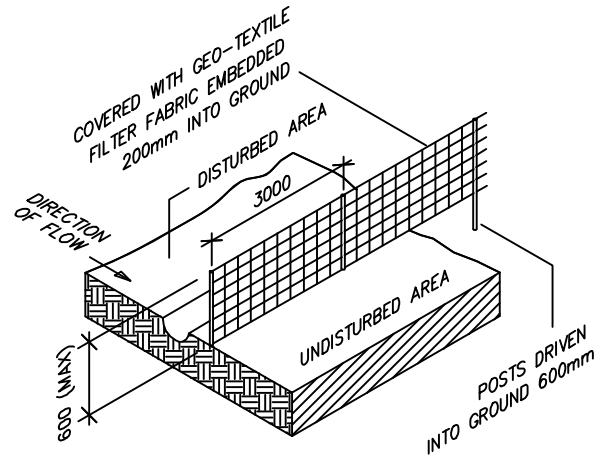
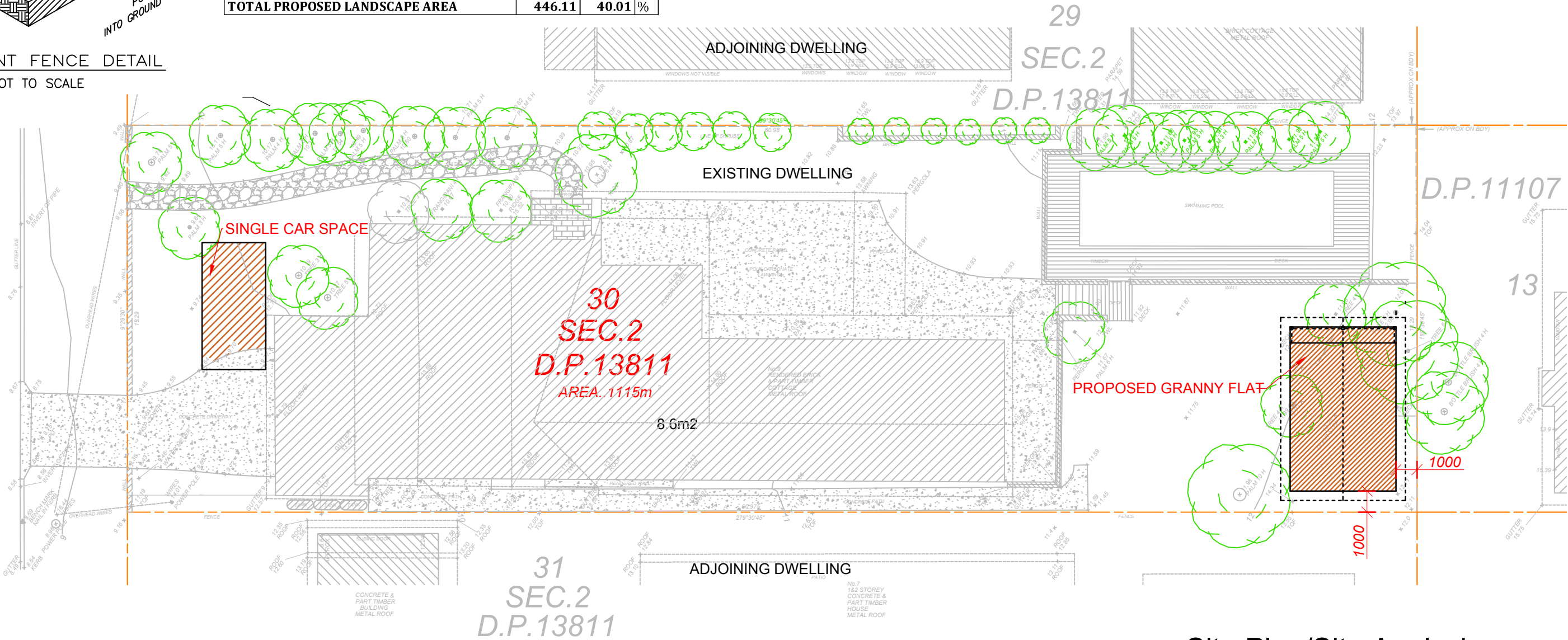




TOTAL SITE AREA - m2	1115.00		
EXISTING DWELLING	315.20		
EXISTING POOL, CABIN, DECK, PORCH, PERGOLA	243.24		
EXISTING DRIVEWAY/PATHS	101.70		
TOTAL EXISTING IMPERVIOUS	660.14		
EXISTING HARD SURFACE REMOVED	30.00		
BALANCE IMPERVIOUS AREA	630.14		
PROPOSED GRANNY FLAT	38.75		
TOTAL PROPOSED IMPERVIOUS AREA	668.89	59.99	%
TOTAL PROPOSED LANDSCAPE AREA	446.11	40.01	%

