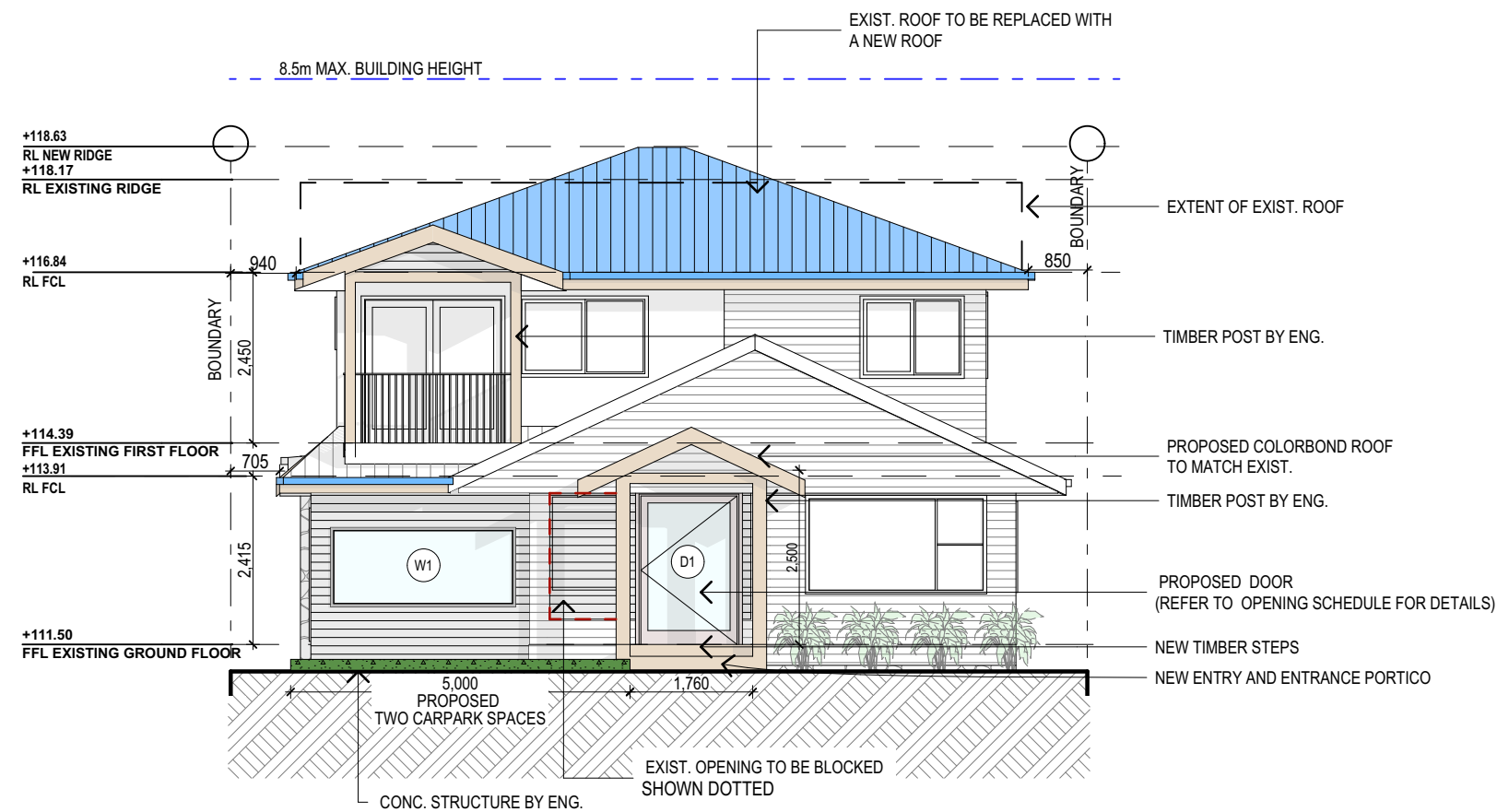
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