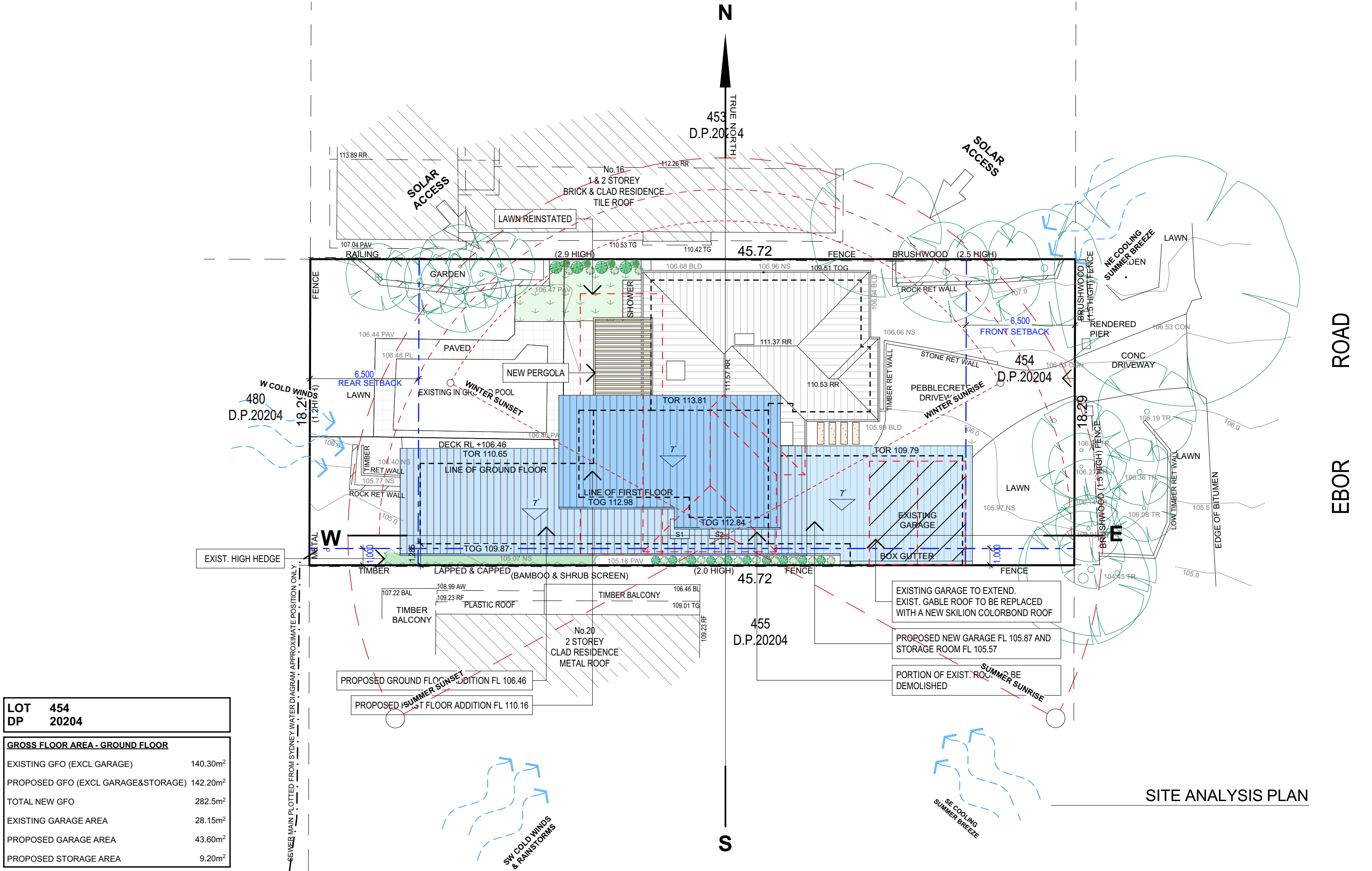




LOT	454
DP	20204

GROSS FLOOR AREA - GROUND FLOOR	
EXISTING GFO (EXCL GARAGE)	140.30m ²
PROPOSED GFO (EXCL GARAGE&STORAGE)	142.20m ²
TOTAL NEW GFO	282.5m ²
EXISTING GARAGE AREA	28.15m ²
PROPOSED GARAGE AREA	43.60m ²
PROPOSED STORAGE AREA	9.20m ²

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

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REV:	DATE:	DESCRIPTION:
AA	30.09.21	NEW START - PRELIM DESIGN DRAWINGS
BB	05.10.21	AMENDMENTS TO PRELIM DRAWINGS
CC	18.10.21	DA DRAWINGS

PROJECT DETAILS:

PROPOSED ALTERATIONS AND ADDITIONS

18 EBOR ROAD PALM BEACH

DRAWING TITLE:

SITE ANALYSIS PLAN

DATE:

09/21

DRAWN BY:

CA

SCALE:

1:200 @ A3

JOB No:

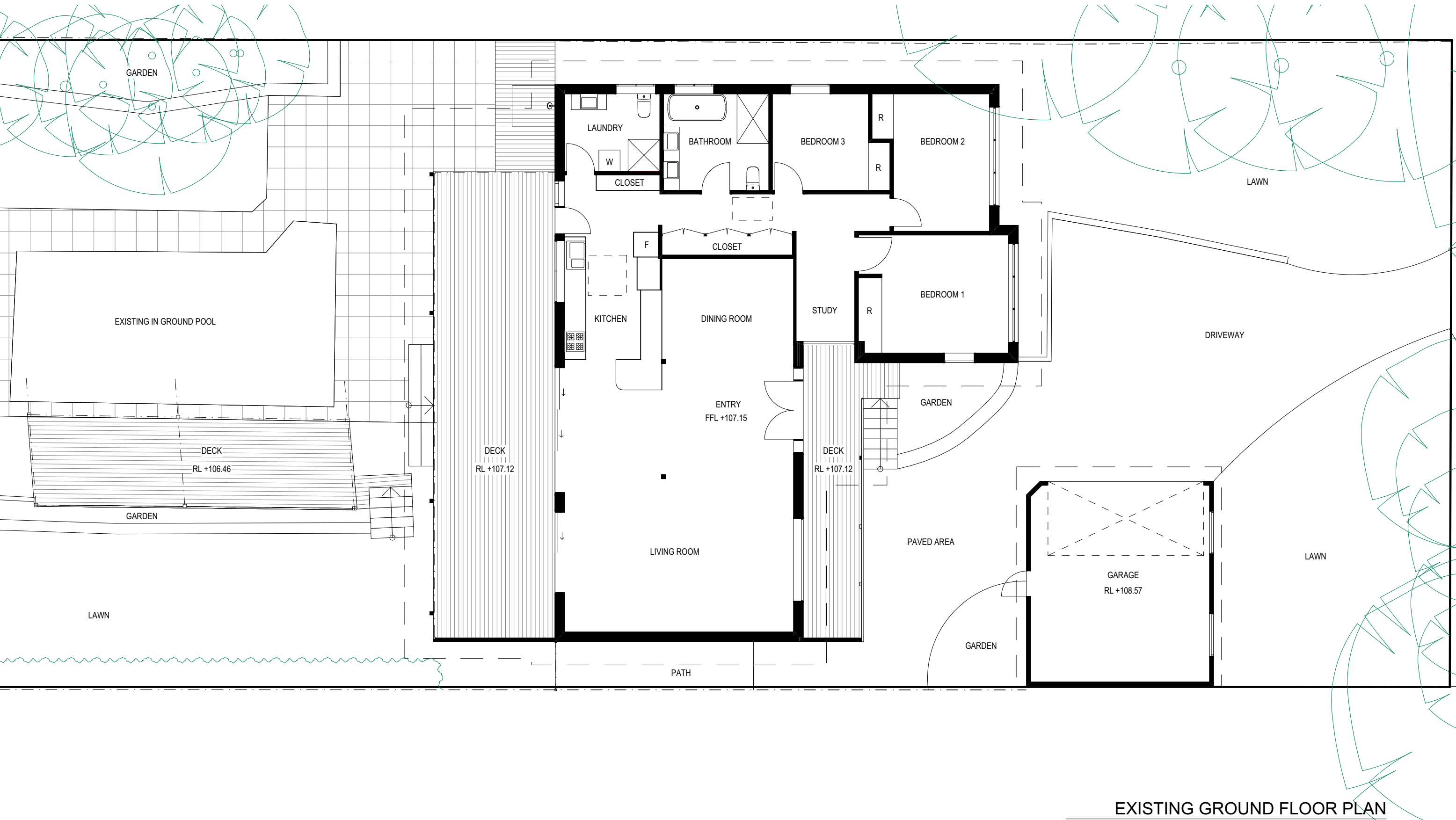
850A/20

CHECKED BY:

JJ

DRAWING No:

DA.01



EXISTING GROUND FLOOR PLAN

GROSS FLOOR AREA - GROUND FLOOR	
EXISTING GFO (EXCL GARAGE)	140.30m ²

TRUE NORTH:

NOTES (E & OE)

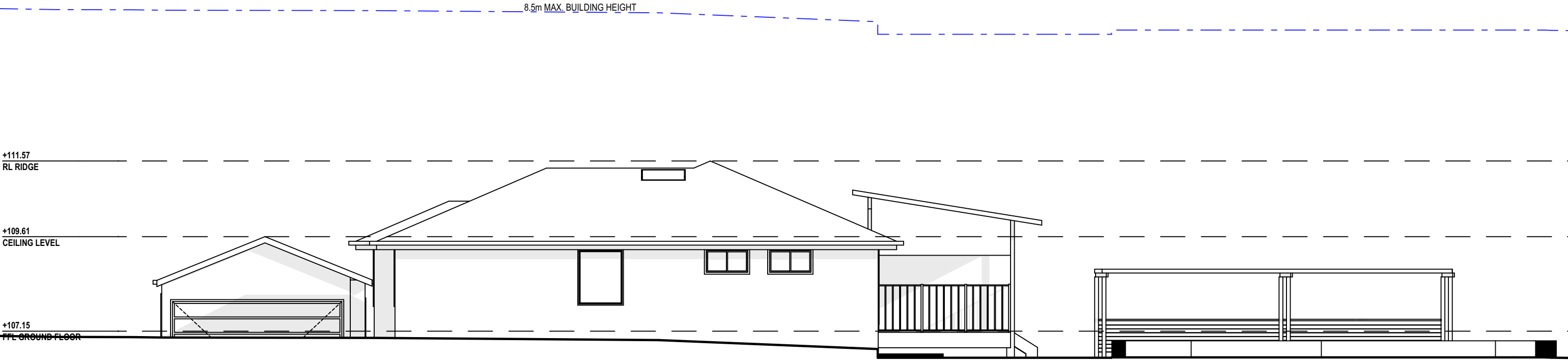
- All structures including stormwater & drainage to engineer's details.
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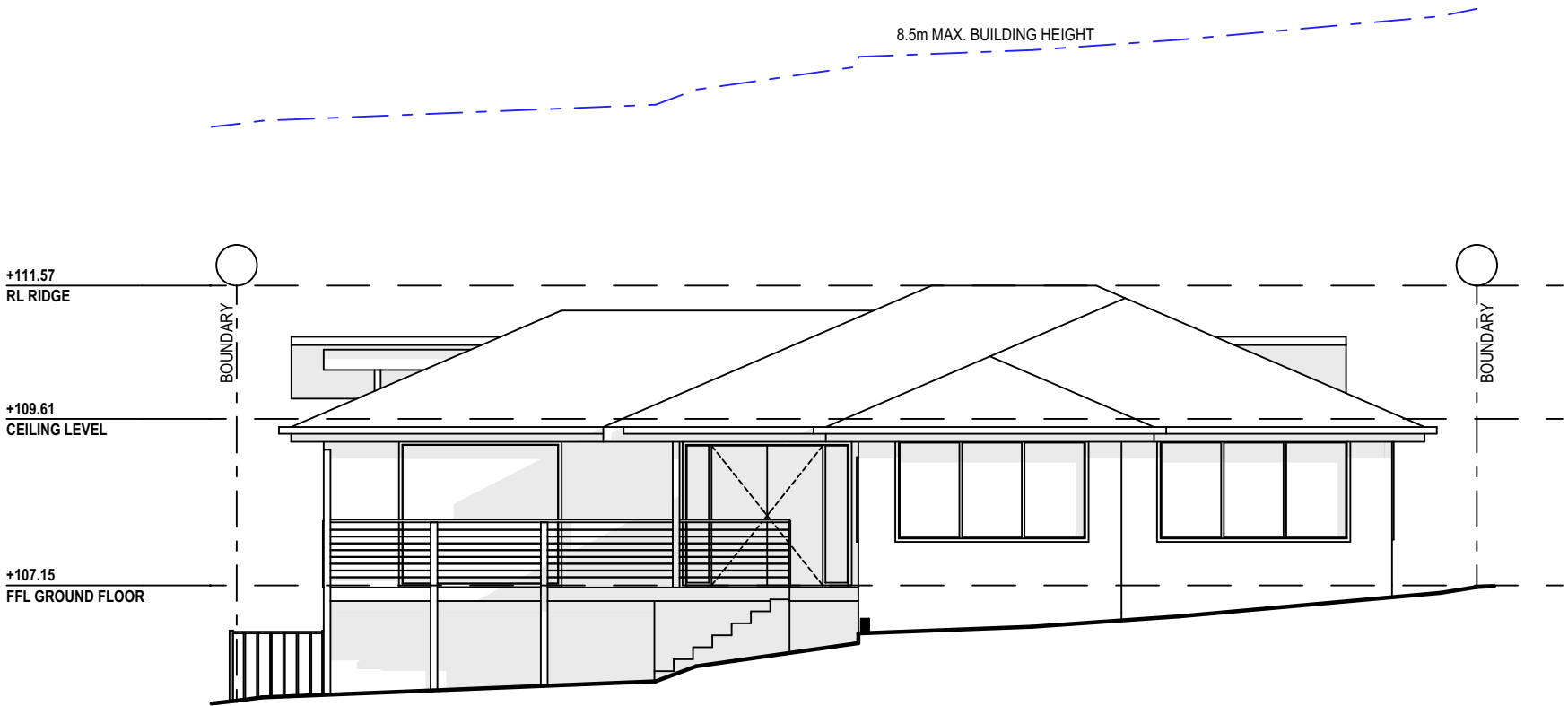
REV:	DATE:	DESCRIPTION:
AA	30.09.21	NEW START - PRELIM DESIGN DRAWINGS
BB	05.10.21	AMENDMENTS TO PRELIM DRAWINGS
CC	18.10.21	DA DRAWINGS

PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 18 EBOR ROAD PALM BEACH
DRAWING TITLE: EXISTING GROUND FLOOR PLAN

DATE: 09/21	DRAWN BY: CA	SCALE: 1:100 @ A3
JOB No: 850A/20	CHECKED BY: JJ	DRAWING No: DA.02



EXISTING NORTH ELEVATION



EXISTING EAST ELEVATION

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
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- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
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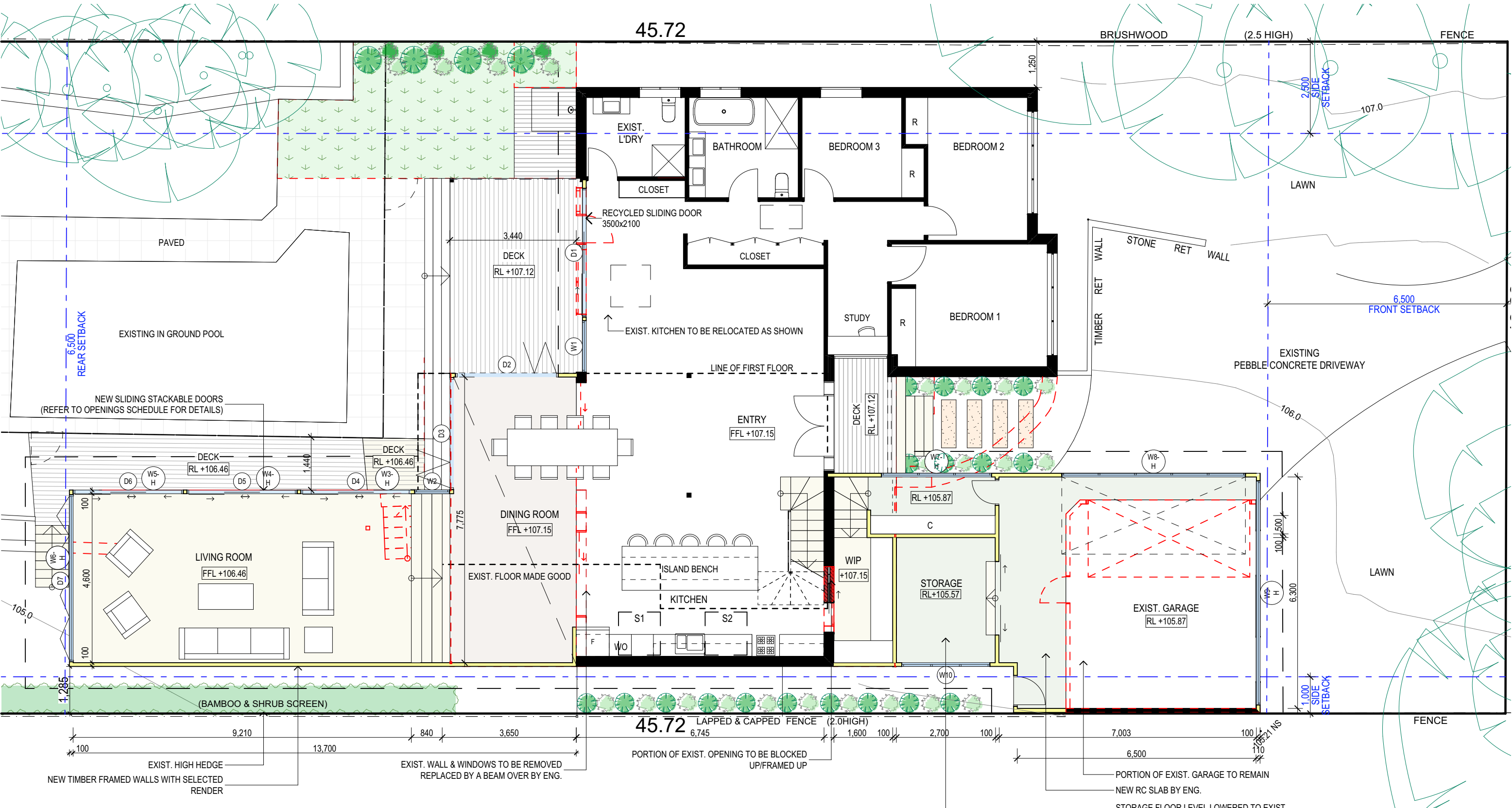
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REV:	DATE:	DESCRIPTION:
AA	30.09.21	NEW START - PRELIM DESIGN DRAWINGS
BB	05.10.21	AMENDMENTS TO PRELIM DRAWINGS
CC	18.10.21	DA DRAWINGS

PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 18 EBOR ROAD PALM BEACH	
DRAWING TITLE: EXISTING ELEVATIONS SHEET 1	

DATE: 09/21	DRAWN BY: CA	SCALE: 1:100 @ A3
JOB No: 850A/20	CHECKED BY: JJ	DRAWING No: DA.03



GROSS FLOOR AREA - GROUND FLOOR	
EXISTING GFO (EXCL GARAGE)	140.30m ²
PROPOSED GFO (EXCL GARAGE&STORAGE)	86.20m ²
TOTAL NEW GFO	226.50m ²
EXISTING GARAGE AREA	28.15m ²
PROPOSED GARAGE AREA	43.60m ²
PROPOSED STORAGE AREA	9.20m ²

NOTES

ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

PROPOSED GROUND FLOOR PLAN

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
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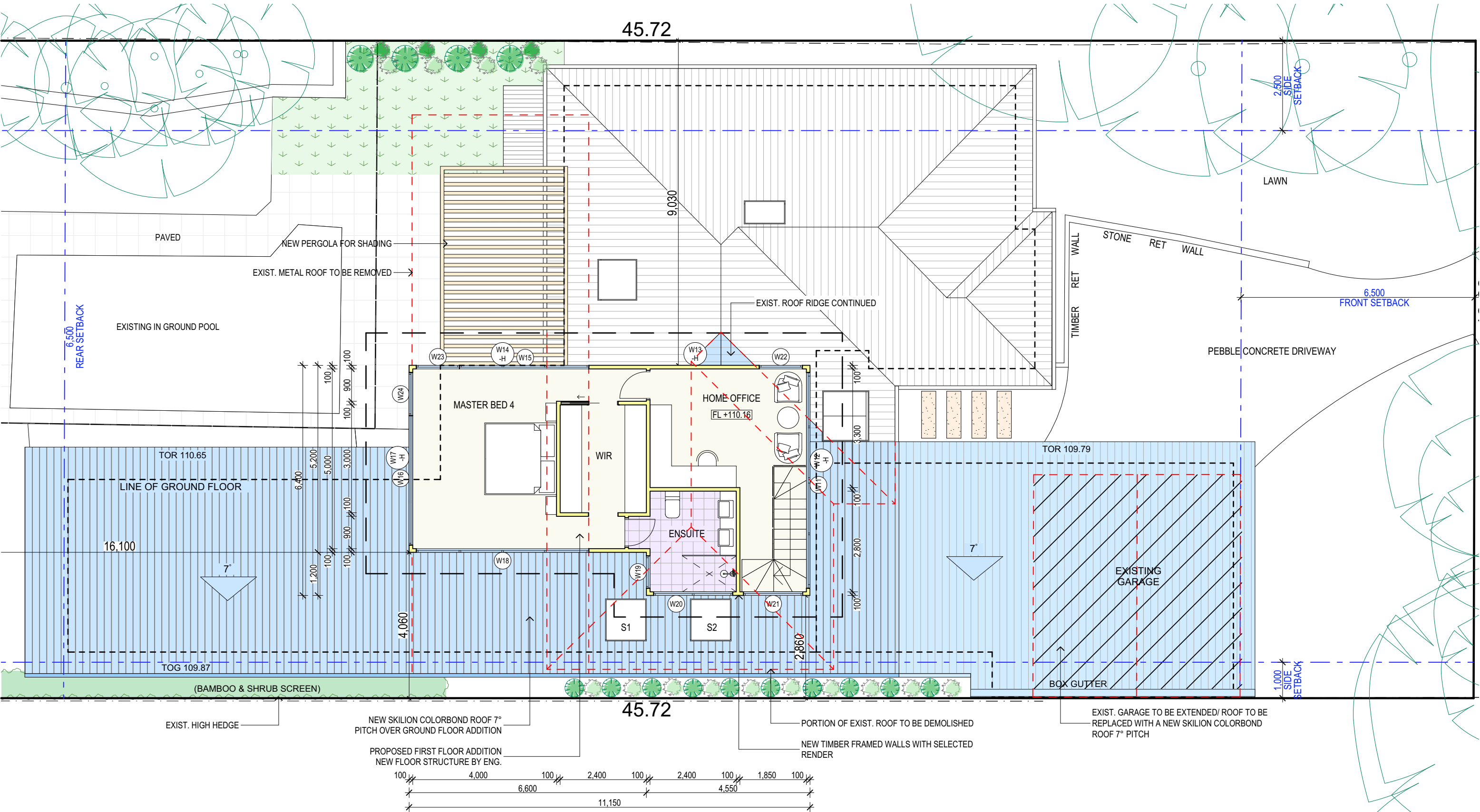
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AA	30.09.21	NEW START - PRELIM DESIGN DRAWINGS
BB	05.10.21	AMENDMENTS TO PRELIM DRAWINGS
CC	18.10.21	DA DRAWINGS

PROJECT DETAILS:	DATE:	DRAWN BY:	SCALE:
PROPOSED ALTERATIONS AND ADDITIONS	09/21	CA	1:100 @ A3
18 EBOR ROAD PALM BEACH			
DRAWING TITLE:	JOB No:	CHECKED BY:	DRAWING No:
PROPOSED GROUND FLOOR PLAN	850A/20	JJ	DA.05



PROPOSED FIRST FLOOR PLAN

GROSS FLOOR AREA - FIRST FLOOR	
PROPOSED GFO	56.00m ²

NOTES

ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

TRUE NORTH:

NOTES (E & OE)

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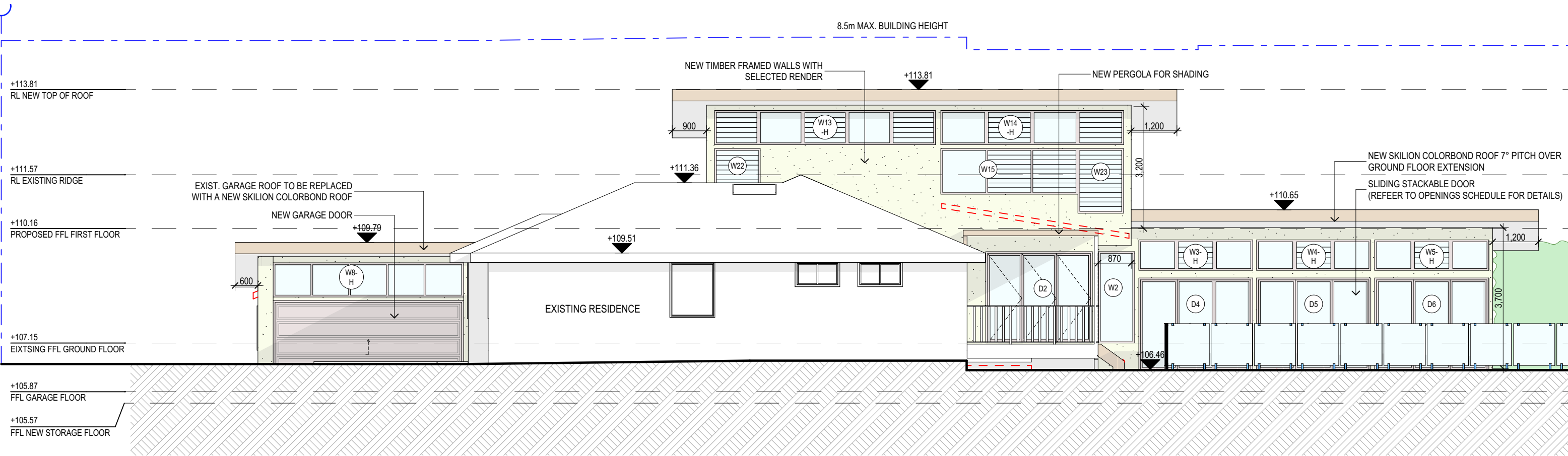
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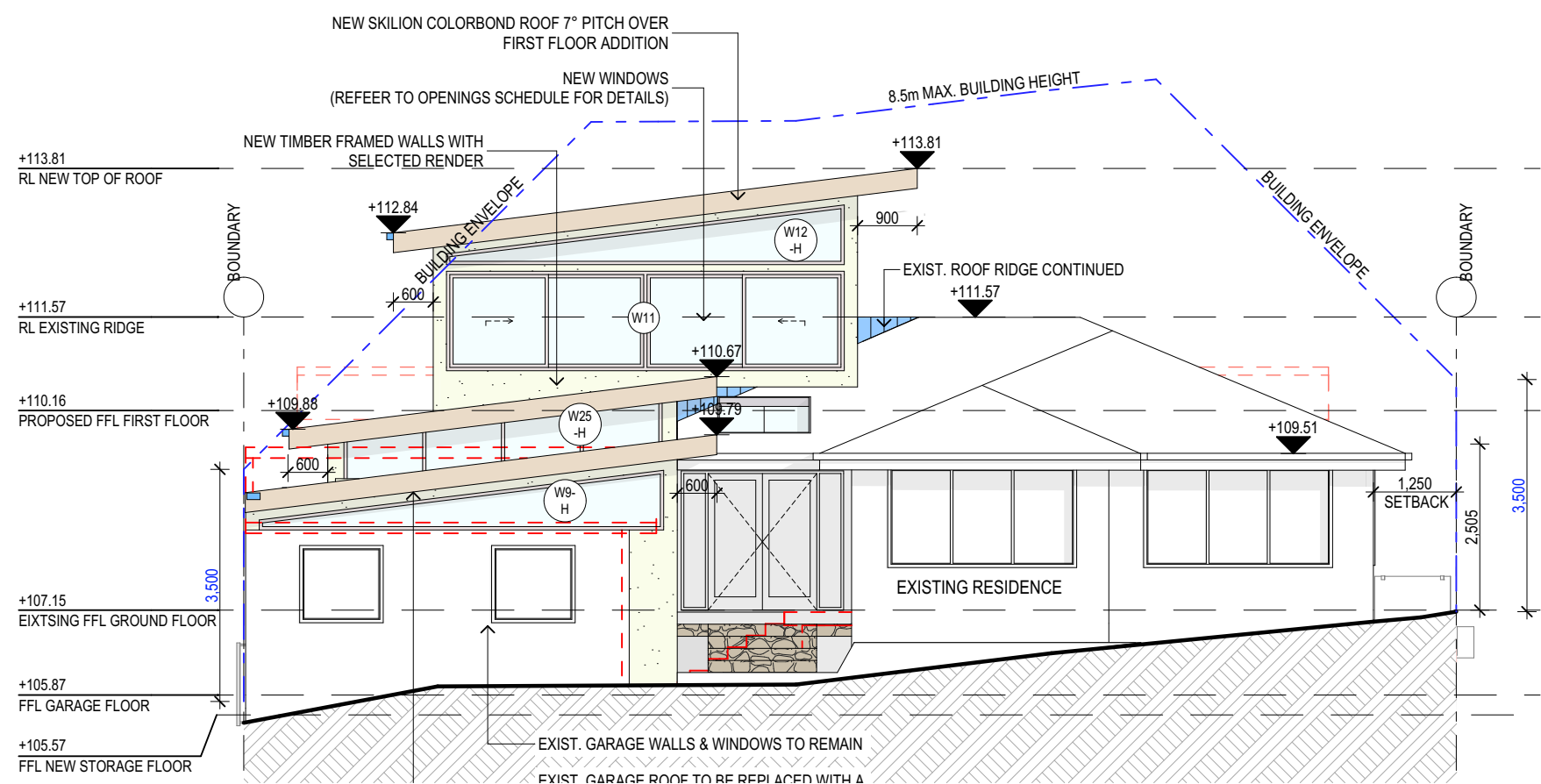
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AA	30.09.21	NEW START - PRELIM DESIGN DRAWINGS
BB	05.10.21	AMENDMENTS TO PRELIM DRAWINGS
CC	18.10.21	DA DRAWINGS

