

GENERAL
THE BUILDER IS TO COMPLY WITH THE NSW BUILDING ORDINANCE.
THE BUILDER IS TO GIVE ALL NOTICES, OBTAIN ALL PERMITS & PAY ALL FEES REQUIRED BY SUCH AUTHORITIES.
THE OWNER MUST EFFECT INSURANCE OF ALL THE WORKS AGAINST FIRE & DAMAGE. THE BUILDER SHALL INSURE ADEQUATELY FOR PUBLIC RISK & WORKER'S COMPENSATION.
PROPRIETOR IS TO PROVIDE BUILDER WITH IDENTIFICATION SURVEY PRIOR TO COMMENCEMENT. FIGURED DIMENSIONS WILL BE TAKEN IN PREFERENCE TO SCALE.
SET OUT DIMENSIONS TO BE VERIFIED BY BUILDER ON SITE PRIOR TO COMMENCEMENT.
ANY ITEM NOT SHOWN ON THE PLAN OR IN THE SPECIFICATION, BUT WHICH IS OBVIOUSLY NECESSARY FOR PROPER CONSTRUCTION AND/OR FINISH, IS TO BE DONE AS PART OF THE CONTRACT.
ANY DISCREPANCIES BETWEEN THE PLAN, SPECIFICATION & THE WORKS DESIGN DRAFTING ARE TO CONTACTED BEFORE COMMENCEMENT OF THAT WORK FOR AN INSTRUCTION.
DEMOLITION
ALL NECESSARY PRECAUTIONS SHOULD BE TAKEN TO PROTECT EXISTING STRUCTURE & SURROUNDING LAND. SHOULD DAMAGE OCCUR TO ANY STRUCTURE, THE DAMAGE SHALL BE MADE GOOD AT BUILDER'S EXPENSE.
ALL DEMOLISHED MATERIALS, UNLESS SPECIFIED, SHALL BECOME THE BUILDER'S PROPERTY & SHALL BE REMOVED FROM THE SITE ON COMPLETION OF THE WORK.
EXCAVATION
EXCAVATE FOR ALL FOOTINGS FOR WALLS, PIERS, ETC. TO THE REQUIRED DEPTH NECESSARY TO SECURE SOLID BOTTOMS & EVEN BEARING THROUGHOUT. WHEN EXCAVATING NEAR EXISTING FOUNDATIONS, FOOTINGS & WALLS SHOULD BE SECURELY SUPPORTED BY APPROVED MEANS. ALL EXISTING FOOTINGS SHOULD BE CHECKED TO ENSURE THAT THEY ARE CAPABLE OF CARRYING FULL DEAD & LIVE LOADS SUPERIMPOSED THEREON. USE STRUCTURAL ENGINEER WHEN REQUIRED.