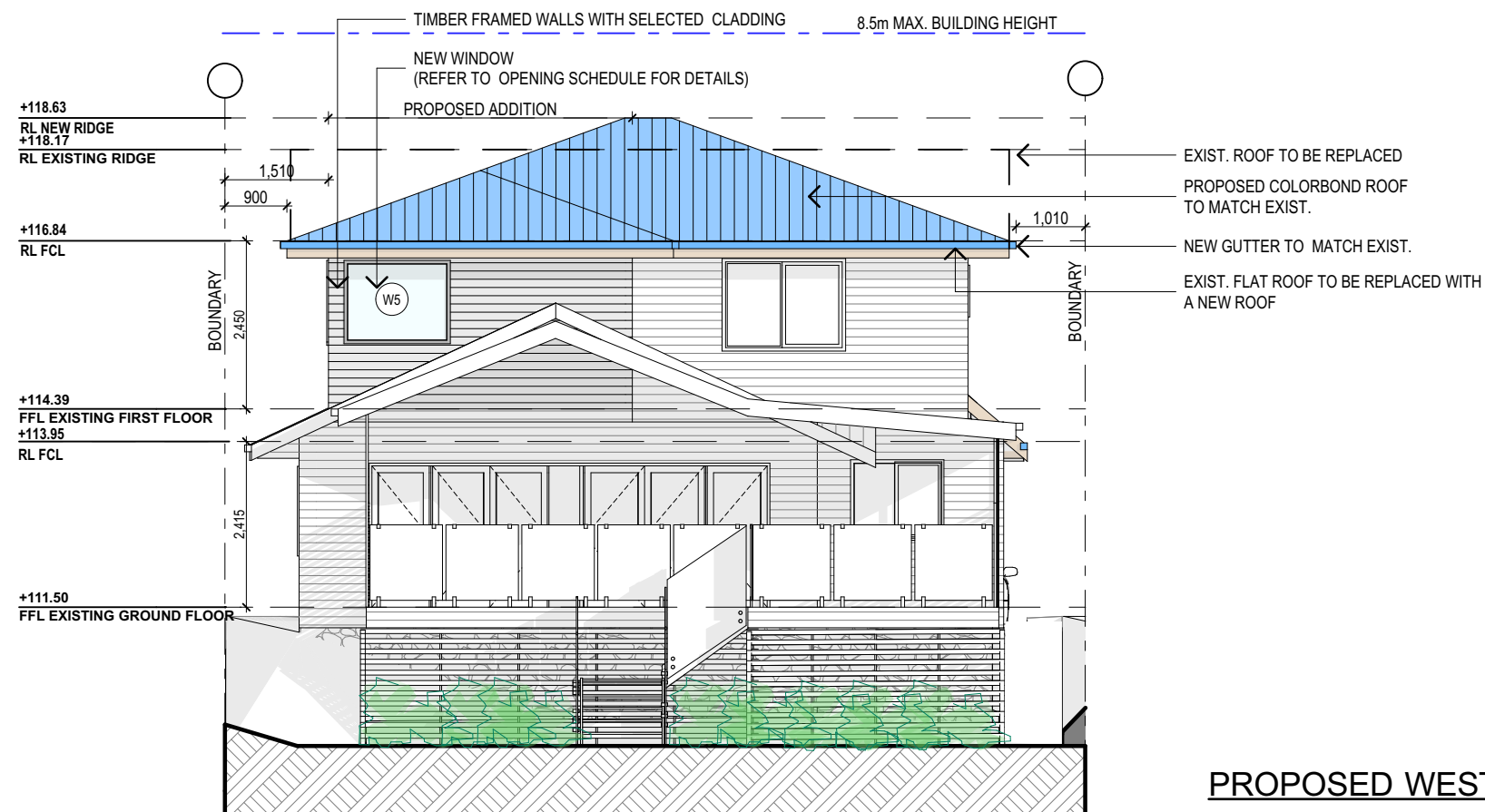
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PROPOSED EAST ELEVATION