PROJECT DETAILS:
PROPOSED ALTERATIONS AND ADDITIONS
18 EBOR ROAD PALM BEACH
DRAWING TITLE:
PROPOSED FIRST FLOOR PLAN

DATE:	09/21	DRAWN BY:	CA	SCALE:	1:100 @ A3
JOB No:	850A/20	CHECKED BY:	JJ	DRAWING No:	DA.06

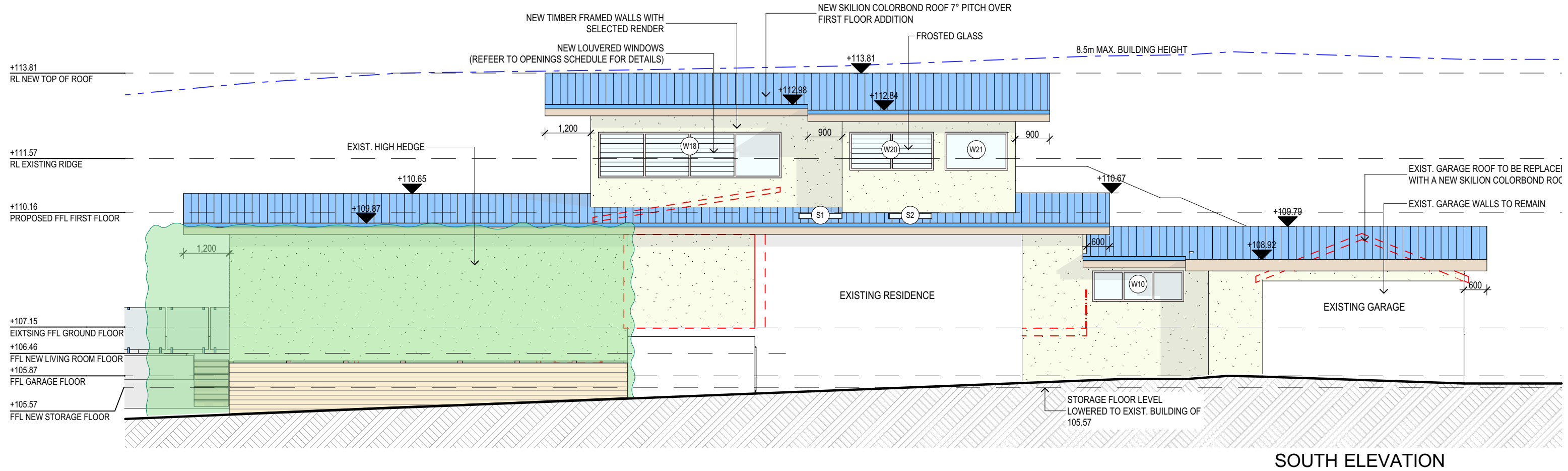


NORTH ELEVATION

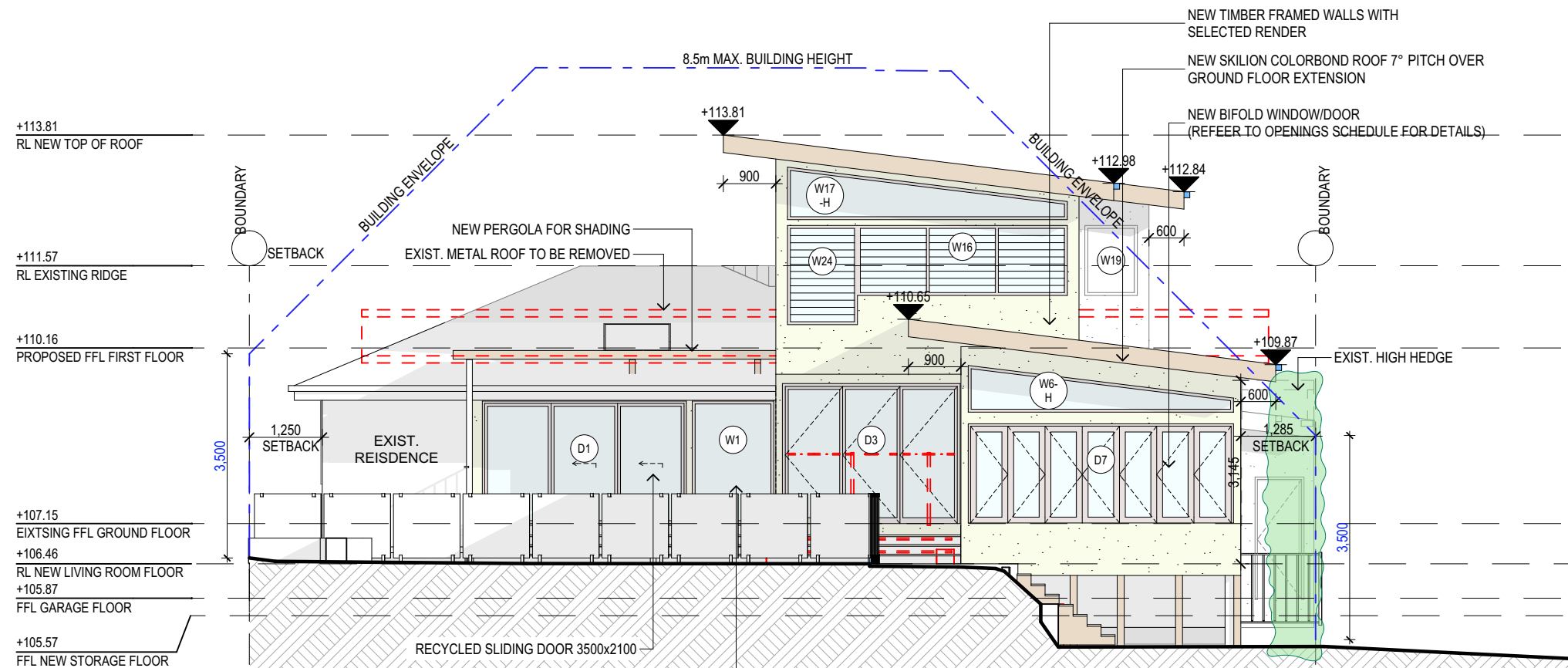


EAST ELEVATION

	NOTES (E & OE) ● All structures including stormwater & drainage to engineer's details. ● Do not obtain dimensions by scaling drawings. ● All dimensions are to be checked on site prior to starting work. ● These drawings are to be read in conjunction with all other consultant's drawings and specifications. ● All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. ● New materials are to be used throughout unless otherwise noted. ● Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	<i>JJ Drafting</i> Division of JJ DRAFTING AUSTRALIA PTY LTD 26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 Email. jjdraft@tpg.com.au www.jjdrafting.com.au ACN 651 693 346	REV:	DATE:	DESCRIPTION:	PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 18 EBOR ROAD PALM BEACH	DATE: 09/21	DRAWN BY: CA	SCALE: 1:100 @ A3
			AA	30.09.21	NEW START - PRELIM DESIGN DRAWINGS				
			BB	05.10.21	AMENDMENTS TO PRELIM DRAWINGS				
			CC	18.10.21	DA DRAWINGS				
			DRAWING TITLE: PROPOSED ELEVATIONS SHEET 1						JOB No: 850A/20