CONCRETE
SLABS & FOOTINGS SHALL BE CAPABLE OF CARRYING THE FULL DEAD & LIVE LOADS SUPERIMPOSED THEREON. ALL CONCRETE WORK SHALL COMPLY WITH THE PROVISIONS OF AS1480 & ALL RESPECTIVE SAA CODES. THE CONSISTENCY OF THE CONCRETE SHALL BE THAT WHEN TESTED, THE SLUMP WILL NOT EXCEED 80mm.
THE SLAB SHALL BE KEPT DAMP DURING A MINIMUM OF SEVEN DAYS AFTER PLACEMENT.
CONCRETE SHALL HAVE A MIN. STRENGTH F'_{cu} = 20MPa - SLABS AND F'_{cu} = 15 MPa - FOOTINGS AT 28 DAYS.
ALL REINFORCEMENT SHALL CONFORM WITH AS1300, AS1334 AND AS1480.
BRICKLAYER
ALL BRICKWORK SHALL BE ACCURATELY BONDED, KEEPING PERPENDS PLUMB & CARRIED UP TRUE & PLUMB TO THE VARIOUS HEIGHTS SHOWN ON PLAN WITH BED & PERPEND JOINTS NOMINAL 10mm THICK.
BRICK FOOTINGS SHALL BE WELL GROUTED AT EVERY COURSE.
MORTAR MIX - ONE PART FRESH CEMENT & THREE PARTS SAND MIXED WITH CLEAN WATER.
CARPENTER
THE TIMBER USED SHALL COMPLY WITH THE PROVISIONS OF THE TIMBER MARKETING ACT, 1945, & SIZES OF TIMBERS FOR CONSTRUCTION PURPOSES SHALL BE THE NOMINAL SIZES AS MENTIONED & SET DOWN BY THE SAA.
JOINER
ALL FIXING OUT TIMBERS TO BE SEASONED & FREE FROM THOSE DEFECTS WHICH MIGHT AFFECT ITS APPEARANCE OR DURABILITY. ALL TO BE D.A.R. ACCURATELY CUT & SECURELY FIXED.
PLUMBER
THE WHOLE OF THE WORK TO BE PERFORMED IN ACCORDANCE WITH RULES & REQUIREMENTS OF THE AUTHORITY CONCERNED & OBTAIN CERTIFICATES.
ELECTRICIAN
THE ELECTRICAL INSTALLATION SHALL BE CARRIED OUT BY A LICENSED ELECTRICIAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL ELECTRICAL AUTHORITY, THE CURRENT SAA WIRING CODE & THE STATE FIRE UNDERWRITERS ASSOCIATION.
THE INSTALLATION IS TO SATISFY ANY TEST REQUIRED BY THE SUPPLY AUTHORITY ON COMPLETION.
WINDOWS & DOORS
ALL WINDOWS & DOORS SHOWN ON PLAN ARE TO BE OF APPROVED MANUFACTURE, COMPLETE WITH ALL NECESSARY FASTENERS, HANDLES & FITTINGS, FIXED WITH SUITABLE FLASHING ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
ALL ALUMINIUM FRAMES MUST BE SUPPLIED ANODISED, COLOUR SELECTED BY OWNER & TO COMPLY WITH SAA CODES.
PAINTER
ALL PAINT, ENAMEL, VARNISH ETC TO BE BEST QUALITY APPROVED BRANDS BROUGHT ONTO THE JOB IN UNOPENED CONTAINERS, APPLIED STRICTLY ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
COMPLETION
THE BUILDING IS TO BE COMPLETED IN EVERY TRADE. THE BUILDING IN ALL RESPECT TO BE LEFT CLEAN & FIT FOR OCCUPATION.

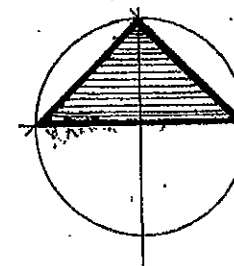
COMPLYING DEVELOPMENT
CERTIFICATE No.