PROPOSED WEST ELEVATION

NOTES (E & OE)

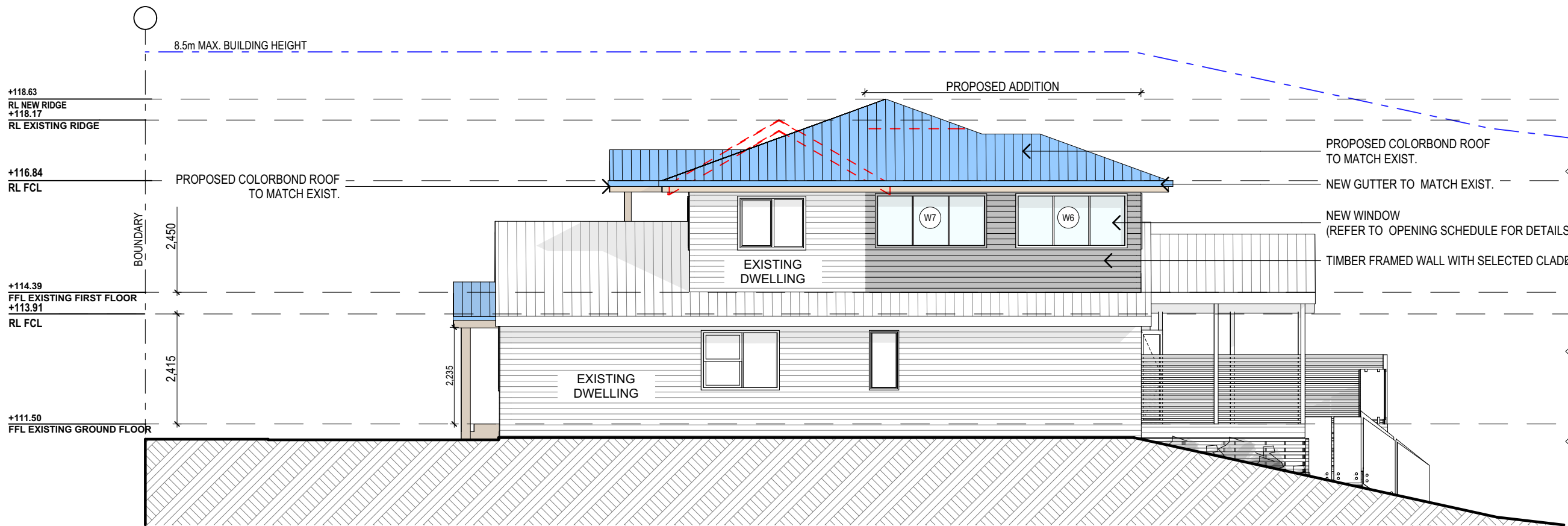
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PROPOSED ALTERATIONS AND ADDITIONS 133 UPPER CLONTARF ST. SEAFORTH CLIENT: RICHARD AND REBECCA	DRAWING TITLE: ELEVATIONS SHEET 1
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DATE: NOW/21	DRAWN BY: EV	SCALE: 1:100 @ A3
JOB No: 970/21	CHECKED BY: JJ	DRAWING No: DA.09