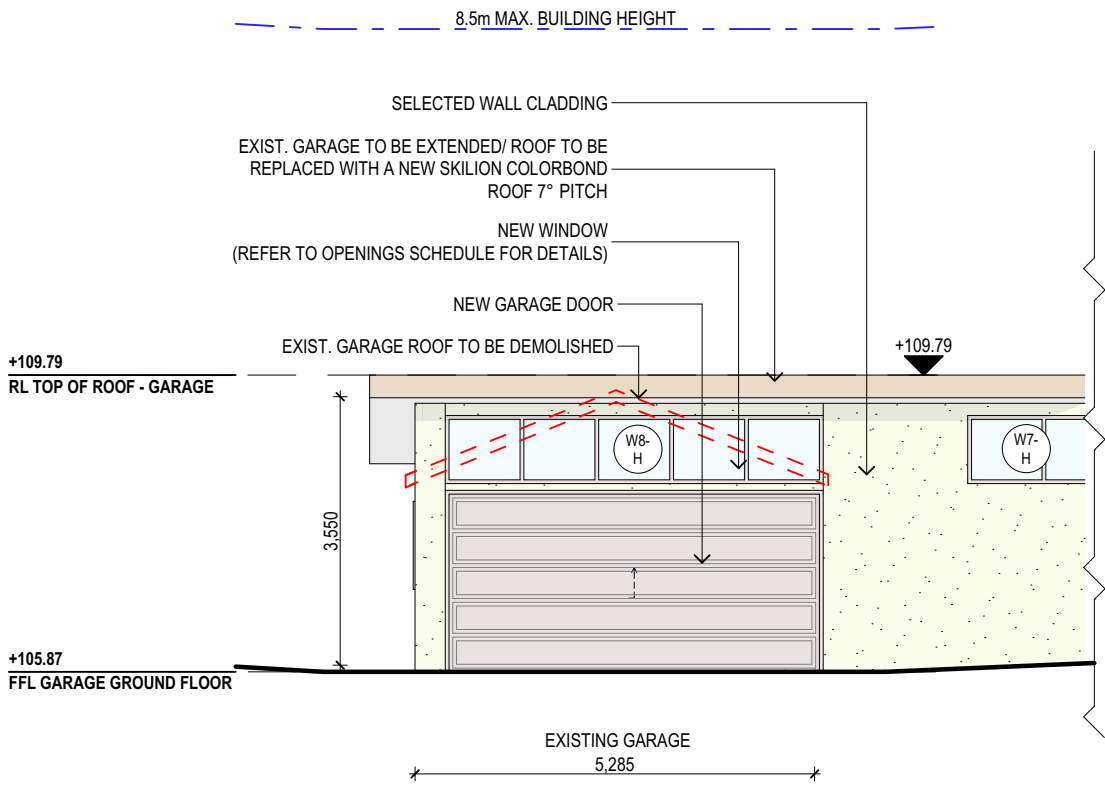


SOUTH ELEVATION

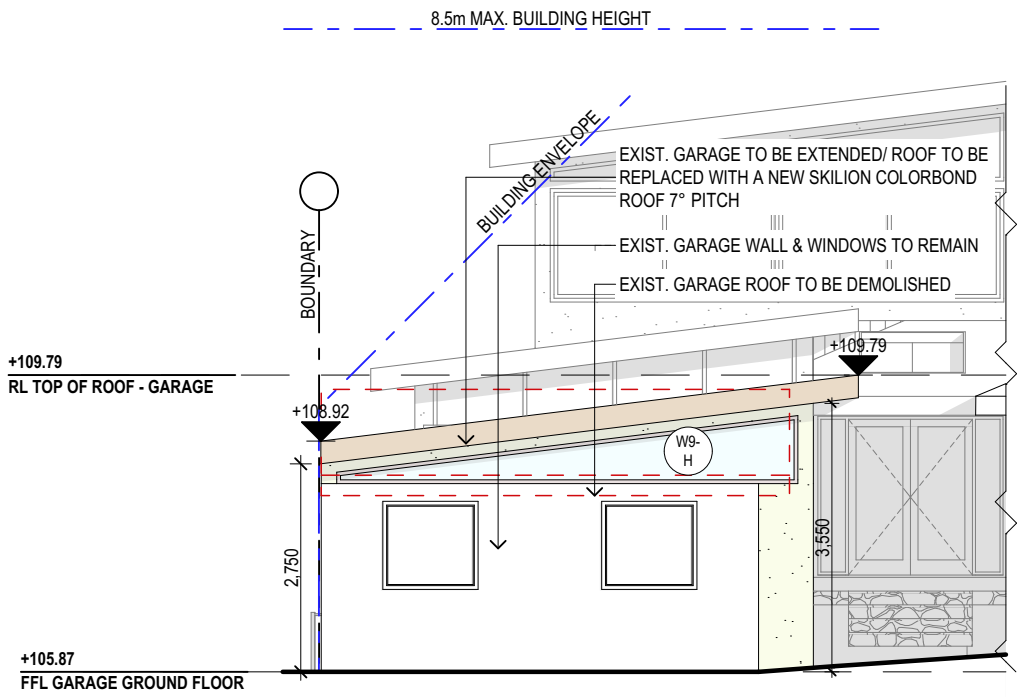


WEST ELEVATION

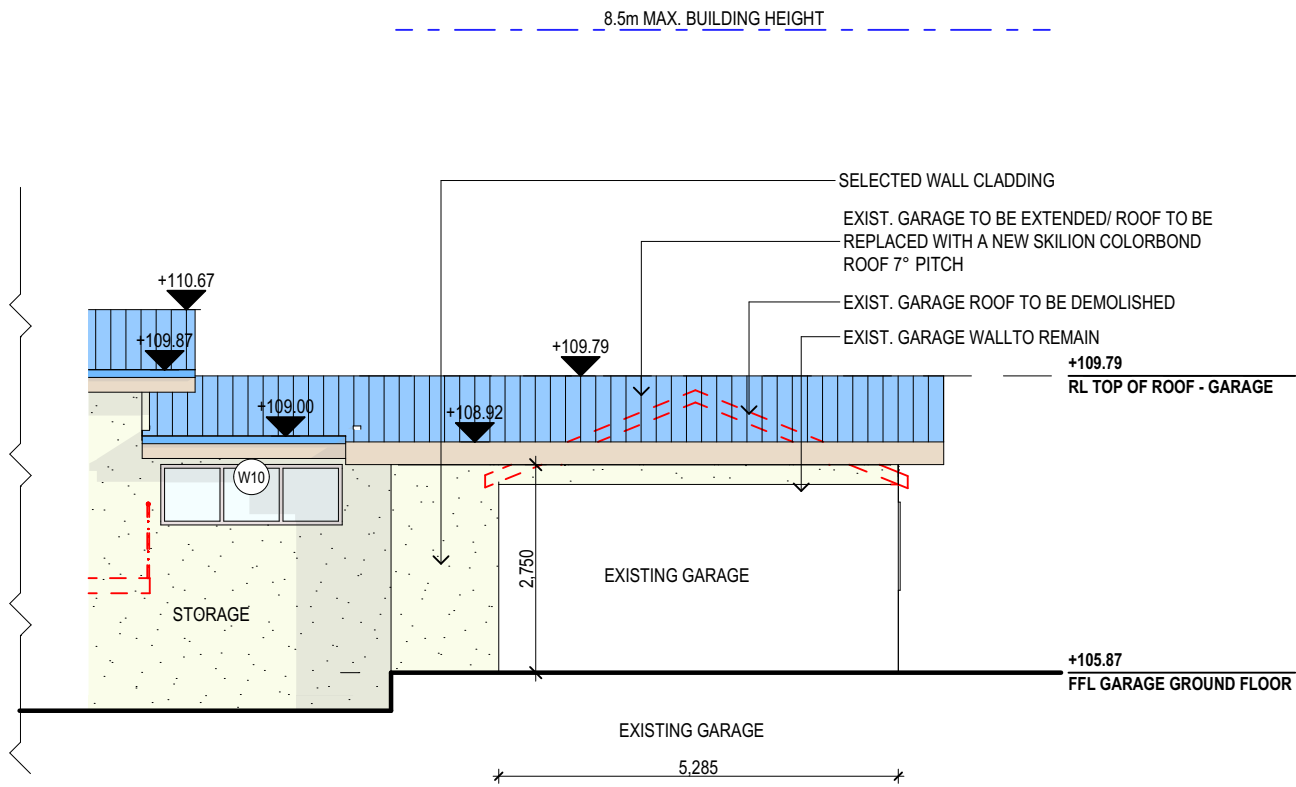
	NOTES (E & OE) • All structures including stormwater & drainage to engineer's details. • Do not obtain dimensions by scaling drawings. • All dimensions are to be checked on site prior to starting work. • These drawings are to be read in conjunction with all other consultant's drawings and specifications. • All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. • New materials are to be used throughout unless otherwise noted. • Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	JJ Drafting Division of JJ DRAFTING AUSTRALIA PTY LTD 26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 Email. jjdraft@tpg.com.au www.jjdrafting.com.au ACN 651 693 346	REV: AA	DATE: 30.09.21	DESCRIPTION: NEW START - PRELIM DESIGN DRAWINGS	PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 18 EBOR ROAD PALM BEACH	DATE: 09/21	DRAWN BY: CA	SCALE: 1:100 @ A3
			BB	05.10.21	AMENDMENTS TO PRELIM DRAWINGS				
			CC	18.10.21	DA DRAWINGS				
						DRAWING TITLE: PROPOSED ELEVATIONS SHEET 2	JOB No: 850A/20	CHECKED BY: JJ	DRAWING No: DA.08



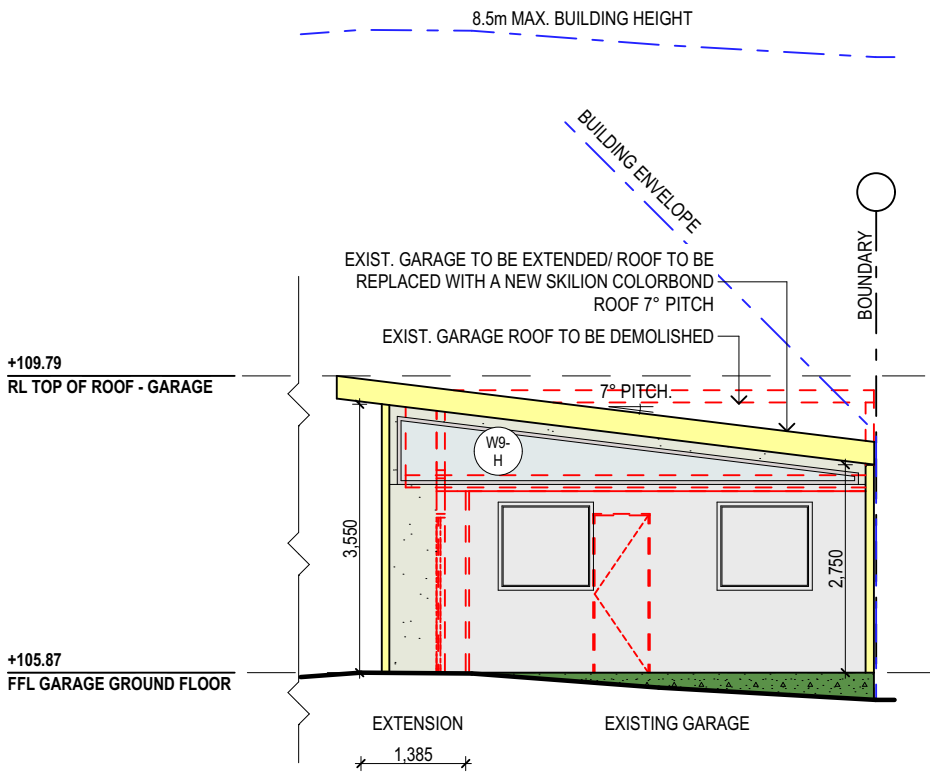
GARAGE NORTH ELEVATION



GARAGE EAST ELEVATION



GARAGE SOUTH ELEVATION



GARAGE WEST ELEVATION

TRUE NORTH:



NOTES (E & OE)

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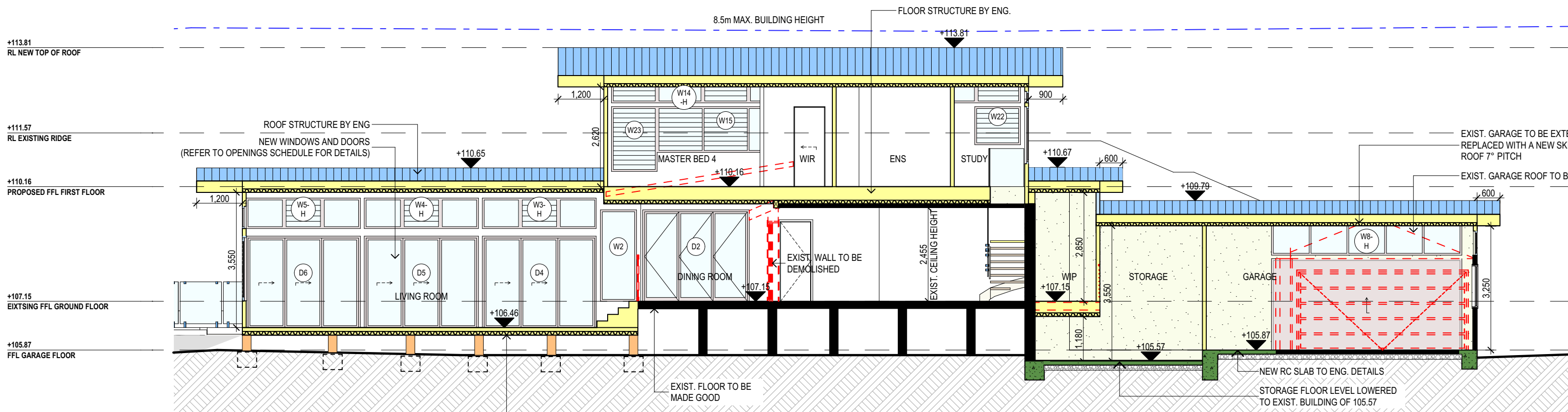
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AA	30.09.21	NEW START - PRELIM DESIGN DRAWINGS
BB	05.10.21	AMENDMENTS TO PRELIM DRAWINGS
CC	18.10.21	DA DRAWINGS

PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 18 EBOR ROAD PALM BEACH	DRAWING TITLE: GARAGE ELEVATIONS
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DATE: 09/21	DRAWN BY: CA	SCALE: 1:100 @ A3
JOB No: 850A/20	CHECKED BY: JJ	DRAWING No: DA.09



SECTION

NOTES (E & OE)

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PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 18 EBOR ROAD PALM BEACH
DRAWING TITLE: SECTION

DATE: 09/21	DRAWN BY: CA	SCALE: 1:100 @ A3
JOB No: 850A/20	CHECKED BY: JJ	DRAWING No: DA.10

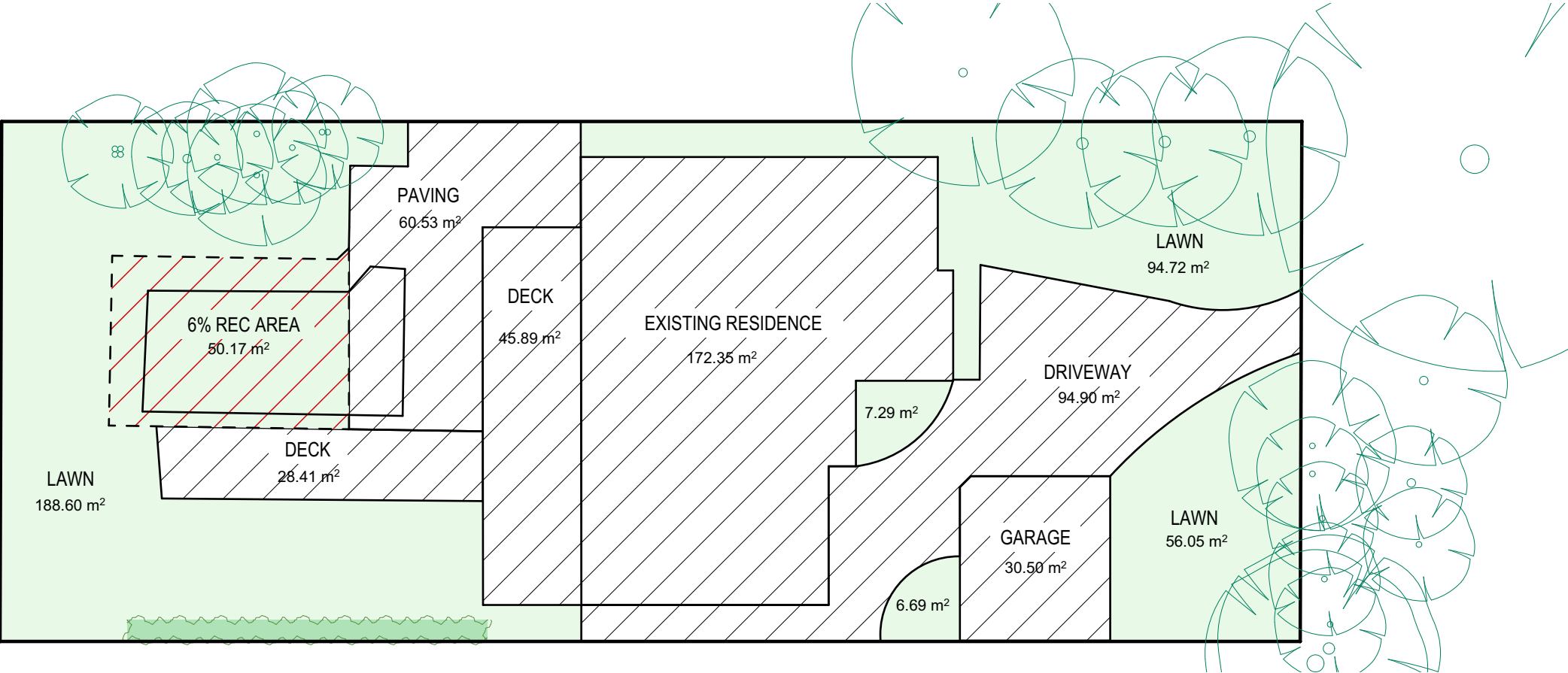
<u>BASIX REQUIREMENTS</u>	
BASIX INCLUSIONS FOR 18 EBOR ROAD, PALM BEACH 2108.	
<u>LIGHTING</u> 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.	
<u>WATER</u> SHOWER RATINGMIN. 3 STARS TAP RATINGMIN. 3 STARS WC RATINGMIN. 3 STARS	
<u>INSULATION</u>	
<u>CONSTRUCTION</u>	<u>ADDITIONAL INSULATION REQUIRED (R-VALUE)</u>
SUSPENDED FLOOR WITH OPEN SUBFLOOR: FRAMED (R0.7)	R0.8 (DOWN) (OR R1.50 INCLUDING CONSTRUCTION)
EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD)	R1.30 (OR R1.70 INCLUDING CONSTRUCTION)
INTERNAL WALL SHARED WITH GARAGE: PLASTERBOARD (R0.36)	NIL
RAKED CEILING, PITCHED/SKILLION ROOF: FRAMED	CEILING: R2.24 (UP), ROOF: FOIL BACKED BLANKET (55mm) MEDIUM (SOLAR ABSORPTANCE 0.475-0.70)
CONCRETE SLAB ON GROUND FLOOR (GARAGE/STORAGE)	NIL
<u>GLAZING - DOORS & WINDOWS</u>	
STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75) W1, W2, W3-H, W4-H, W5-H, W6-H, W7-H, W10, W11, W12-H, W13-H, W14-H, W15, W16, W17-H, W18, W19, W20, W21, W22, W23, W24, W25-H, D1, D2, D3, D4, D5, D6, D7. STANDARD ALUMINIUM, SINGLE PYROLYTIC LOW-E, (OR U-VALUE: 5.7, SHGC: 0.47) W8-H, W9-H TIMBER, LOW-E INTERNAL/ARGON FILL/CLEAR EXTERNAL, (OR U-VALUE: 2.5, SHGC: 0.456) S1, S2.	