PROPOSED NEW - 00m2	
MAIN DWELLING	
POOL/OTHER	
DRIVEWAY/CONCRETE	
LAWN/GARDEN	

TASMAN ROAD

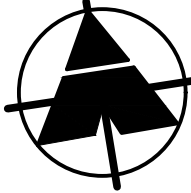


Site Plan/Site Analysis

Site Plan: 1 : 200

	AMENDMENT	ISSUE	PROPOSED	FOR
23/02/20	PRELIMINARY ISSUE	A	GRANNY FLAT	MR PETER HAND
			AT SITE ADDRESS	
			9 TASMAN ROAD, AVALON	
			DRAWING	
			SITE CALCULATIONS	
			DATE	
			23/02/20	
			SCALE	
			1 : 200	
			PROJECT NO	
			CD-011/19	
			LOT NO	
			30	
			DP	
			13811	
			DRAWING NO	
			CD-011/19-V1	
			SHEET NO	
			1 OF 4	

BACKYARD
cabins



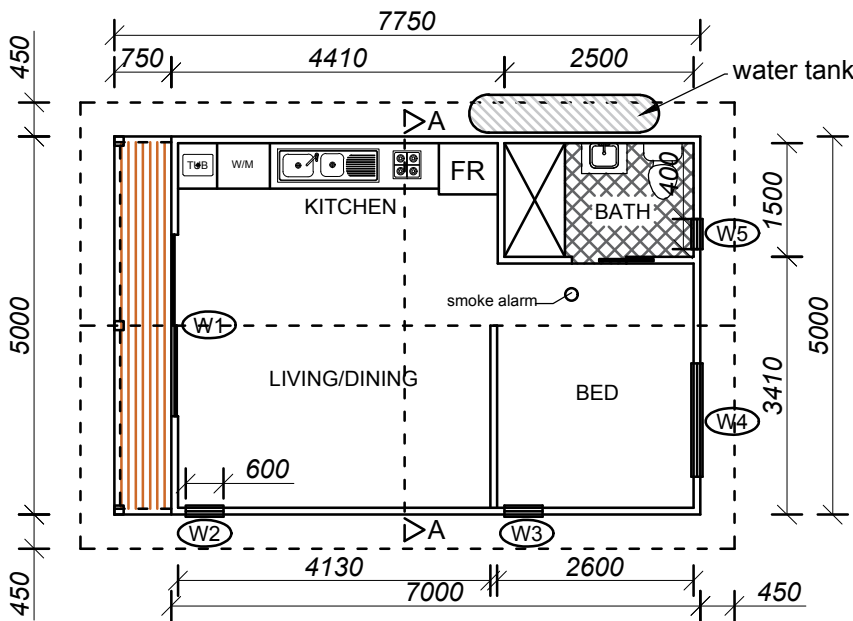
ALL WORK TO BE CARRIED OUT IN ACCORDANCE

WITH THE "BUILDING CODE OF AUSTRALIA - VOLUME 2" & TO COMPLY WITH THE FOLLOWING & ANY OTHER RELEVANT AUSTRALIAN STANDARD ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT

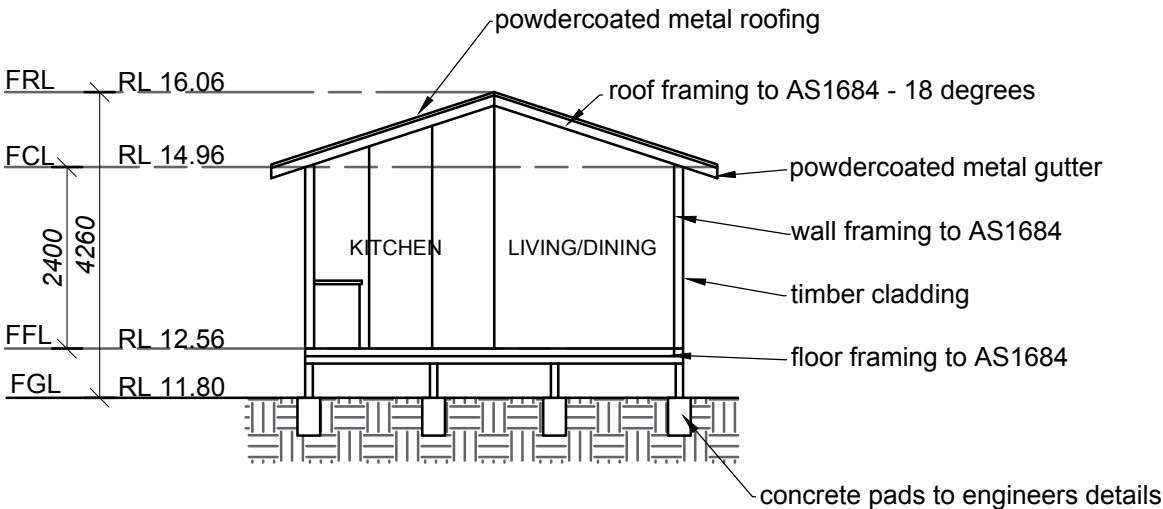
- TERMITE TREATMENT - Carried out in accordance with AS 3660.1 - 2000
- TIMBER FRAMING - Carried out in accordance with AS 1684
- STORMWATER - Carried out in accordance with AS/NZ 3500.3 - 2015
- WINDOWS/GLAZED DOORS - Supplied/Installed in accordance with AS 2047 - 2014
- SMOKE ALARMS - Supplied/Installed in accordance with AS 3786 - 1993
- CONCRETE - Supplied/Installed in accordance with AS 2870