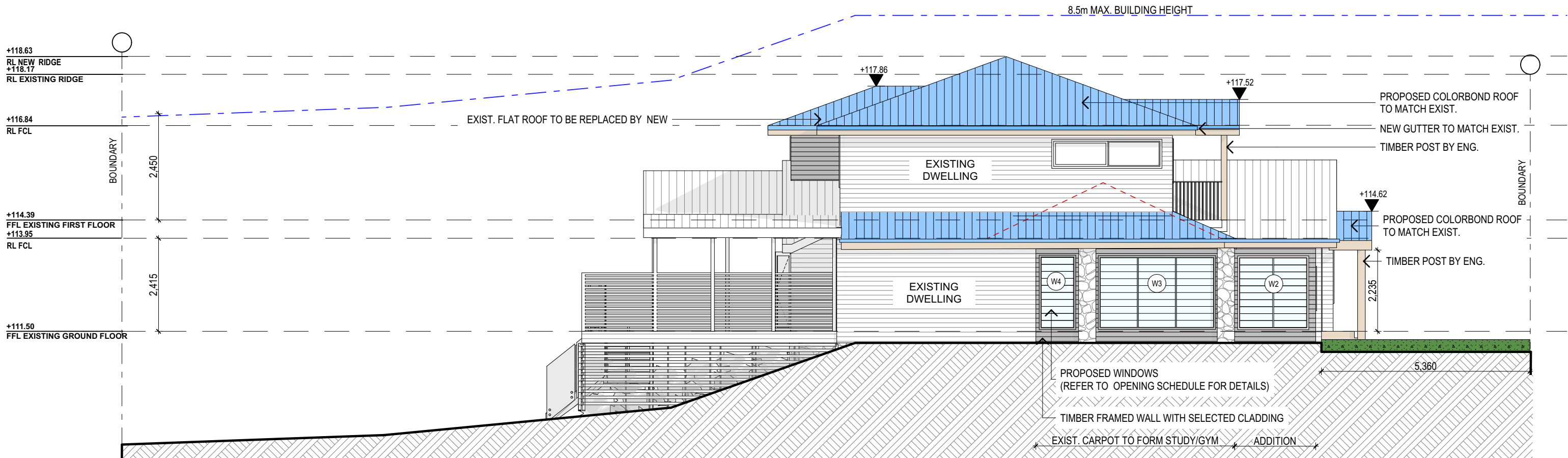


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PROPOSED NORTH ELEVATION



PROPOSED SOUTH ELEVATION

NOTES (E & OE)