SPECIFICATION NOTES

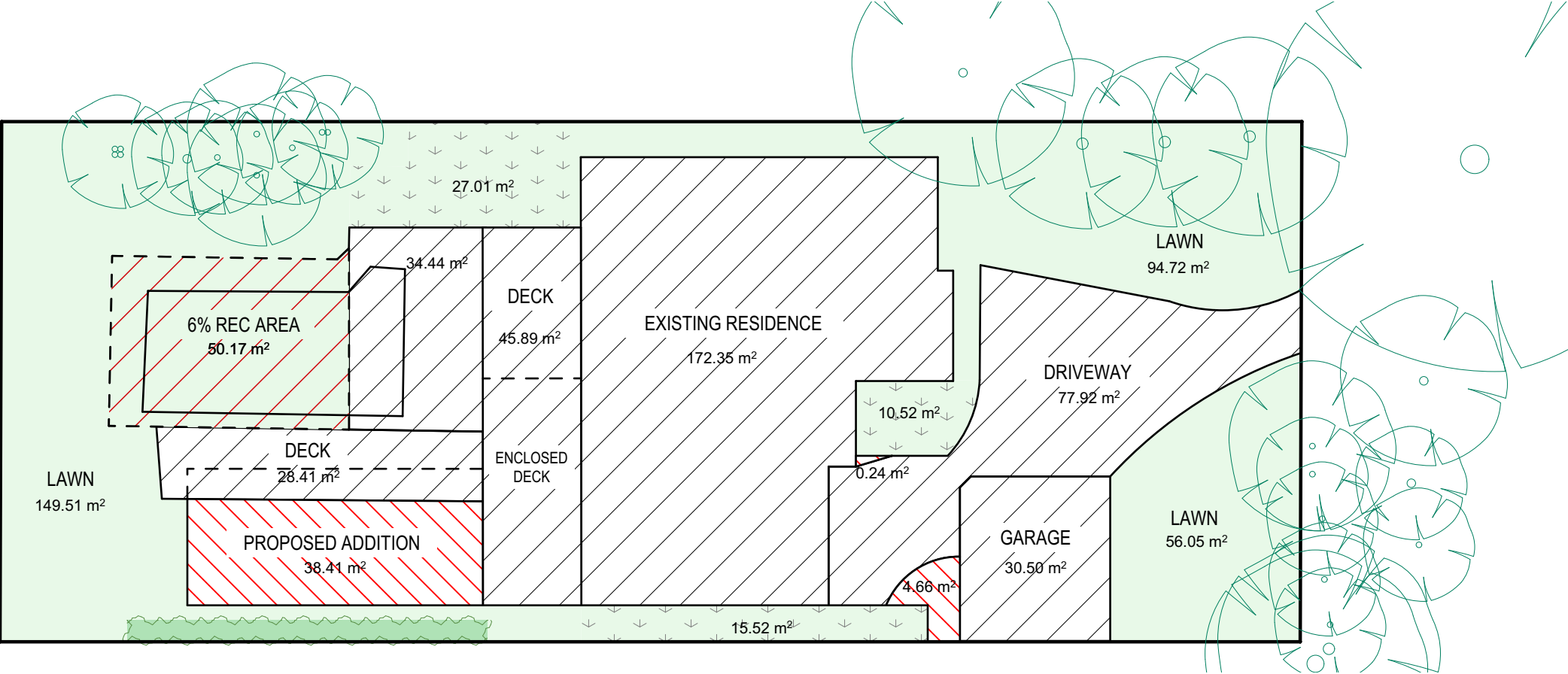
<u>INTERNAL LINING</u> - PROVIDE PLASTERBOARD LINING. - INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589	<u>FOOTINGS:</u> - FOOTINGS TO BE IN ACCORDANCE WITH AS1480. - FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5 - ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.
<u>EXTERNAL WALLS:</u> - LIGHTWEIGHT TIMBER CLADDING OR SIMILAR.	<u>BRICK AND BLOCKWORK:</u> - CONSTRUCTION OF MASONRY BUILDINGS SHALL BE AS PER AS3700 OR AS4773.
<u>FLOOR:</u> - GROUND FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING. - FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.	<u>CARPENTRY:</u> - TIMBER TO COMPLY WITH AS1170.2 OR AS4055. - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.
<u>WET AREAS:</u> - ALL WATERPROOFING TO AS 3740 - PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERS WALLS TO MANUFACTURES INSTRUCTIONS	<u>TIMBER FRAMING:</u> - TO COMPLY WITH NCC VOL.2 PART 3.4 - GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK. - SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1. - IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY. - WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE. - USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY. - DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION. - PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684 - PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684 - USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.
<u>BEARERS AND JOISTS:</u> - SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGTHWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.	<u>TERMITE CONTROL:</u> - TO BE IN ACCORDANCE WITH TO AS3660.1 - SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.3 OR VOL.1 PART B1.4.
<u>ANT CAPS:</u> - SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.	<u>FLASHING AND CAPPINGS:</u> - SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180 - FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP. - PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.
<u>PROFILED STEEL ROOF:</u> - NCC VOL.2 PART 3.5.1. - DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562.	<u>CONCRETE BLOCKS OR BRICKS:</u> - TO COMPLY WITH TO AS4455 MANSORY BUILDING BLOCKS/PAVER.
<u>ROOFING:</u> - COLORBOND ROOF CLADDING	
<u>CONCRETE:</u> - SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3. - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.	

<u>LIGHTING:</u> - 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS	<u>GLAZING:</u> - NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6
<u>DOOR & WINDOWS:</u> - ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS. - ALUMINIUM FRAMED WINDOWS AND DOORS. - WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.	<u>SMOKE DETECTORS/ALARMS:</u> - NCC VOL.2 PART 3.7.2, FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786. - INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a. - MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.
<u>STAIRS, HANDRAILS AND BALUSTRADES:</u> - NCC VOL.2 PARTS 3.9.1 AND 3.9.2 - RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657. - BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL. - THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm. - THE HEIGHT OF BALUSTRADE TO THE NEW STAIR CASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.	<u>WASTE MANAGEMENT:</u> - ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT. - ALL WASTE SHALL BE COVERED DURING TRANSPORTATION. - WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.
<u>SLIP RESISTANCE:</u> - MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.	<u>SEDIMENT CONTROL:</u> - A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.
<u>STORMWATER:</u> EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES - TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS. - NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE - COLORBOND GUTTERS AND DOWNPIPES - MINIMUM SLOPE OF EAVES AND GUTTERS 1:200	<u>NOTE:</u> ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

	NOTES (E & OE) ● All structures including stormwater & drainage to engineer's details. ● Do not obtain dimensions by scaling drawings. ● All dimensions are to be checked on site prior to starting work. ● These drawings are to be read in conjunction with all other consultant's drawings and specifications. ● All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. ● New materials are to be used throughout unless otherwise noted. ● Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	JJ Drafting Division of JJ DRAFTING AUSTRALIA PTY LTD 26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 Email. jjdraft@tpg.com.au www.jjdrafting.com.au ACN 651 693 346	REV:DATE:DESCRIPTION: AA30.09.21NEW START - PRELIM DESIGN DRAWINGS BB05.10.21AMENDMENTS TO PRELIM DRAWINGS CC18.10.21DA DRAWINGS	PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 18 EBOR ROAD PALM BEACH	DATE: 09/21	DRAWN BY: CA	SCALE: @ A3
			DRAWING TITLE: BASIX	JOB No: 850A/20	CHECKED BY: JJ	DRAWING No: DA.11	



EXISTING LANDSCAPED AREA CALCULATIONS



PROPOSED LANDSCAPED AREA CALCULATIONS

CALCULATIONS

SITE AREA			836.1m ²
LANDSCAPE CONTROL		60%	501.66m ²
6% OUTDOOR RECREATIONAL AREA		6%	50.17m ²
EXISTING LANDSCAPED AREA		48.26%	403.52m ²
LAWN REINSTATED			53.05m ²
TOTAL LANDSCAPE AREA		48.26%	403.52m ²
EXISTING HARD SURFACE AREA		51.74%	432.58m ²
HARD SURFACE AREA TO BE RETAINED			389.51m ²
NEW HARD SURFACE AREA			43.07m ²
TOTAL HARD SURFACE AREA		51.74%	432.58m ²

TRUE NORTH:



NOTES (E & OE)

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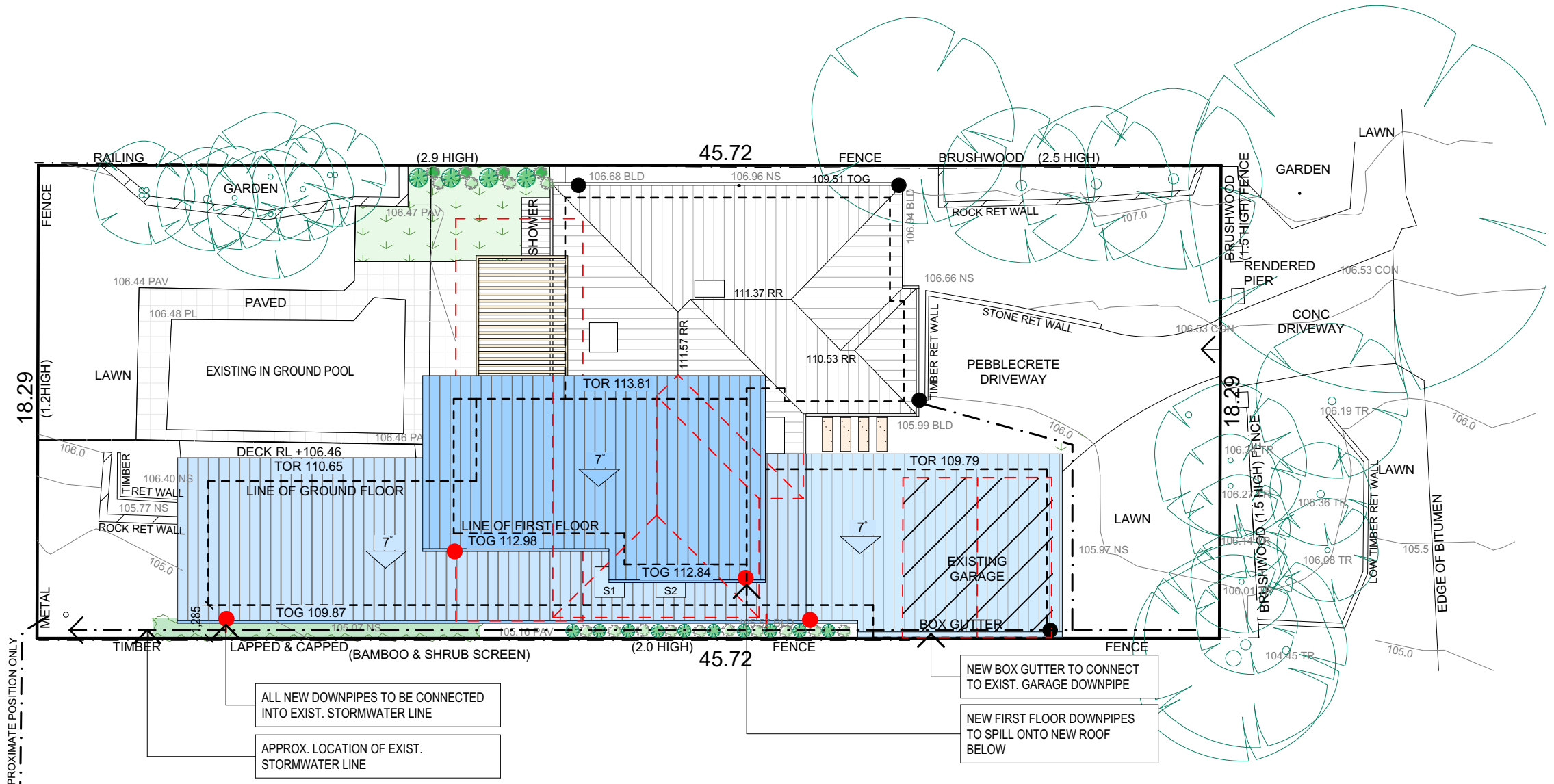
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PROJECT DETAILS:
PROPOSED ALTERATIONS AND ADDITIONS
18 EBOR ROAD PALM BEACH
DRAWING TITLE:
LANDSCAPED AREA CALCULATION PLAN