BASIX INFORMATION

All Proposed Construction works shall be in accordance with Basix Certificate Issued
Note : Refer to BASIX drawing page for details



FLOOR PLAN



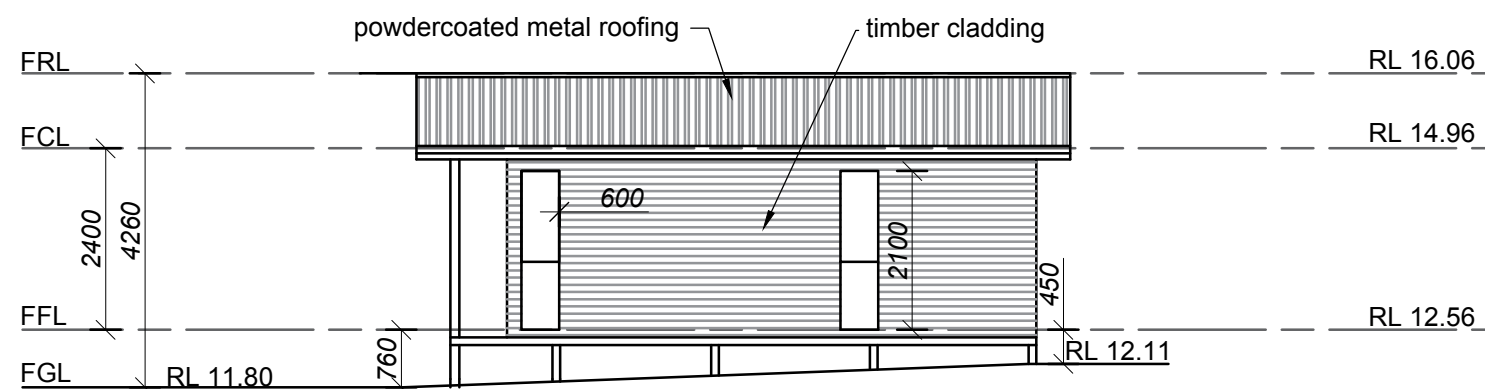
SECTION AA

WINDOW SCHEDULE

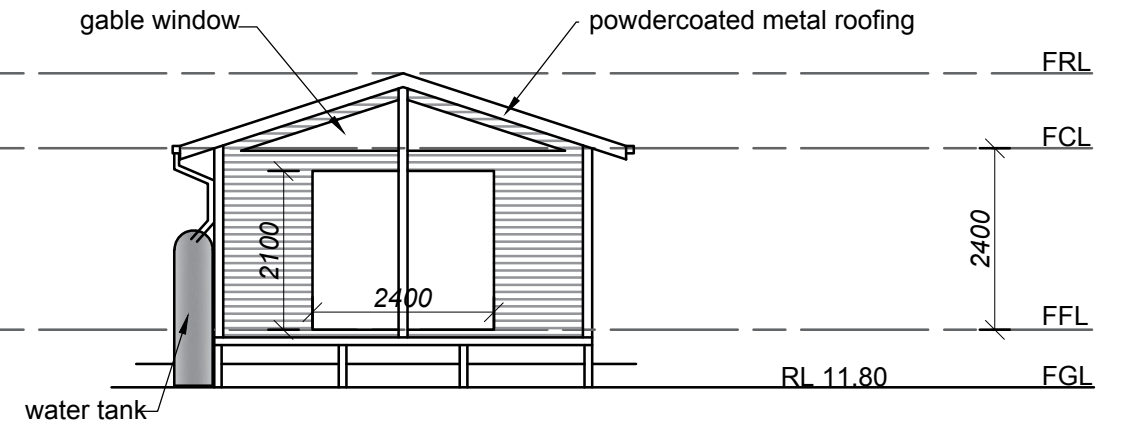
No.	Sizes H x W
W1-ASD	2100 x 2400
W2-ASW	2100 x 600
W3-ASW	2100 x 600
W4-ASW	500 x 1500
W5-ASW	2100 x 400