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PROPOSED ALTERATIONS AND ADDITIONS
133 UPPER CLONTARF ST. SEAFORTH

CLIENT:
RICHARD AND REBECCA

DRAWING TITLE:
ELEVATIONS SHEET 2

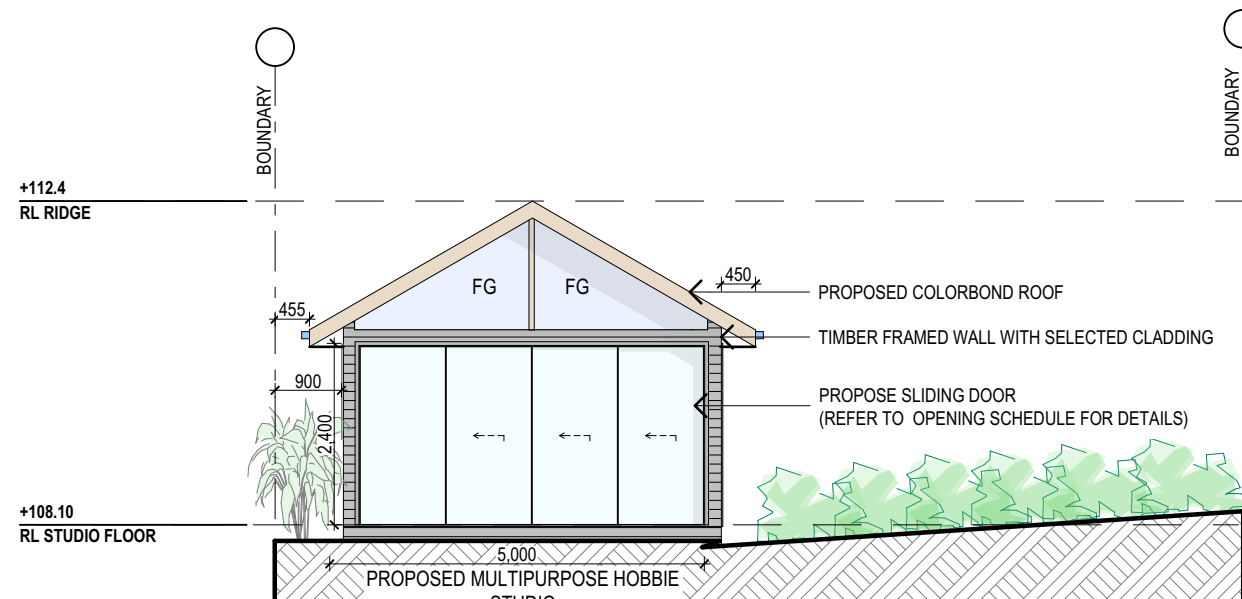