10/3166-1

McKENNIE GROUP
CONSULTING (NSW) PTY. LTD.
A.C.N. 093 211 995

WANGANELLA ST

3000



Proposed Alterations

19 WANGANELLA ST,
BALGOWLAH 2093.

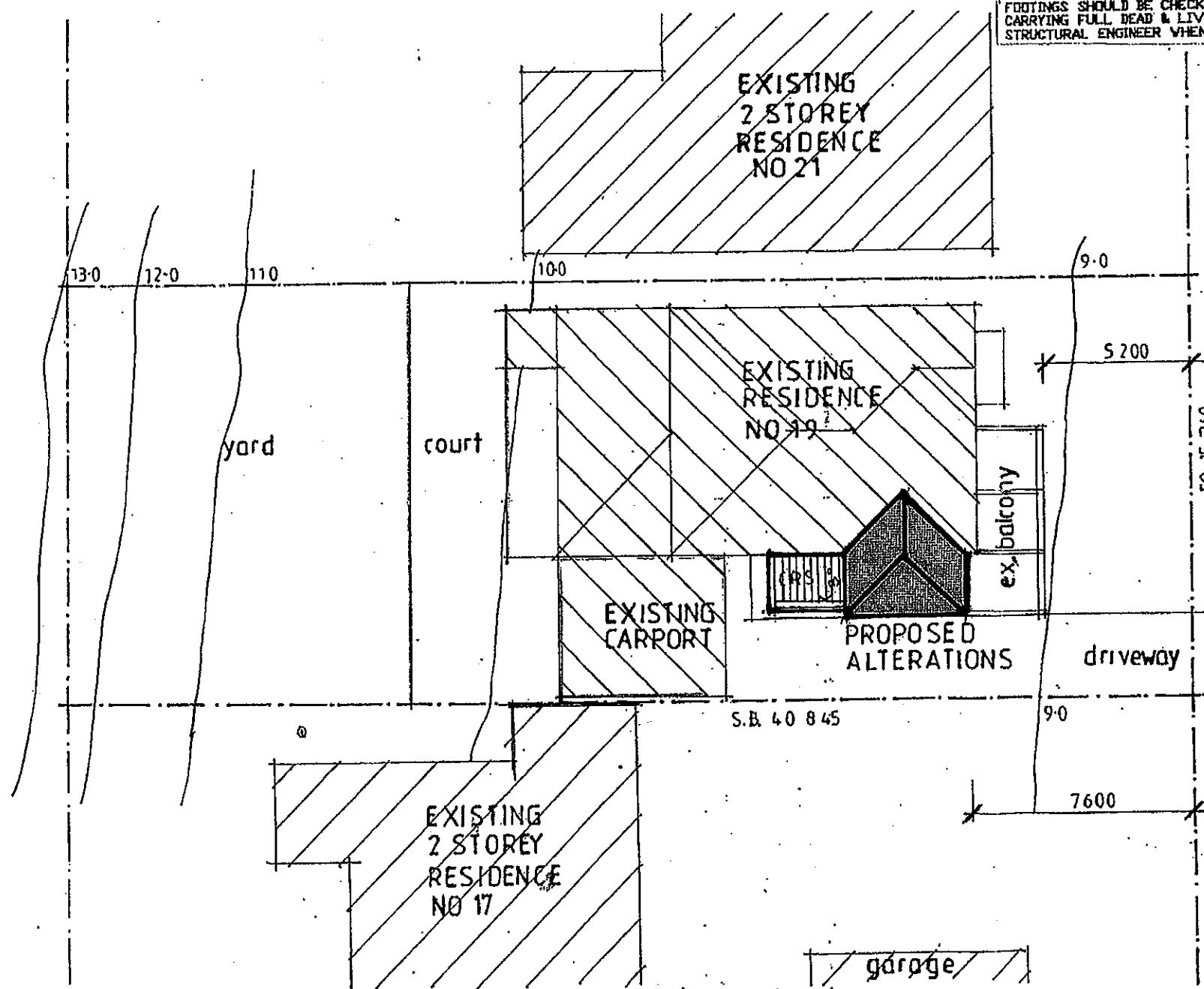
for Mr. & Mrs. P Turner

vladimir lugovoy architect

SITE PLAN

SCALE	DATE	DRAWN
1:200 A3	NOV 2009	VL

DWG NO: A-09-02-01



site & roof plan

NOTES:

- * check & verify all dimensions & levels on site prior to commencement of works
- * all work to comply with building code of australia & relevant standards
- * all reinforced concrete, structural timber roof framing & retaining walls to engineers detail
- * verify location of boards sewer prior to commencement for connection
- * stormwater drainage & detention to eng. detail & council requirements

LEGEND:

cpt	carpet
vct	vitrified clay tiles
ct	ceramic tiles
tsf	timber strip flooring
stf	steel trowel finish
cd	hardies column
fb	timber balustrade
gb	glass blocks
shr	shower recess
bsn	vanity basin
wc	water closet
fw	floor waste
ss	soil stack
wm	washing machine
d	drier

COMPLYING DEVELOPMENT
CERTIFICATE NO.

