

## 7750 750 L 4410 2500 water tank $\triangleright$ A FR KITCHEN LIVING/DINING BED <u>W3</u> 4130 2600 <u>7000</u> ∦ *√* 450

## **FLOOR PLAN**

### ALL WORK TO BE CARRIED OUT IN ACCORDANCE

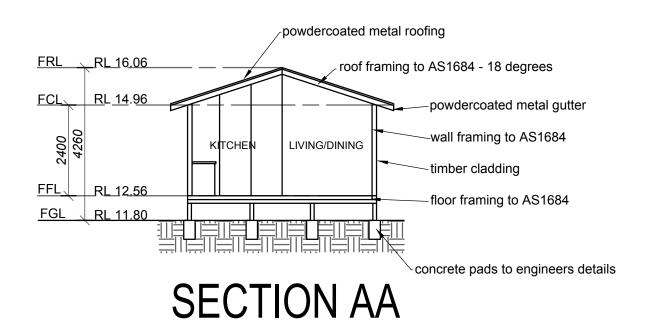
WITH THE "BUILDING CODE OF AUSTRALIA - VOLUME 2" & TO COMPLY WITH THE FOLLOWING & ANY OTHER RELEVANT AUSTRALIAN STANDARD ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT

TERMITE TREATMENT - Carried out in accordance with AS 3660.1 - 2000
TIMBER FRAMING - Carried out in accordance with AS 1684
STORMWATER - Carried out in accordance with AS/NZ 3500.3 - 2015
WINDOWS/GLAZED DOORS - Supplied/Installed in accordance with AS 2047 - 2014
SMOKE ALARMS - Supplied/Installed in accordance with AS 3786 - 1993
CONCRETE - Supplied/Installed in accordance with AS 2870

#### **BASIX INFORMATION**

All Proposed Construction works shall be in accordance with Basix Certificate Issued

Note: Refer to BASIX drawing page for details

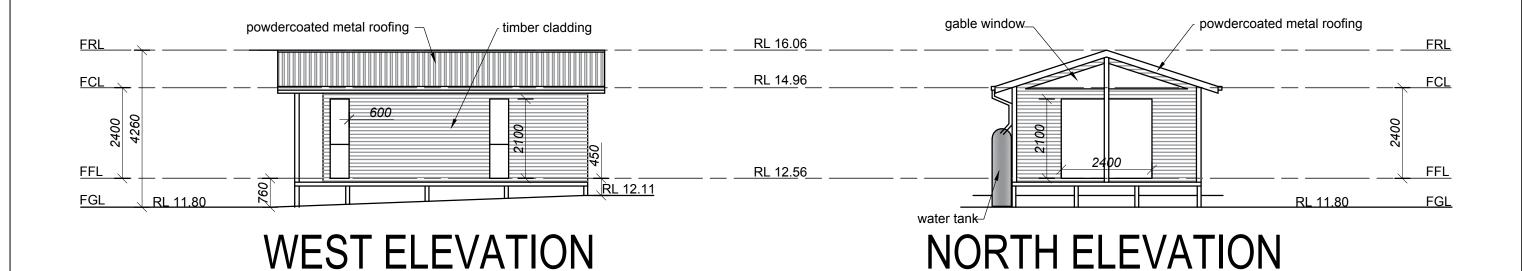


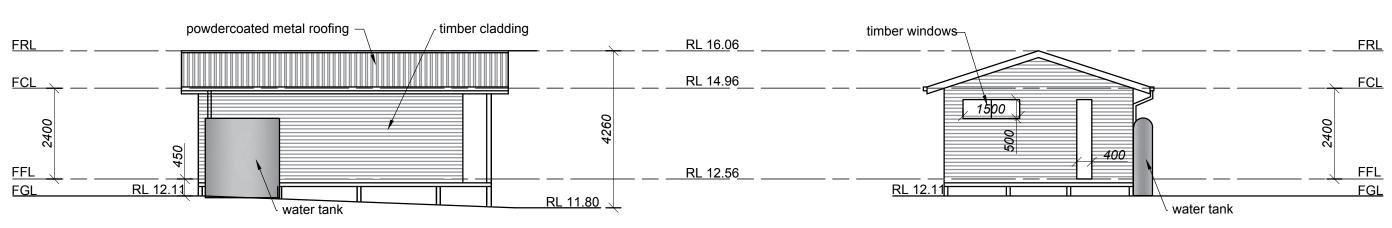
### WINDOW SCHEDULE

No.	Sizes H x W
W1-ASD	2100 x 2400
W2-ASW	2100 x 600
W3-ASW	2100 x 600
W4-ASW	500 x 1500
W5-ASW	2100 x 400