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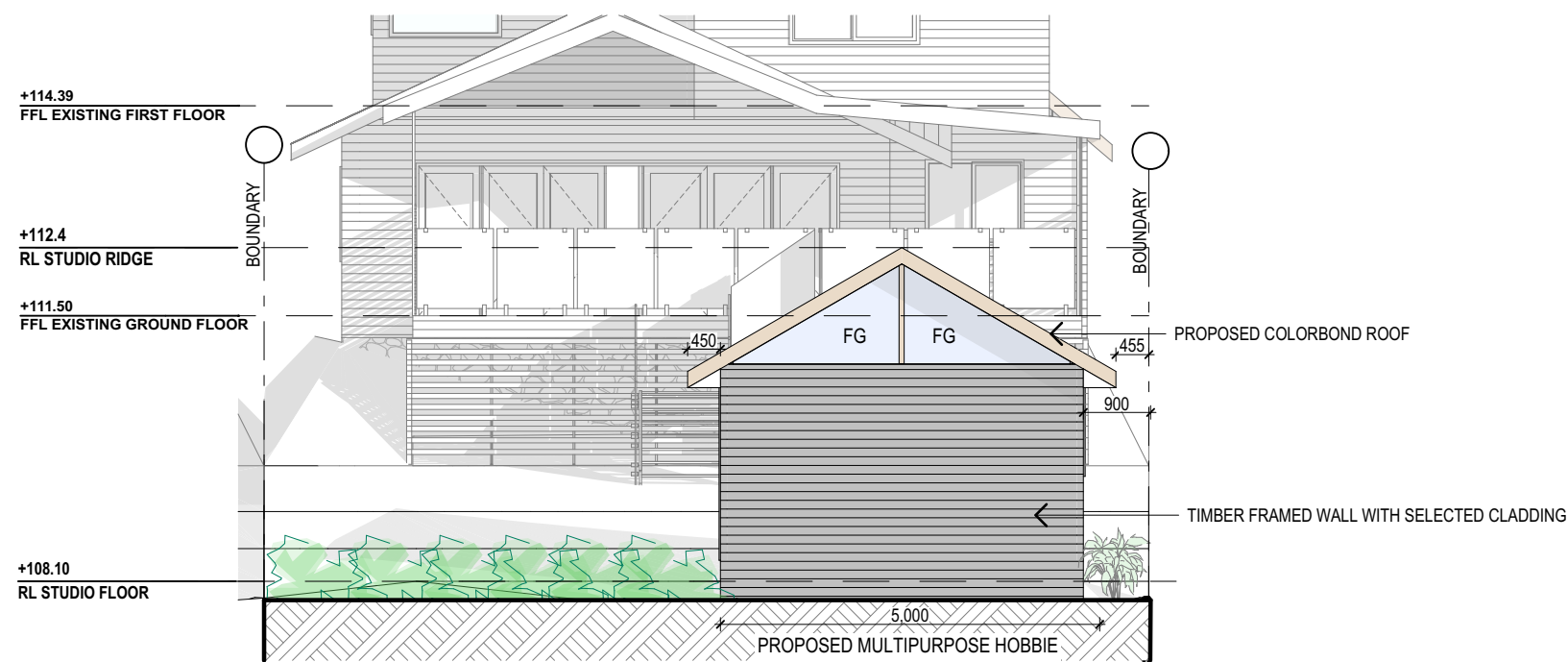
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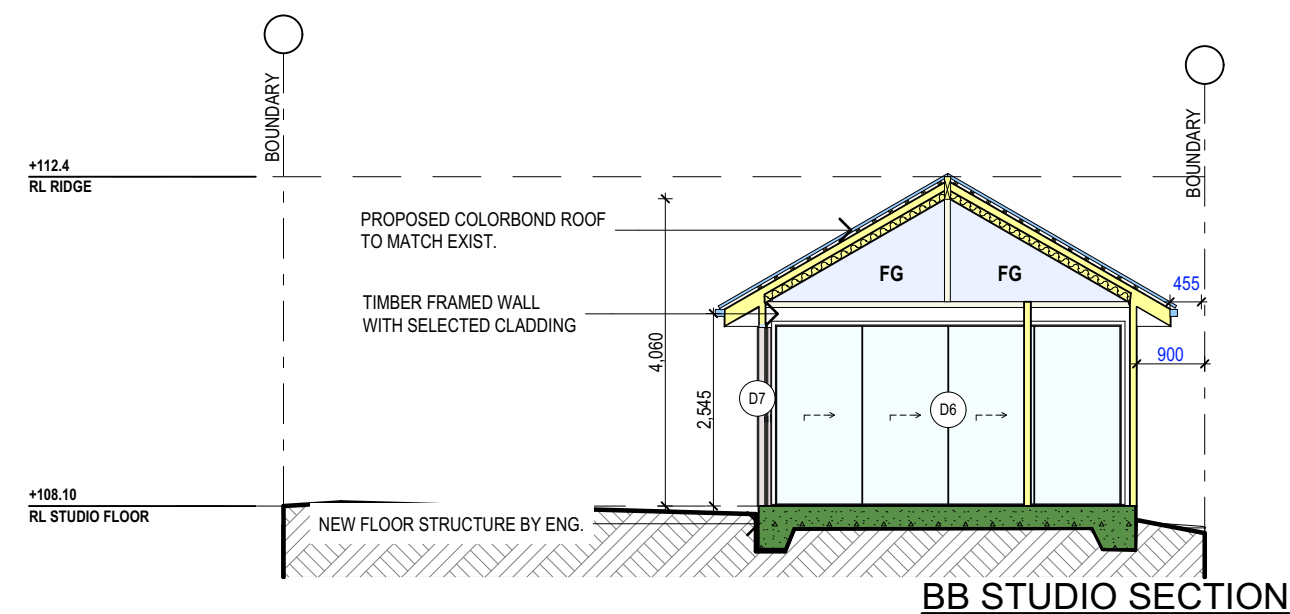
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PROPOSED STUDIO EAST ELEVATION