DATE:	DRAWN BY:	SCALE:
09/21	CA	1:200 @ A3
JOB No:	CHECKED BY:	DRAWING No:
850A/20	JJ	DA.12



STORMWATER CONCEPT LEGEND

EXISTING DOWNPIPES ●

NEW DOWNPIPES ●

EXISTING STORMWATER LINE - · -

NEW STORMWATER LINE - · -

ROOF & STORMWATER CONCEPT PLAN

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
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PROJECT DETAILS:

PROPOSED ALTERATIONS AND ADDITIONS

18 EBOR ROAD PALM BEACH

DRAWING TITLE:

ROOF & STORMWATER CONCEPT PLAN

DATE:	09/21	DRAWN BY:	CA	SCALE:	1:200 @ A3
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NOTES

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

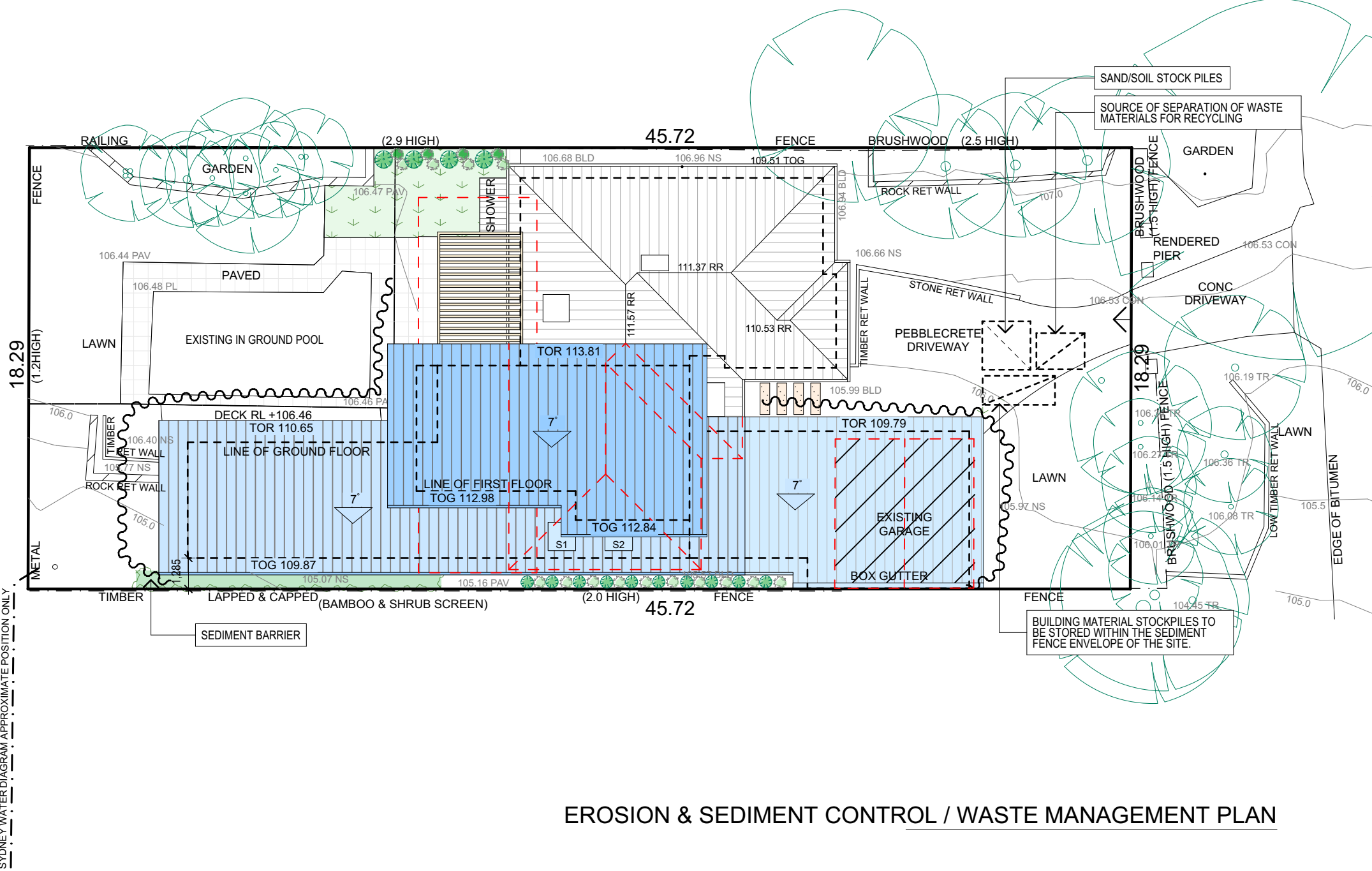
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

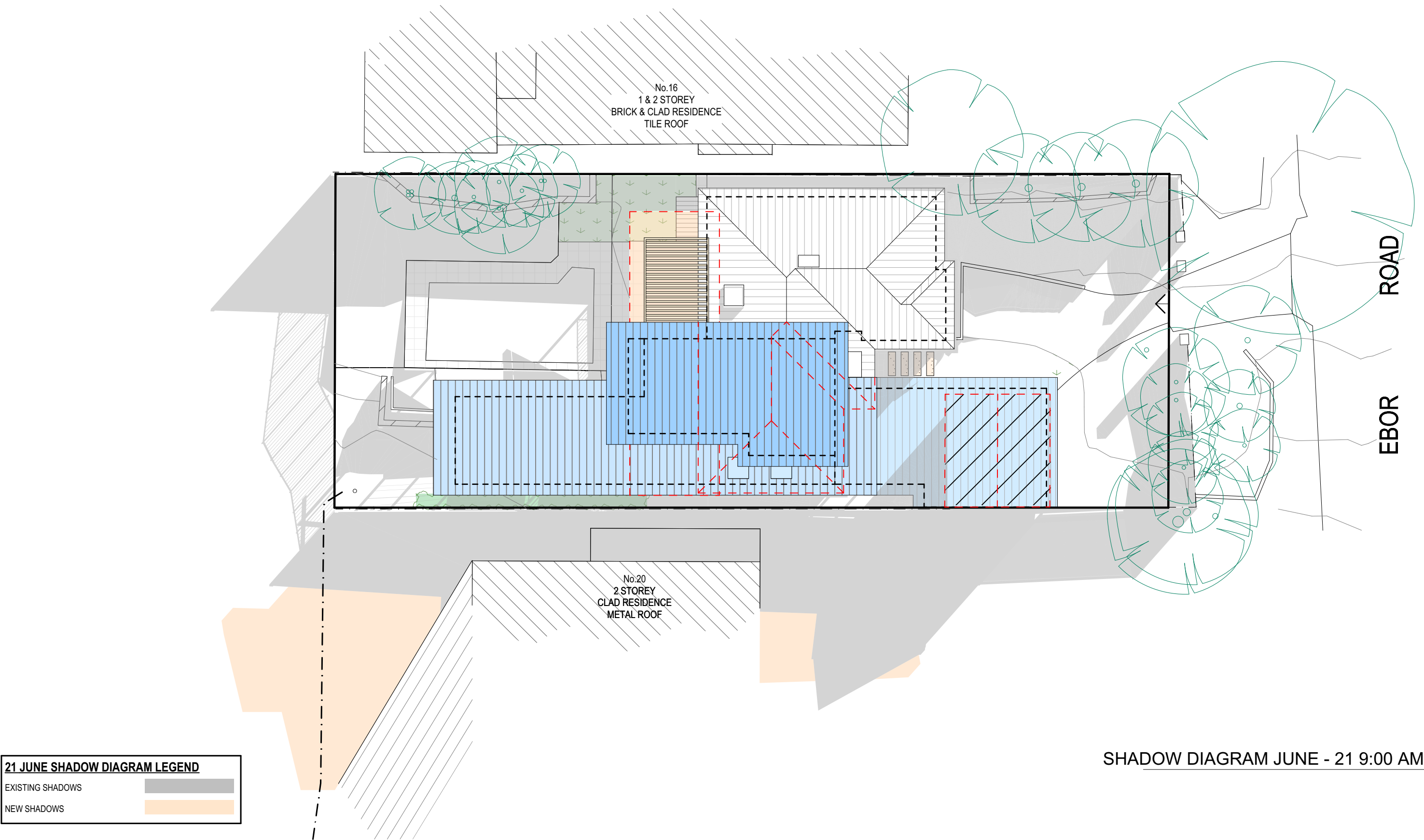
DIVERSION CHANNELS

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.



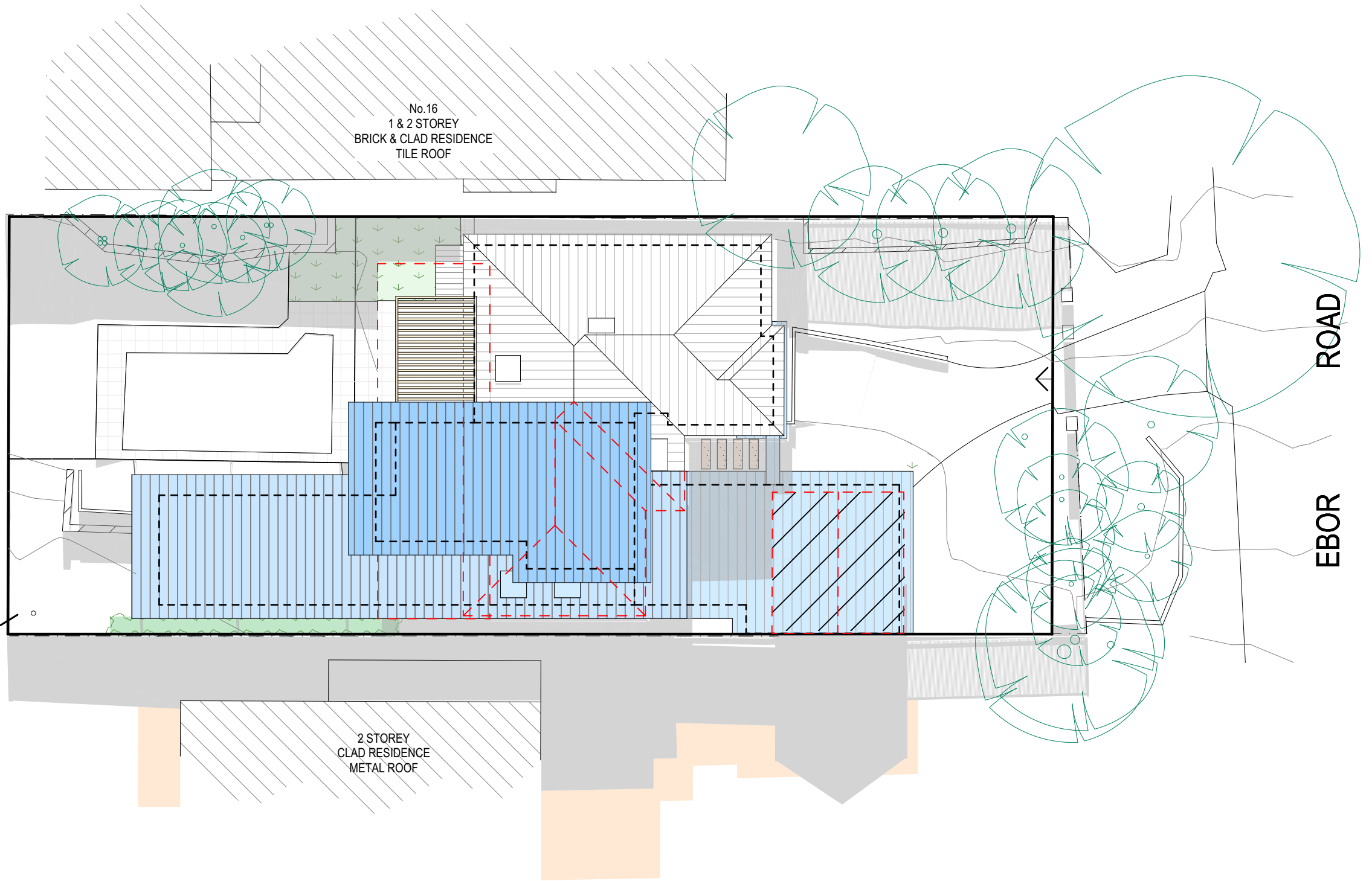


SHADOW DIAGRAM JUNE - 21 9:00 AM

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS



21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS



NEW SHADOWS



SHADOW DIAGRAM JUNE 21 - 12:00 PM

TRUE NORTH:



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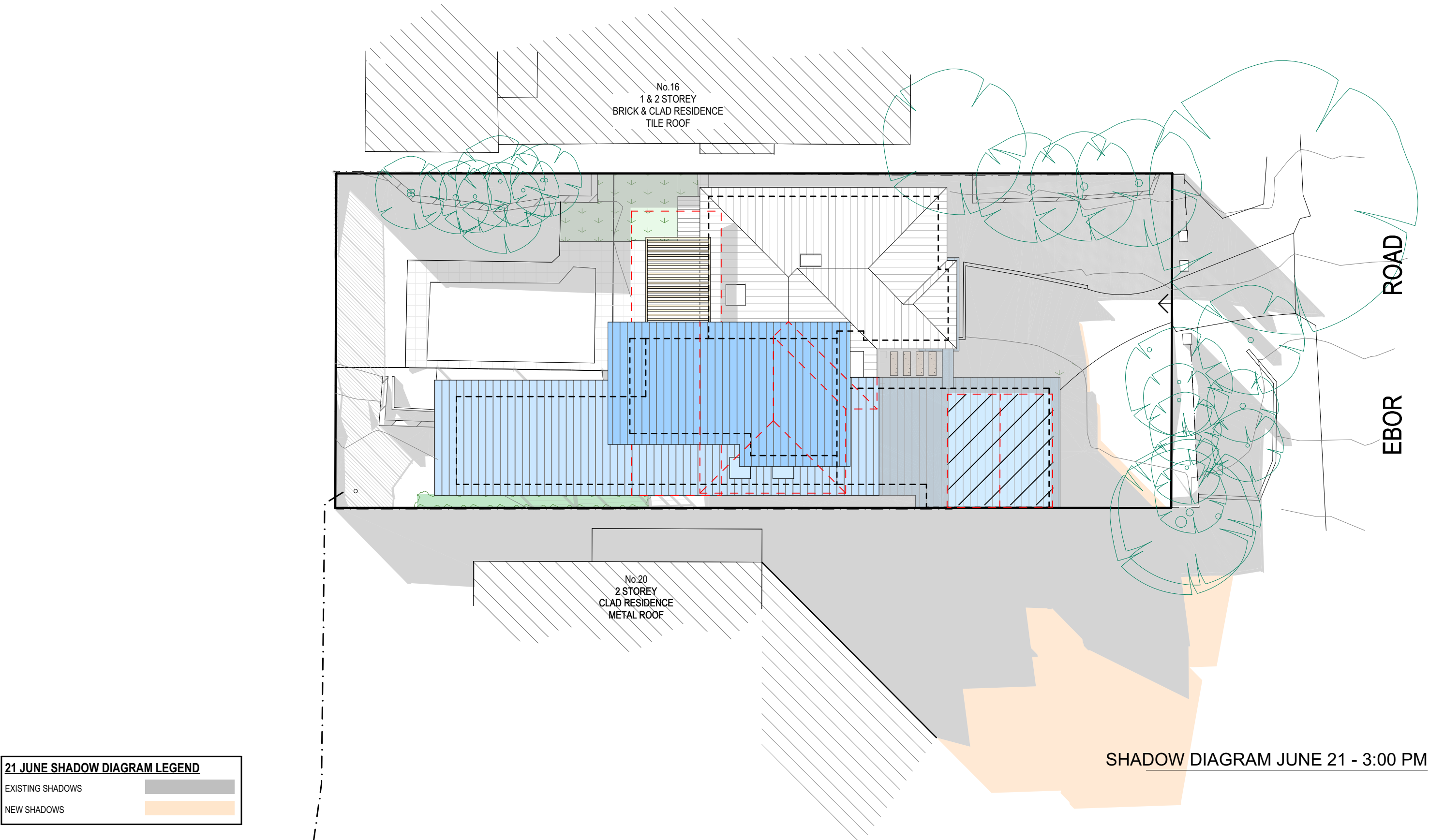
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PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 18 EBOR ROAD PALM BEACH
DRAWING TITLE: SHADOW DIAGRAM JUNE 21 12 noon

DATE: 09/21	DRAWN BY: CA	SCALE: 1:200 @ A3
JOB No: 850A/20	CHECKED BY: JJ	DRAWING No: DA.16



21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:

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PROJECT DETAILS:

PROPOSED ALTERATIONS AND ADDITIONS

18 EBORA ROAD PALM BEACH

DRAWING TITLE:

SHADOW DIAGRAM JUNE 21 3:00 pm

DATE:

09/21

DRAWN BY:

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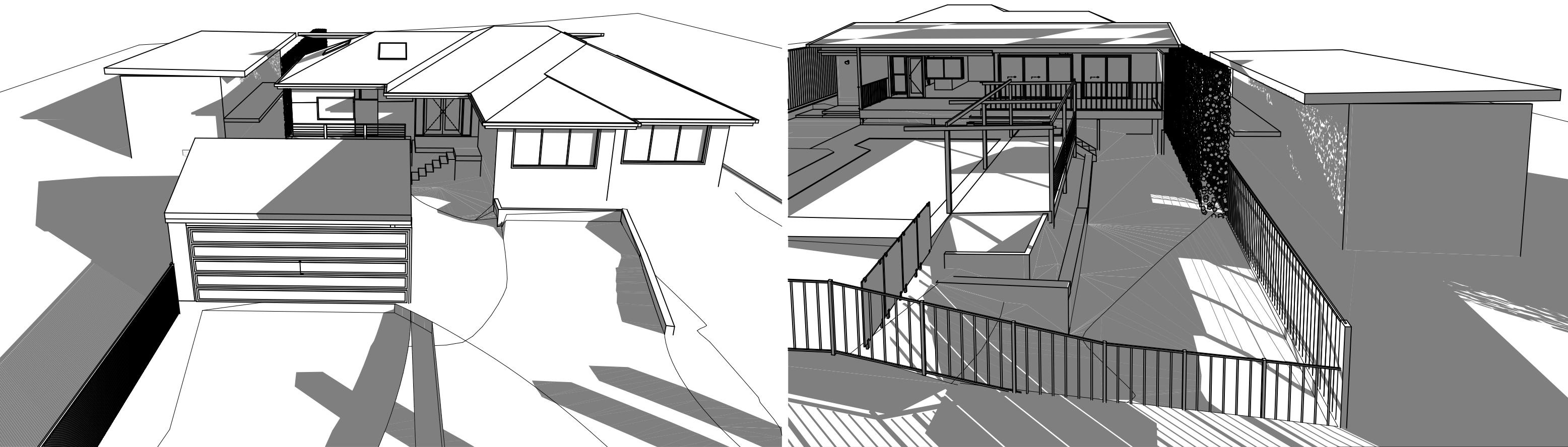
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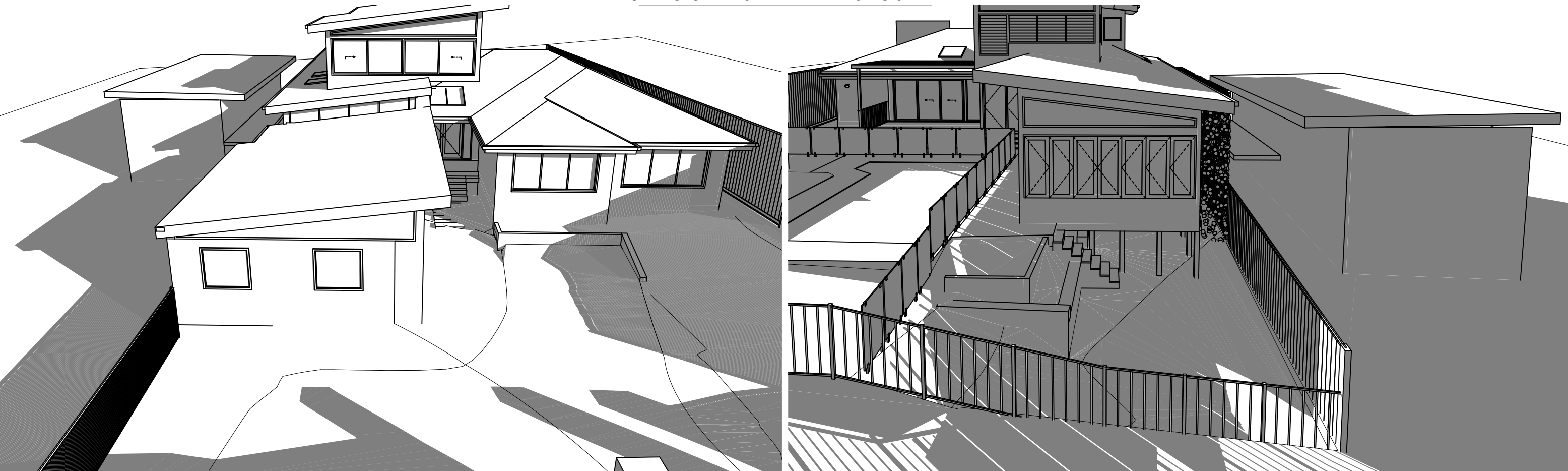
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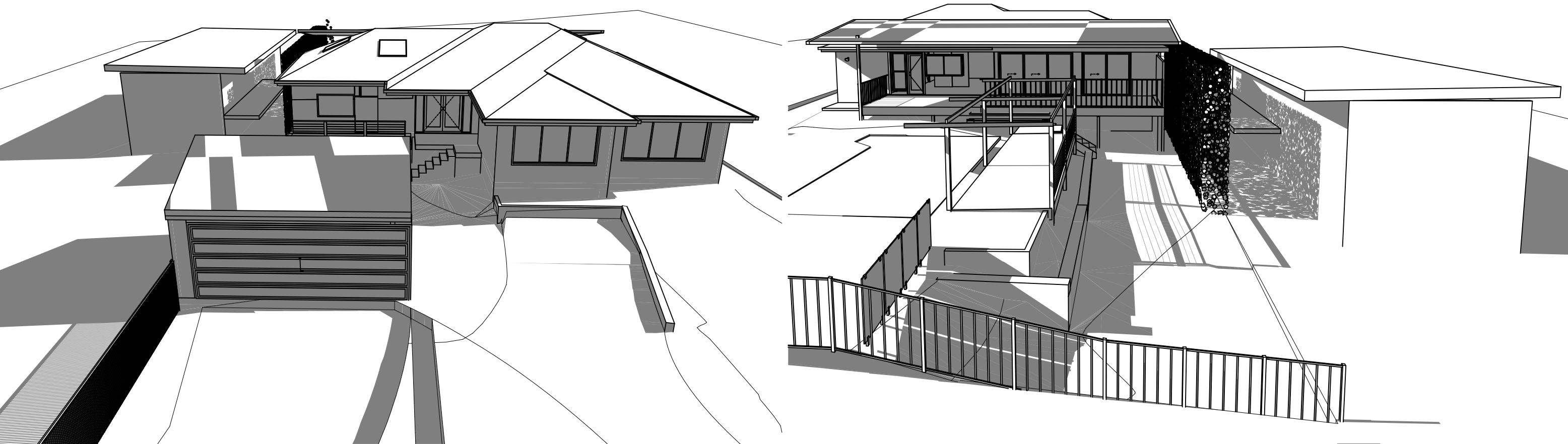