23/02/20	PRELIMINARY ISSUE	Α	PROPOSED		FOR		
DATE	FINAL ISSUE		GRANI	NY FLAT		MR PETER HAND	)
		ı	AT SITE ADDRESS				
NOTE : A	ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE F	PRIOR	9	TASMAN ROAD,	AVALON		
TO ORDERING/CONSTRUCTION			DRAWING			LOT NO	DP
-	ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CO		FLOOF	R PLAN/SECTION	N	30	13811
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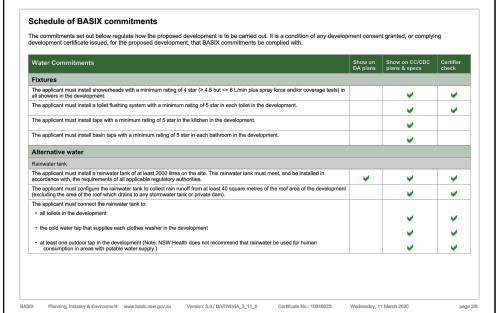


# **EAST ELEVATION**

**SOUTH ELEVATION** 

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	DIAL BEFORE YOU DIG IS RECOMMENDED	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	23/02/20	1:100	PROJECT NO CD-011/20	DRAWING NO CD-011/20-V1	SHEET NO 3 OF 4





Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check			
General features							
The dwelling must not have more than 2 storeys.		U	U	U			
The conditioned floor area of the dwelling must not exceed 3	00 square metres.	- J	.4	J.			
The dwelling must not contain open mezzanine area exceedi	welling must not contain open mezzanine area exceeding 25 square metres.						
The dwelling must not contain third level habitable attic room			~				
The dwelling must not contain third level habitable attic room	<b>V</b>						
Floor, walls and ceiling/roof							
The applicant must construct the floor(s), walls, and ceiling/rebelow.	oof of the dwelling in accordance with the specifications listed in the	table		U			
			-	-			
Construction	Additional insulation required (R-Value)	ther specifications					
floor - suspended floor above open subfloor, framed	0.8 (or 1.5 including construction) (down)						
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)						
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 4 (up), roof: foil/sarking fr	amed; light (solar abs	sorptance < 0.475)				
Note • Insulation specified in this Certificate must be insta	lled in accordance with Part 3.12.1.1 of the Building Code of Australi	ia.					
Note • In some climate zones, insulation should be installed	ed with due consideration of condensation and associated interaction	n with adjoining build	ng materials.				

hermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Vindows, glazed doors and skylights			
he applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the pecifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	~	V	v
he dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	~	~	V
he following requirements must also be satisfied in relation to each window and glazed door:	~	v	V
For the following glass and frame types, the certifier check can be performed by visual inspection.			v
- Aluminium single clear			
- Aluminium double (air) clear			
- Timber/uPVC/fibreglass single clear			
- Timber/uPVC/fibreglass double (air) clear			
<ul> <li>For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no great than that listed and a Solar heat Gain Coefficient (SHGC) within the range of those islated. Total system U values and SHGC mu be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.</li> </ul>			~

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
W01	2100	2400	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 450 mm, 1100 mm above head of window or glazed door	not overshadowed
Gable	600	2000	timber/UPVC/fibreglass, single, clear	eave 450 mm, 150 mm above head of window or glazed door	not overshadowed
South facing					
W04	500	1500	timber/UPVC/fibreglass, single, clear	eave 450 mm, 700 mm above head of window or glazed door	not overshadowed
W05	2100	400	timber/UPVC/fibreglass, single, clear	eave 450 mm, 700 mm above head of window or glazed door	not overshadowed

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Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimension within 10%)	Overshadowing
West facing					
W02	2100	600	timber/UPVC/fibreglass, single, clear	eave 450 mm, 100 mm above head of window or glazed door	not overshadowed
W03	2100	600	timber/UPVC/fibreglass, single, clear	eave 450 mm, 100 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas nstantaneous with a performance of 6 stars.	V	V	V
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 1-phase airconditioning; Energy rating: 5 star (average zone)		~	V
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + I-phase airconditioning; Energy rating: 5 star (average zone)		V	v
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 5 star (average zone)		v	V
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 5 star (average zone)		V	V
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		¥	V
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		•	
Laundry: natural ventilation only, or no laundry; Operation control: n/a		V	V
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the oliver grows, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or ight emitting diode (LED) lamps:			
at least 1 of the bedrooms / study; dedicated		J	
at least 1 of the living / dining rooms; dedicated		V	V
the kitchen; dedicated		J	U

all bathrooms/tollets; dedicated  all hallways; dedicated  Natural lighting  The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.  The applicant must install a window and/or skylight in 1 bathroom(s)/tollet(s) in the development for natural lighting.  Other  The applicant must install a gas cocktop & electric oven in the kitchen of the dwelling.  The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.  The applicant must install a fixed outdoor clothes drying line as part of the development.	· ·	***	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
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			23/02/20	1:100	PROJECT NO CD-011/20	DRAWING NO CD-011/20-V1	SHEET NO 4 OF 4