10/3166-1

MCKENZIE GROUP
CONSULTING (NSW) PTY. L.
A/CN-093 211 695

Proposed Alterations:

19 WANGANILLA ST,
BALGOWLAH. 2093.

for Mr. & Mrs. P Turner

vladimir lugovoy architect

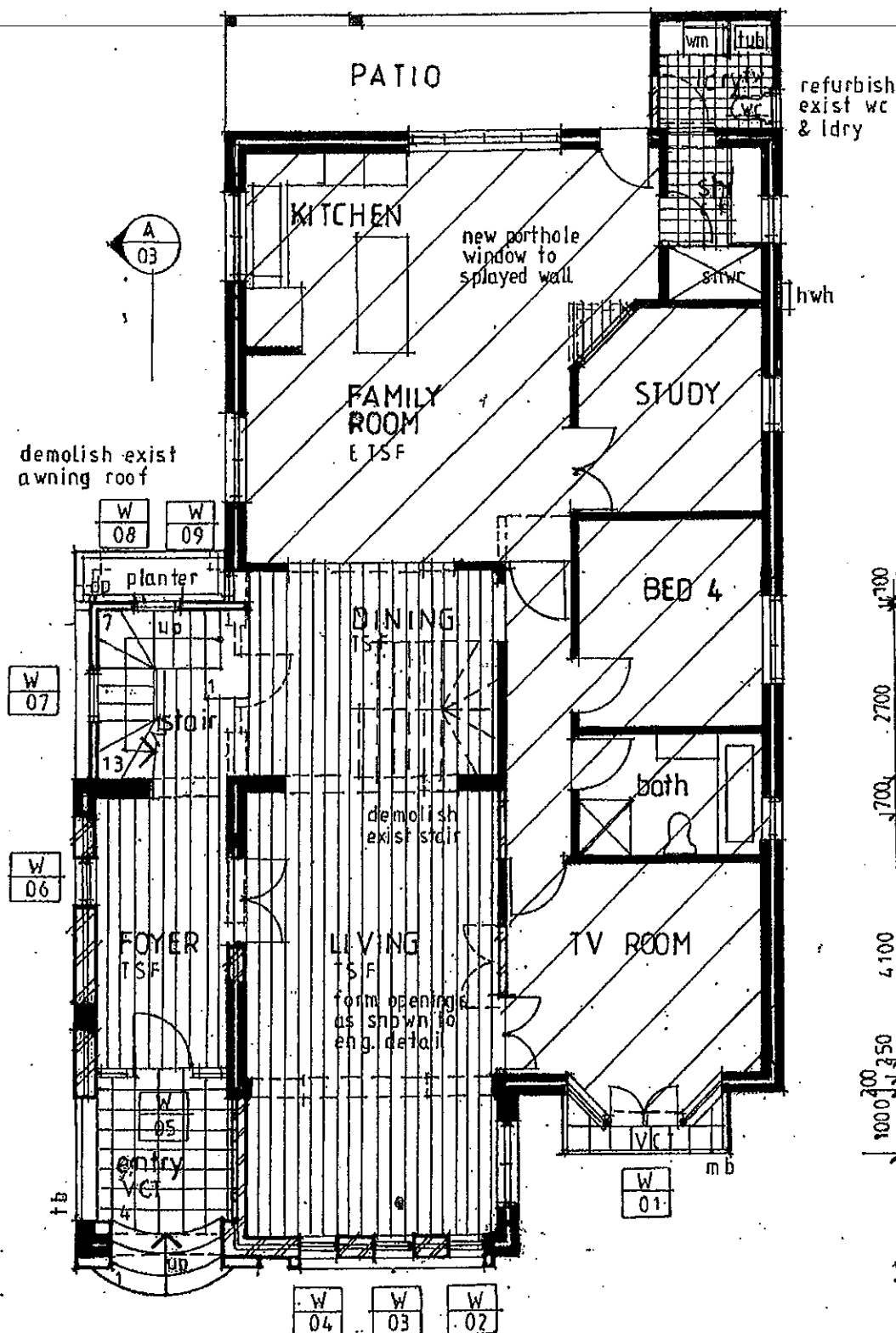
FLOOR PLANS

SCALE	DATE	DRAWN
1:100 - A3	NOV. 2009	VL

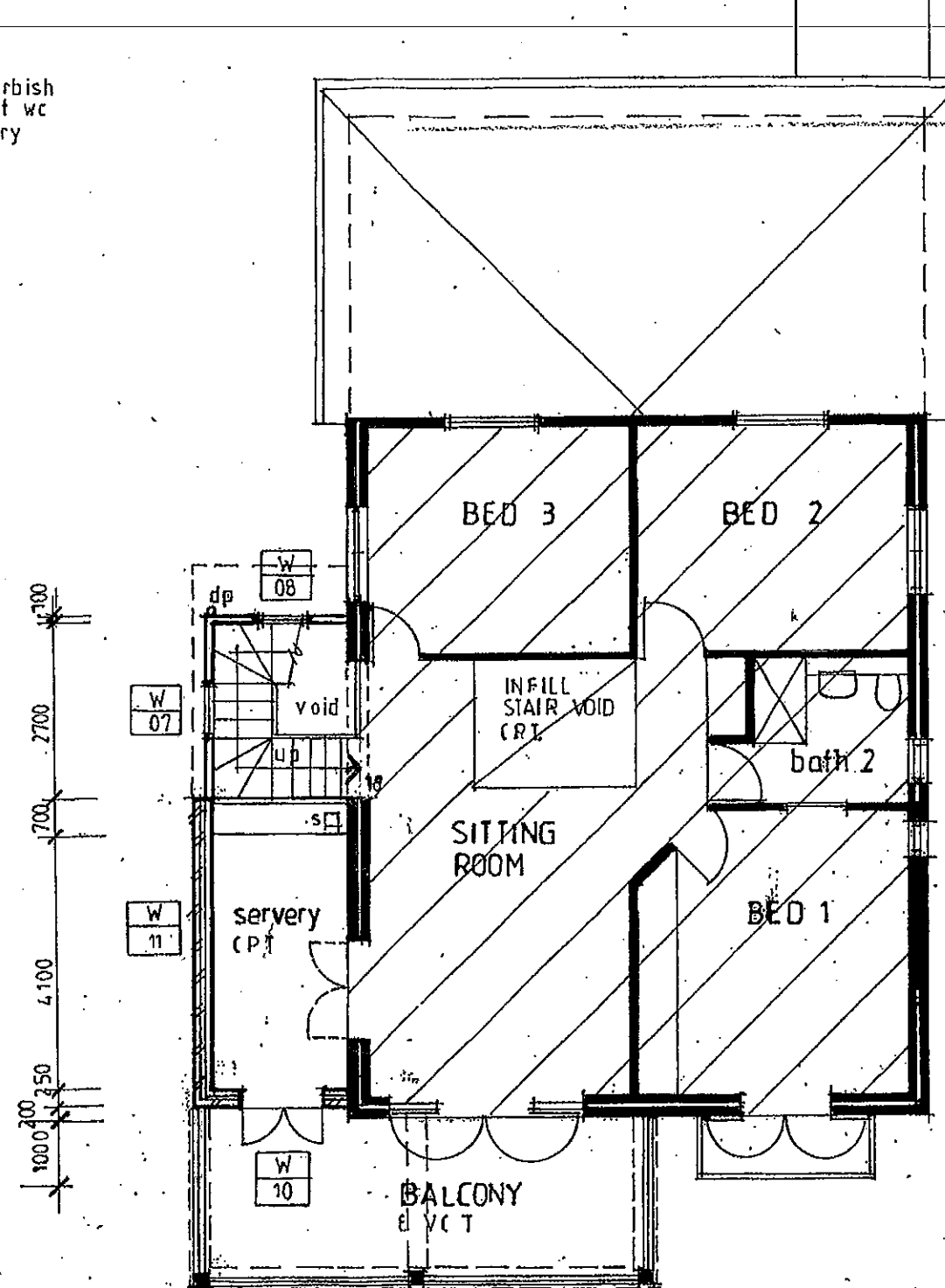
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150 750 750 750