EXISTING SHADOW ELEVATIONS 9AM

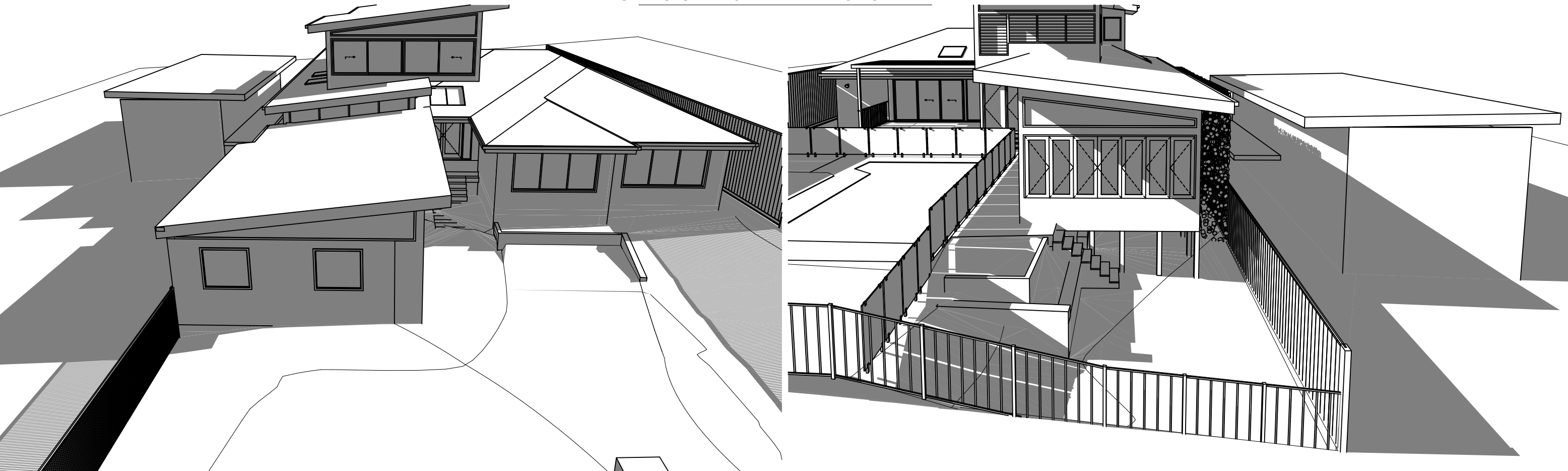


PROPOSED SHADOW ELEVATIONS 9AM

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			CC 18.10.21 DA DRAWINGS						

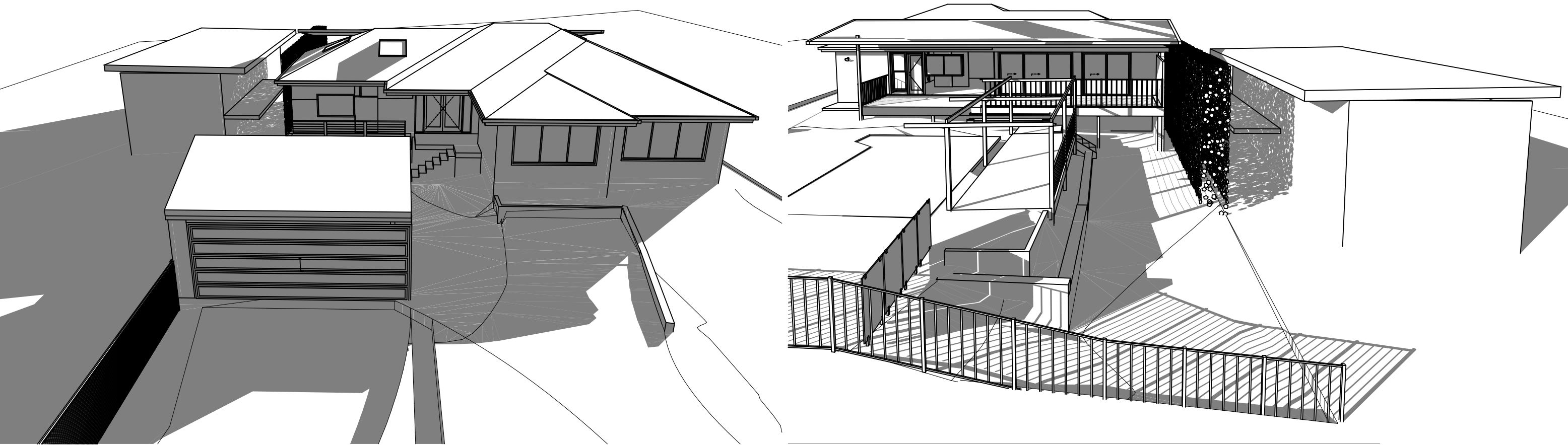


EXISTING SHADOW ELEVATIONS 12PM

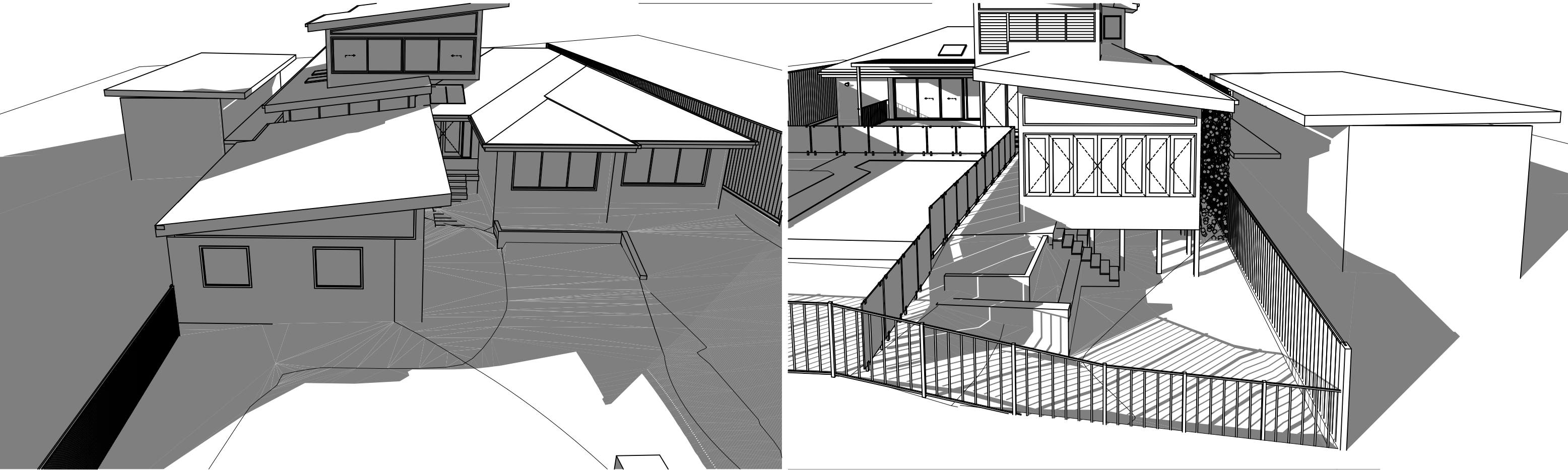


PROPOSED SHADOW ELEVATIONS 12PM

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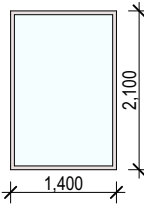
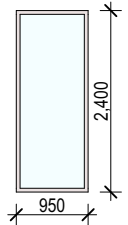
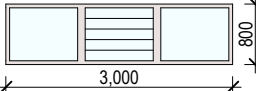
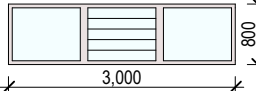
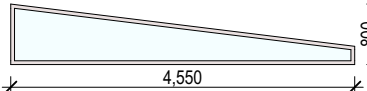
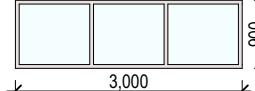
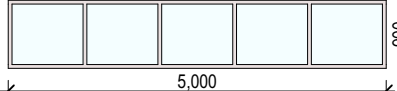


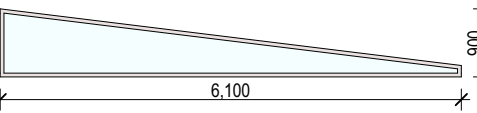
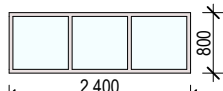
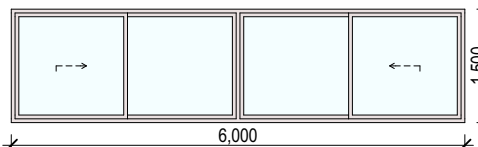
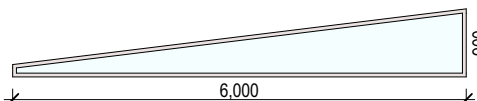
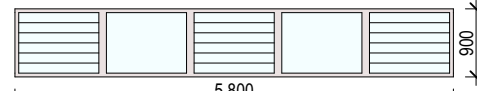
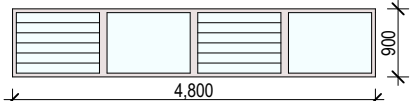
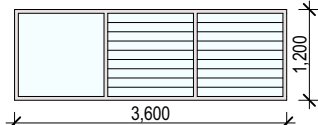
EXISTING SHADOW ELEVATIONS 3PM



PROPOSED SHADOW ELEVATIONS 3PM

	NOTES (E & OE) ● All structures including stormwater & drainage to engineer's details. ● Do not obtain dimensions by scaling drawings. ● All dimensions are to be checked on site prior to starting work. ● These drawings are to be read in conjunction with all other consultant's drawings and specifications. ● All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. ● New materials are to be used throughout unless otherwise noted. ● Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	JJ Drafting Division of JJ DRAFTING AUSTRALIA PTY LTD 26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 Email. jjdraft@tpg.com.au www.jjdrafting.com.au ACN 651 693 346	<table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td>AA</td><td>30.09.21</td><td>NEW START - PRELIM DESIGN DRAWINGS</td></tr><tr><td>BB</td><td>05.10.21</td><td>AMENDMENTS TO PRELIM DRAWINGS</td></tr><tr><td>CC</td><td>18.10.21</td><td>DA DRAWINGS</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>	REV:	DATE:	DESCRIPTION:	AA	30.09.21	NEW START - PRELIM DESIGN DRAWINGS	BB	05.10.21	AMENDMENTS TO PRELIM DRAWINGS	CC	18.10.21	DA DRAWINGS													<table><tr><td>PROJECT DETAILS:</td></tr><tr><td>PROPOSED ALTERATIONS AND ADDITIONS</td></tr><tr><td>18 EBOR ROAD PALM BEACH</td></tr></table>	PROJECT DETAILS:	PROPOSED ALTERATIONS AND ADDITIONS	18 EBOR ROAD PALM BEACH	<table><tr><td>DATE:</td></tr><tr><td>09/21</td></tr></table>	DATE:	09/21	<table><tr><td>DRAWN BY:</td></tr><tr><td>CA</td></tr></table>	DRAWN BY:	CA	<table><tr><td>SCALE:</td></tr><tr><td>1:200 @ A3</td></tr></table>	SCALE:	1:200 @ A3
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LABEL ID	W1	W2	W3-H	W4-H	W5-H	W6-H	W7-H	W8-H
ORIENTATION	WEST	NORTH	NORTH	NORTH	NORTH	WEST	NORTH	NORTH
ELEVATION								
SILL HEIGHT	0	690	2,600	2,600	2,600	2,600	2,489	2,489
LOCATION	ENTRY HALL NEAR DINING - GROUND FLOOR	STAIRS TO NEW LIVING ROOM - GROUND FLOOR	LIVING ROOM - GROUND FLOOR	LIVING ROOM - GROUND FLOOR	LIVING ROOM - GROUND FLOOR	LIVING ROOM - GROUND FLOOR	STORAGE CORRIDOR	GARAGE
TYPE	RECYCLED - FIXED GLASS	FIXED GLASS	FIXED & LOUVERED PANES	FIXED & LOUVERED PANES	FIXED & LOUVERED PANES	FIXED GLASS	SLIDING OR FIXED PANES	SLIDING OR FIXED PANES
AREA FOR BASIX	2.94	2.28	2.40	2.40	2.40	3.64	2.70	4.50

W9-H	W10	W11	W12-H	W13-H	W14-H	W15
EAST	SOUTH	EAST	EAST	NORTH	NORTH	NORTH
						
0	2,253	600	2,200	2,200	2,200	900
GARAGE	STORAGE	STUDY - FIRST FLOOR	STUDY - FIRST FLOOR	STUDY - FIRST FLOOR	MASTER BEDROOM - FIRST FLOOR	MASTER BEDROOM 4 - FIRST FLOOR
FIXED GLASS	FIXED OR SLIDING	SLIDING WINDOWS	FIXED GLASS	FIXED & LOUVERED PANES	FIXED & LOUVERED PANES	FIXED & LOUVERED PANES
5.49	1.92	9.00	5.40	5.22	4.32	4.32

WINDOW SCHEDULE

NOTES

FRAME OPENING DIMENSIONS FOR WINDOWS & DOORS TO BE CONFIRMED ON SITE PRIOR TO ORDERING.

NOTES (E & OE)

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AA	30.09.21	NEW START - PRELIM DESIGN DRAWINGS
BB	05.10.21	AMENDMENTS TO PRELIM DRAWINGS
CC	18.10.21	DA DRAWINGS

PROJECT DETAILS:

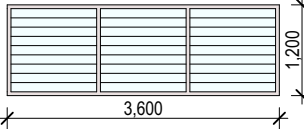
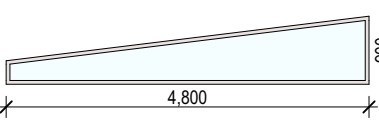
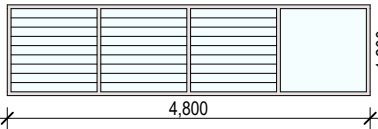
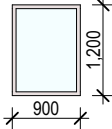
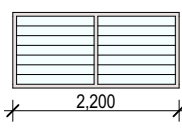
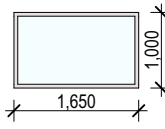
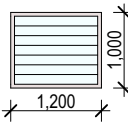
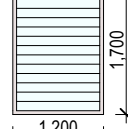
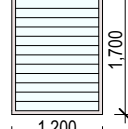
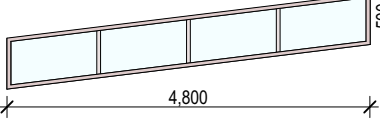
PROPOSED ALTERATIONS AND ADDITIONS

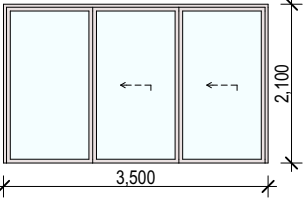
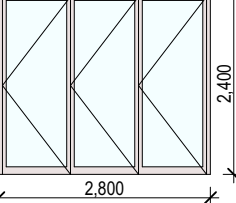
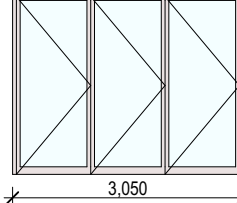
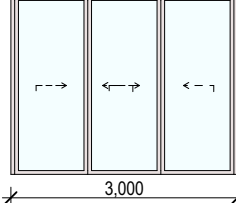
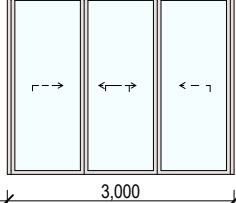
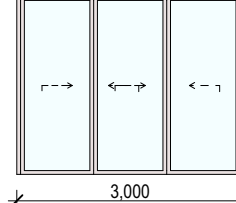
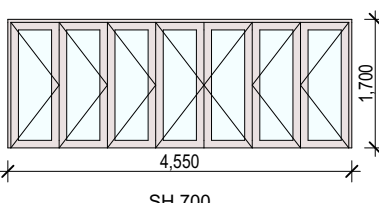
18 EBOR ROAD PALM BEACH

DRAWING TITLE:

OPENINGS SCHEDULE

DATE:	DRAWN BY:	SCALE:
09/21	CA	1:1 @ A3
JOB No:	CHECKED BY:	DRAWING No:
850A/20	JJ	1 of 2

LABEL ID	W16	W17-H	W18	W19	W20	W21	W22	W23	W24	W25-H
ORIENTATION	WEST	WEST	SOUTH	WEST	SOUTH	SOUTH	NORTH	NORTH	WEST	EAST
ELEVATION										
SILL HEIGHT	900	2,200	900	900	1,100	1,100	1,100	400	400	0
LOCATION	MASTER BEDROOM 4 - FIRST FLOOR	MASTER BEDROOM 4 - FIRST FLOOR	MASTER BEDROOM 4 - FIRST FLOOR	ENSUITE BATH - FIRST FLOOR	ENSUITE BATH - FIRST FLOOR	OVER STAIRS - FIRST FLOOR	STUDY - FIRST FLOOR	MASTER BEDROOM 4 - FIRST FLOOR	MASTER BEDROOM 4 - FIRST FLOOR	OVER PANTRY - GROUND FLOOR
TYPE	LOUVERED WINDOWS	FIXED GLASS	LOUVERED WINDOWS	FIXED GLASS	LOUVERED WINDOWS - FROSTED	FIXED GLASS	LOUVERED WINDOW	LOUVERED WINDOW	LOUVERED WINDOW	FIXED GLASS
AREA FOR BASIX	4.32	4.32	5.76	1.08	2.20	1.65	1.20	2.04	2.04	2.40

LABEL ID	D1	D2	D3	D4	D5	D6	D7
ORIENTATION	WEST	NORTH	WEST	NORTH	NORTH	NORTH	WEST
ELEVATION							
LOCATION	EXISTING KITCHEN/DECK - GROUND FLOOR	DINING ROOM - GROUND FLOOR	DINING ROOM - GROUND FLOOR	LIVING ROOM - GROUND FLOOR	LIVING ROOM - GROUND FLOOR	LIVING ROOM - GROUND FLOOR	LIVING ROOM - GROUND FLOOR
TYPE	RECYCLED - SLIDING DOOR	SLIDING BIFOLD DOOR	SLIDING BIFOLD DOOR	SLIDING DOOR - MULTI DIRECTIONAL - STACKABLE	SLIDING DOOR - MULTI DIRECTIONAL - STACKABLE	SLIDING DOOR - MULTI DIRECTIONAL - STACKABLE	SLIDING BIFOLD WINDOW
AREA FOR BASIX	7.35	6.72	7.32	7.20	7.20	7.20	7.74

DOOR SCHEDULE

TRUE NORTH:



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PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 18 EBOR ROAD PALM BEACH	DRAWING TITLE: OPENINGS SCHEDULE
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DATE: 09/21	DRAWN BY: CA	SCALE: 1:1 @ A3
JOB No: 850A/20	CHECKED BY: JJ	DRAWING No: 2 of 2