PROPOSED STUDIO WEST ELEVATION



BB STUDIO SECTION

NOTES (E & OE)

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PROPOSED ALTERATIONS AND ADDITIONS 133 UPPER CLONTARF ST. SEAFORTH CLIENT: RICHARD AND REBECCA	DRAWING TITLE: ELEVATIONS SHEET 3
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DATE: NOW/21	DRAWN BY: EV	SCALE: 1:100 @ A3
JOB No: 970/21	CHECKED BY: JJ	DRAWING No: DA.11

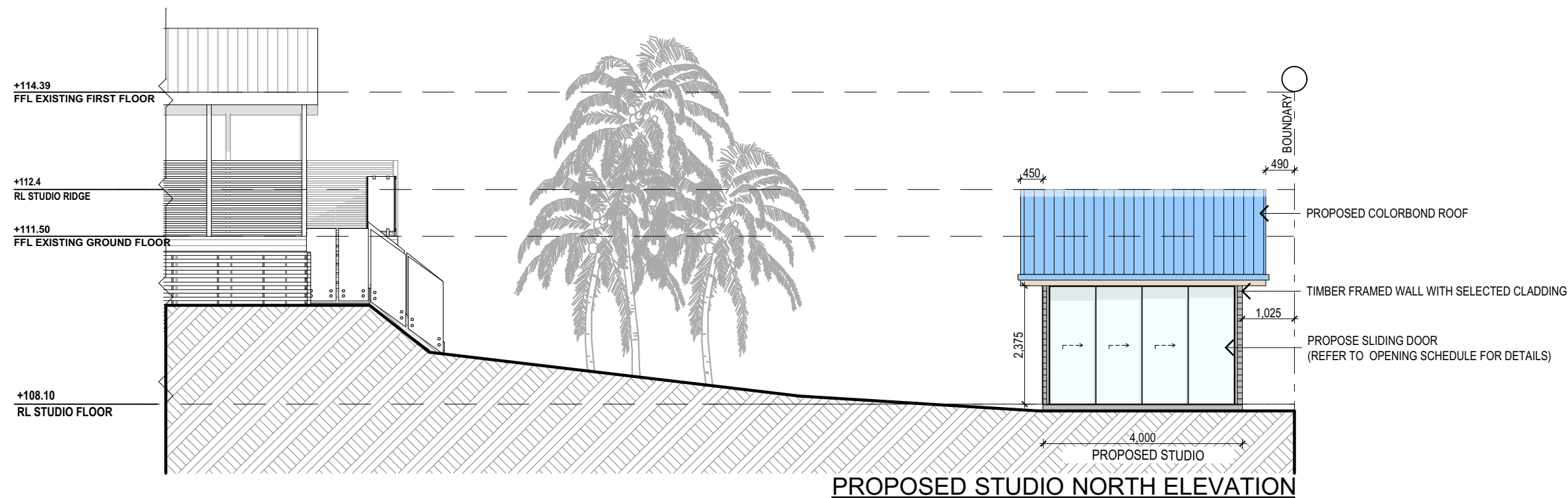


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TRUE NORTH: 	NOTES (E & OE) • All structures including stormwater & drainage to engineer's details. • Do not obtain dimensions by scaling drawings. • All dimensions are to be checked on site prior to starting work. • These drawings are to be read in conjunction with all other consultant's drawings and specifications. • All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. • New materials are to be used throughout unless otherwise noted. • Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	JJ Drafting Division of JJ DRAFTING AUSTRALIA PTY LTD 26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 Email. jjdraft@tpg.com.au www.jjdrafting.com.au ACN 651 693 346	<table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td>A</td><td>10/12/2021</td><td>PROPOSED STUDIO</td></tr><tr><td>AB</td><td>17/12/2021</td><td>MINOR CHANGES</td></tr><tr><td>AC</td><td>24/01/2022</td><td>MINOR CHANGES</td></tr><tr><td>AD</td><td>03/02/2022</td><td>ROOF CHANGES</td></tr><tr><td>AE</td><td>14/03/2022</td><td>AMENDMENTS TO PRELIM DRAWINGS</td></tr><tr><td>AF</td><td>24/03/2022</td><td>DA DRAWINGS</td></tr></table>	REV:	DATE:	DESCRIPTION:	A	10/12/2021	PROPOSED STUDIO	AB	17/12/2021	MINOR CHANGES	AC	24/01/2022	MINOR CHANGES	AD	03/02/2022	ROOF CHANGES	AE	14/03/2022	AMENDMENTS TO PRELIM DRAWINGS	AF	24/03/2022	DA DRAWINGS	<table><tr><td>PROPOSED ALTERATIONS AND ADDITIONS 133 UPPER CLONTARF ST. SEAFORTH CLIENT: RICHARD AND REBECCA</td><td>DATE: NOW/21</td><td>DRAWN BY: EV</td><td>SCALE: 1:100 @ A3</td></tr><tr><td>DRAWING TITLE: ELEVATIONS SHEET 4</td><td>JOB No: 970/21</td><td>CHECKED BY: JJ</td><td>DRAWING No: DA.12</td></tr></table>	PROPOSED ALTERATIONS AND ADDITIONS 133 UPPER CLONTARF ST. SEAFORTH CLIENT: RICHARD AND REBECCA	DATE: NOW/21	DRAWN BY: EV	SCALE: 1:100 @ A3	DRAWING TITLE: ELEVATIONS SHEET 4	JOB No: 970/21	CHECKED BY: JJ	DRAWING No: DA.12
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DRAWING TITLE: ELEVATIONS SHEET 4	JOB No: 970/21	CHECKED BY: JJ	DRAWING No: DA.12																														

BASIX REQUIREMENTS

BASIX INCLUSIONS FOR 133 UPPER CLONTARF ROAD

LIGHTING

40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

WATER

SHOWER RATING MIN. 3 STARS
TAP RATING MIN. 3 STARS
WC RATING MIN. 3 STARS

INSULATION

CONSTRUCTION ADDITIONAL INSULATION REQUIRED (R-VALUE)

CONCRETE SLAB ON GROUND	Nil
SUSPENDED FLOOR WITH OPEN SUBFLOOR: FRAMED (R0.7)	R0.8 (DOWN) (OR R1.50 INCLUDING CONSTRUCTION)
FLOOR ABOVE EXISTING DWELLING OR BUILDING	Nil
FLAR CEILING PITCHED ROOF	CEILING: R1.95 (UP), ROOF: FOIL BACKED BLANKET (55mm)
RAKED CEILING,PITCHED/SKILLION ROOF:FRAMED	CEILING: R2.24 (UP), ROOF:FOIL BACKED BLANKET (55mm)

GLAZING - DOORS & WINDOWS

Standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D1,W2,W3,W4,W8.
Standard aluminium, single pyrolytic low-e, (or U-value: 5.7, SHGC: 0.47)
D2,D3,W1,W5,W6,W7.