150 100 2150

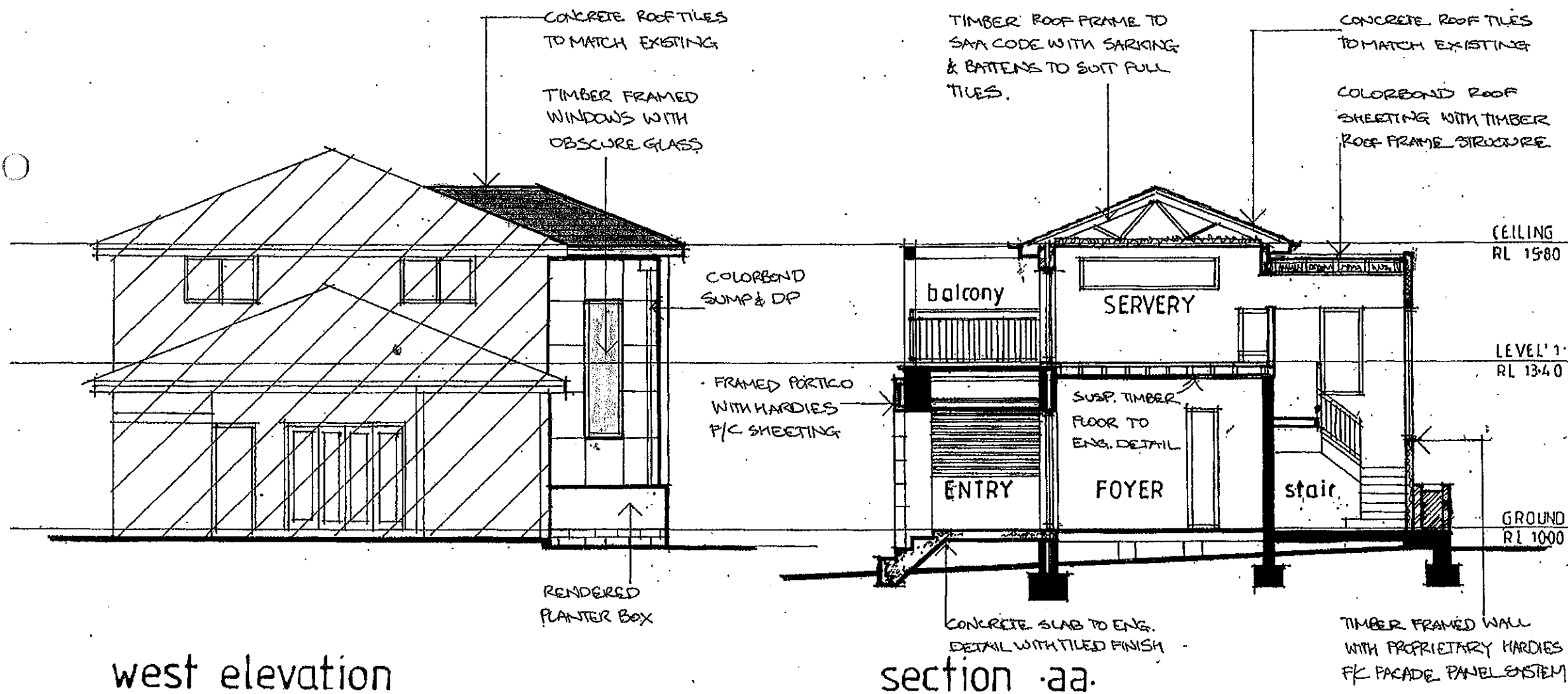