23/02/20	PRELIMINARY ISSUE	A	PROPOSED	GRANNY FLAT	FOR	MR PETER HAND
DATE	FINAL ISSUE		AT SITE ADDRESS	9 TASMAN ROAD, AVALON		
NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES DIAL BEFORE YOU DIG IS RECOMMENDED			DRAWING	FLOOR PLAN/SECTION	LOT NO	30
			DATE	23/02/20	SCALE	1:100
			PROJECT NO	CD-011/20	DRAWING NO	CD-011/20-V1
					DP	13811
					SHEET NO	2 OF 4

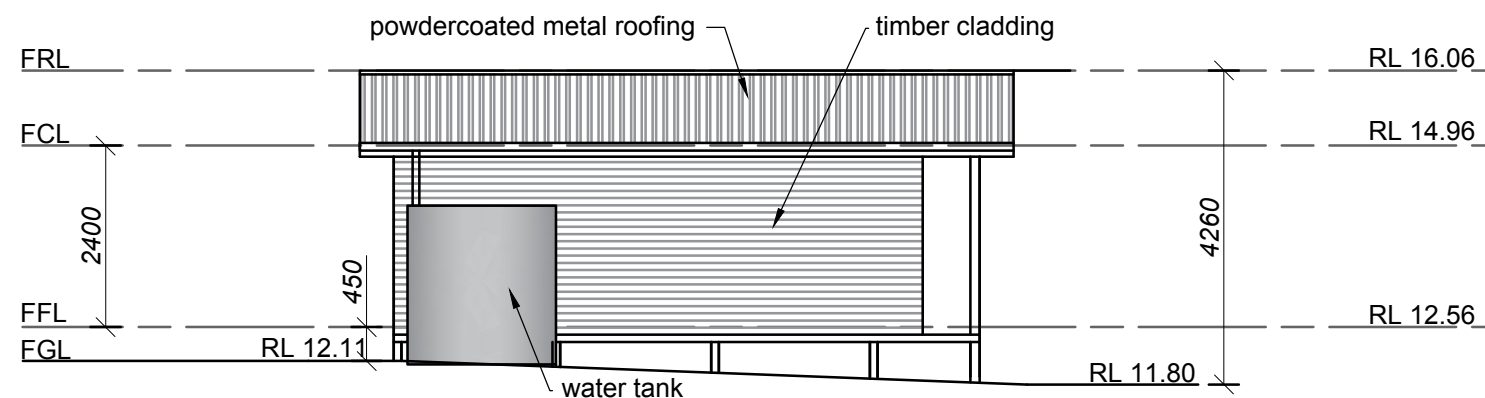
BACKYARD
cabins



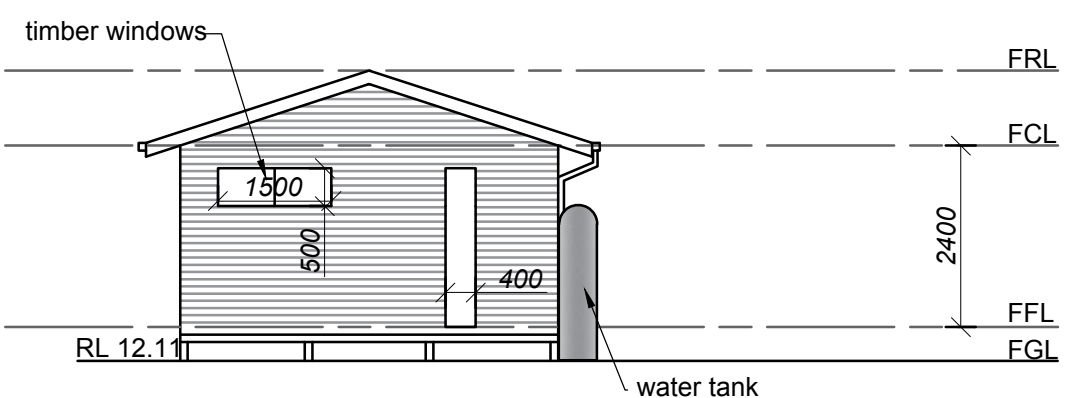
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

23/02/20	PRELIMINARY ISSUE	A	PROPOSED	GRANNY FLAT	FOR	MR PETER HAND	BACKYARD cabins					
DATE	FINAL ISSUE		AT SITE ADDRESS			9 TASMAN ROAD, AVALON						
NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES DIAL BEFORE YOU DIG IS RECOMMENDED			DRAWING		ELEVATIONS					LOT NO	DP	
			DATE		SCALE					PROJECT NO		DRAWING NO
			23/02/20		1:100		CD-011/20		CD-011/20-V1		3 OF 4	

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BACKYARD cabins