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8.5m MAX. BUILDING HEIGHT

+118.17
RL EXISTING RIDGE

EXISTING ROOF TO BE REMOVED

PROPOSED COLORBOND ROOF
TO MATCH EXIST.

TIMBER POST BY ENG.

+114.39
FFL EXISTING FIRST FLOOR

6.035
SETBACK

PROPOSED COLORBOND ROOF
TO MATCH EXIST.

+111.50
FFL EXISTING GROUND FLOOR

PROPOSED CARPARK

PROPOSED WINDOWS
(REFER TO OPENING SCHEDULE FOR DETAILS)

TIMBER FRAMED WALL WITH SELECTED CLADDING

AA SECTION

SPECIFICATION NOTES

INTERNAL LINING

- PROVIDE PLASTERBOARD LINING.
- INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589

EXTERNAL WALLS:

- LIGHTWEIGHT TIMBER OR COMPOSITE WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.4.

FLOOR:

- GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH AS2870.
- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

WET AREAS:

- ALL WATERPROOFING TO AS 3740
- PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERS WALLS TO MANUFACTURES INSTRUCTIONS

BEARERS AND JOISTS:

- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

ANT CAPS:

- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

PROFILED STEEL ROOF:

- COLORBOND ROOF CLADDING
- NCC VOL.2 PART 3.5.1.
- DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562.

CONCRETE:

- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

FOOTINGS:

- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.

CARPENTRY:

- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.

TIMBER FRAMING:

- TO COMPLY WITH NCC VOL.2 PART 3.4
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.
- SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

TERMITE CONTROL:

- TO BE IN ACCORDANCE WITH TO AS3660.1
- SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.4 OR VOL.1 PART B1.4.

FLASHING AND CAPPINGS:

- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.

CONCRETE BLOCKS OR BRICKS:

- TO COMPLY WITH TO AS4455 MASONRY BUILDING BLOCKS/PAVER.

LIGHTING:

- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

DOORS & WINDOWS:

- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.
- ALUMINIUM FRAMED WINDOWS AND DOORS.
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.

STAIRS, HANDRAILS AND BALUSTRADES:

- NCC VOL.2 PARTS 3.9.1 AND 3.9.2
- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657.
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.
- THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.

SLIP RESISTANCE:

- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.

STORMWATER:

EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES

- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.
- IN ACCORDANCE WITH NCC VOL 2 PART 3.5.3
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE
- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

WATERPROOFING FOR EXTERNAL TILED BALCONIES:

- WATERPROOFING TO COMPLY WITH AS4654

GLAZING:

- NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6

SMOKE DETECTORS/ALARMS:

- NCC VOL 2 PART 3.7.5. FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.
- MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.

WASTE MANAGEMENT:

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

SEDIMENT CONTROL:

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.

NOTE:

ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting

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REV:	DATE:	DESCRIPTION:
A	10/12/2021	PROPOSED STUDIO
AB	17/12/2021	MINOR CHANGES
AC	24/01/2022	MINOR CHANGES
AD	03/02/2022	ROOF CHANGES
AE	14/03/2022	AMENDMENTS TO PRELIM DRAWINGS
AF	24/03/2022	DA DRAWINGS

PROPOSED ALTERATIONS AND ADDITIONS
133 UPPER CLONTARF ST. SEAFORTH

CLIENT:
RICHARD AND REBECCA

DRAWING TITLE:
SECTION / BASIX

DATE:
NOW/21

DRAWN BY:
EV

SCALE:
1:100 @ A3

JOB No:
970/21

CHECKED BY:
JJ

DRAWING No:
DA.13