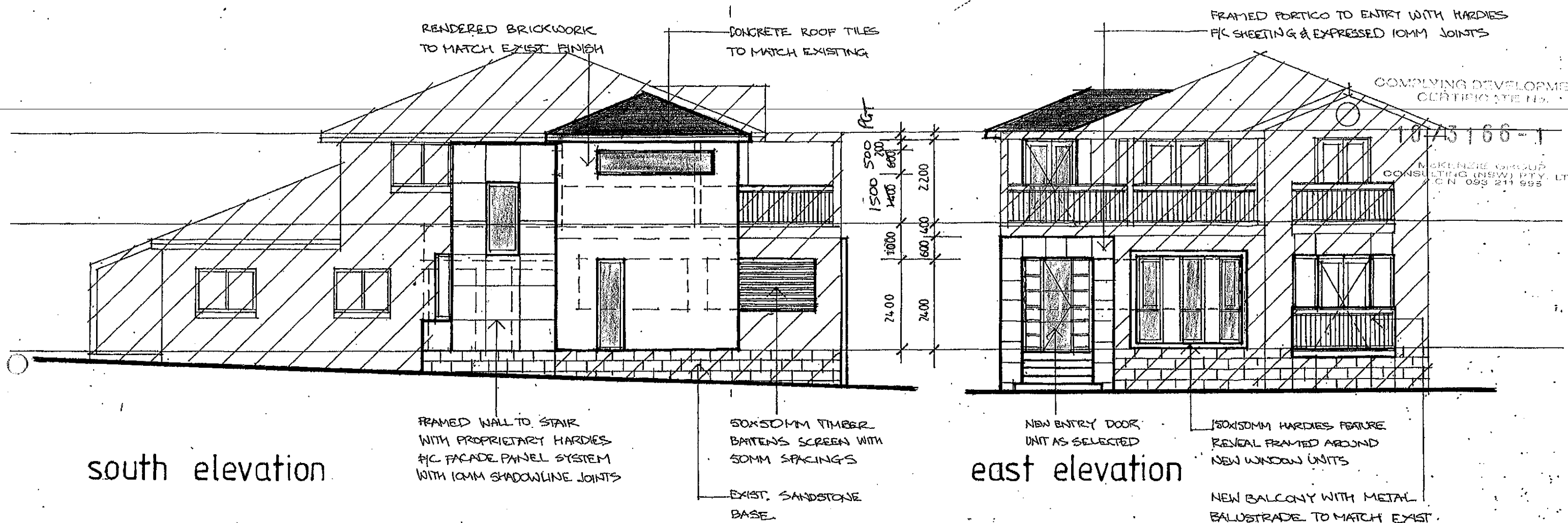


ground floor plan

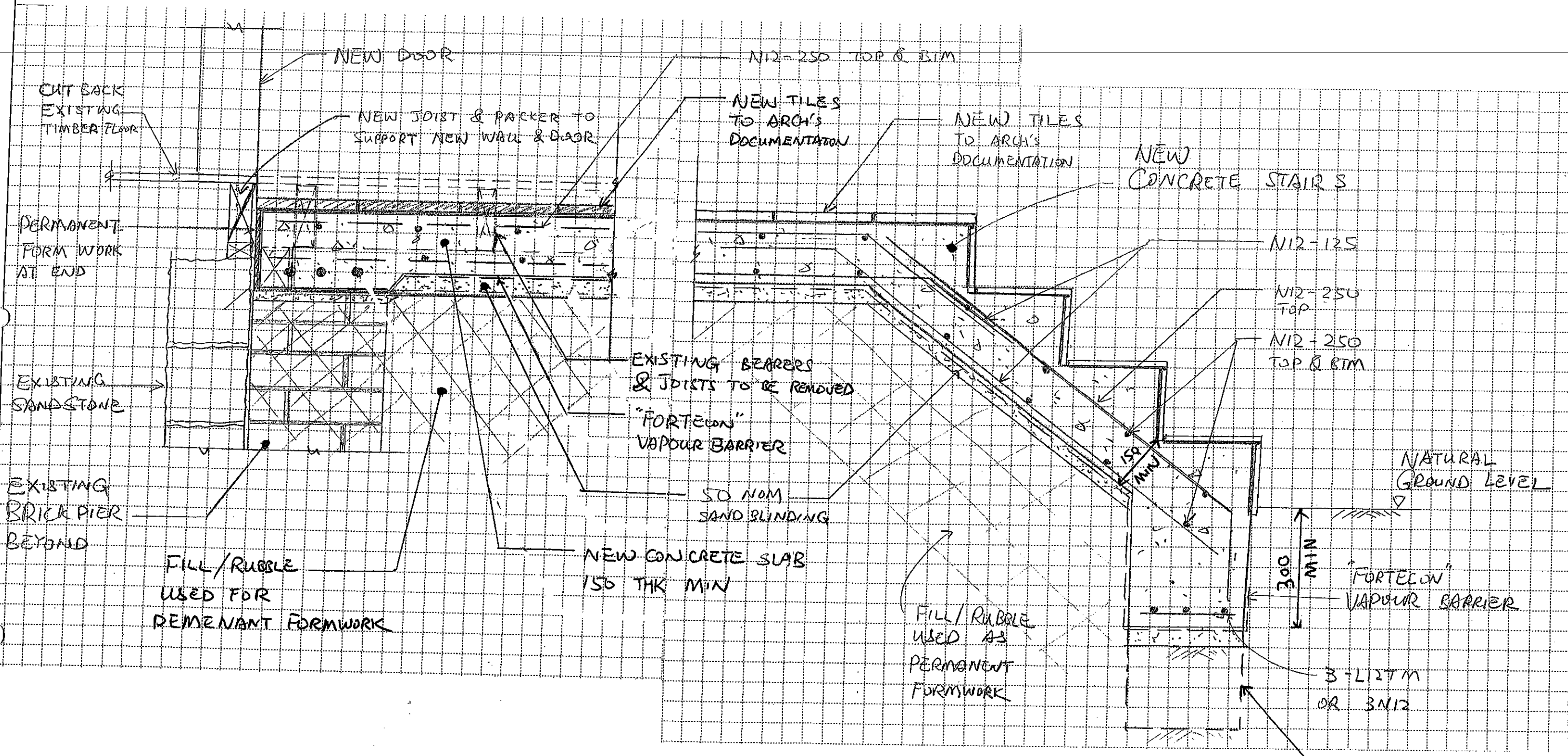


- EXIST WALLS TO BE DEMOLISHED
- EXIST WALLS TO BE RETAINED
- NEW STUD FRAME WALLS
- NEW BRICK WALLS

first floor plan



Proposed Alterations		
19 WANGANILLA ST BALGOWLAH. 2093.		
for Mr & Mrs. P. Turner		
vladimir lugovoy architect		
ELEVATIONS & SECTION		
SCALE	DATE	DRAWN
1:100 - A3	NOV. 2009	V.L.
DWG NO: A-09-02-03		



SECTION 4
S01

NOTES:
 1. EXISTING STRUCTURES, FOUNDATION AND DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
 2. REFER TO DRAWING S00 FOR GENERAL NOTES.

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01	DEC 2009	ISSUE FOR TENDER	WZ
No.	Date	Revision Details	Des. Var. App.

Client:
 Mr P and Mrs J Turner
 19 Wanganella Street
 Balgowlah 2093

Project:
 Proposed Alteration
 19 Wanganella Street
 Balgowlah 2093

Drawn	Signed	Date
WZ		
Designed	Signed	Date
WZ		
Verified	Signed	Date
BRS		
Approved	Signed	Date
BRS		

Drawing Title:
 DETAIL SHEET 2

FOR TENDER	
Project No.	3555.AL
Scale	NTS (1:10)
Sheet Size	A3
Drawing No.	S04
Rev.	01

