

DA

for alterations and additions to existing building at:
14 BELLEVUE STREET, FAIRLIGHT, NSW, 2094

PROJECT INFORMATION:

Client: Cameron & Cassie Spencer
Address: 14 BELLEVUE STREET, FAIRLIGHT, NSW, 2094

DP No. LOT 2 / - / DP 587108
SITE AREA: 254.6m²
FSR: 0.60:1
LAND ZONING: R2 - Low Density Residential
MIN. LOT SIZE: n/a
ACID SULFATE SOILS: Class 5
HEIGHT OF BUILDING: Zone 1 - 8.5m
LANDSLIP RISK: AREA G4 - Ridges, Crests, major spur slopes & dissected plateau areas
SETBACKS: Side-0.9m, Rear- 3.0m
BUSHFIRE PRONE LAND: No
FLOOD HAZARD: No
LANDSCAPED OPEN SPACE: 35% of Total Open Space

PROJECT DESCRIPTION:

Proposed alterations and additions to an existing Residential building located
14 Bellevue Street, Fairlight, NSW
The subject site is identified as being located within the Northern Beaches Council Area.

The extent of the proposed works includes:
• ground and first floor modifications.
• rear entertaining deck.

The extent of the proposed works are illustrated on the Architectural Plans prepared by **We Make Plans**



location plan
14 BELLEVUE STREET, FAIRLIGHT, NSW, 2094

source: Google Maps

00. SHEET LIST

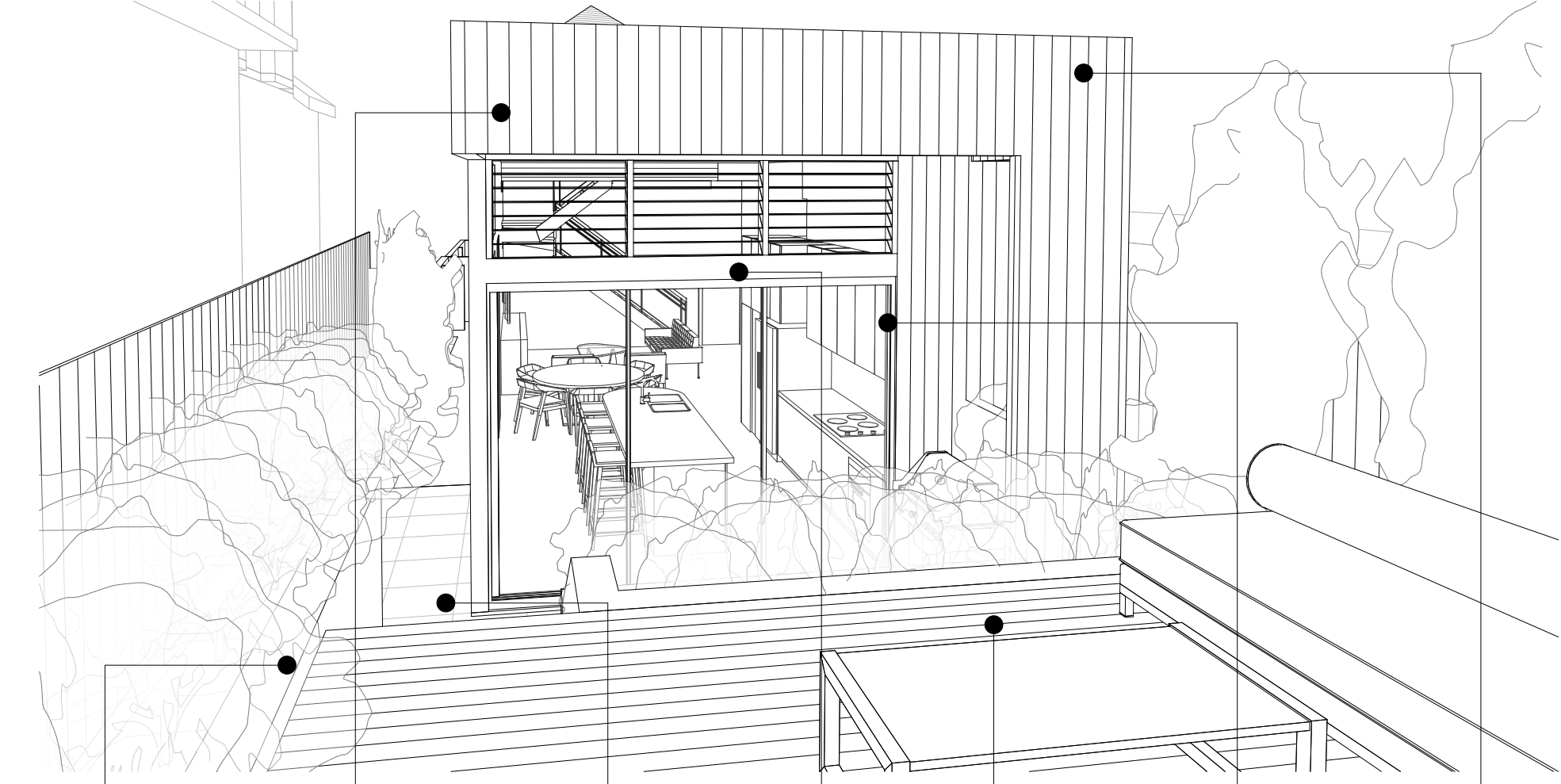
COVER SHEET	DA 001
SITE ANALYSIS	DA 010
CONSTRUCTION, SEDIMENT CONTROL AND WASTE MANAGEMENT PLAN	DA 011
GROUND FLOOR	DA 100
FIRST FLOOR PLAN	DA 101
ROOF PLAN	DA 110
ELEVATIONS	DA 200
ELEVATIONS	DA 201
SECTIONS	DA 300
LANDSCAPE PLAN & AREA CALCULATION	DA 600
NOTIFICATION PLAN	DA 700

01. Window Schedule

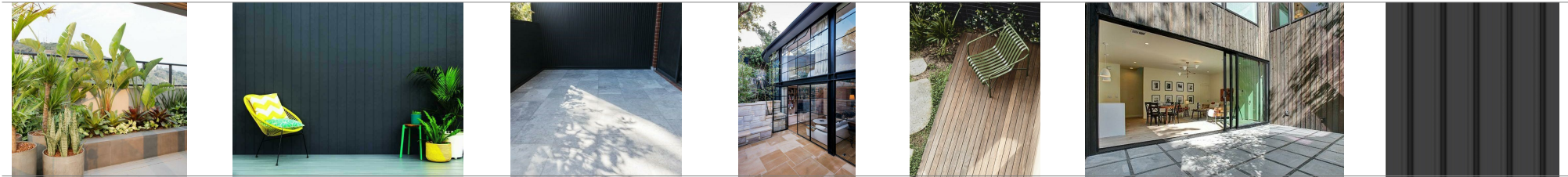
Mark	Location	Width	Height	Sill Height	Areas
W001	Dining	1200	2700	0	3.2 m²
W002	Kitchen	3400	800	2900	2.7 m²
W003	Kitchen	3500	800	2900	2.8 m²
W101	Study	850	764	907	0.6 m²

02. Door Schedule

Mark	Location	Width	Height	Sill Height	Area
D001	Kitchen	3400	2700	0	9.2 m²
D002	Kitchen	3500	2700	0	9.5 m²



CONCRETE GARDEN BED - GREY JAMES HARDIE AXON CLADDING WALLS - PAINTED CHARCOAL OUTDOOR TILE - MID GREY STEEL BEAMS AND POSTS - PAINTED BLACK NATURAL TIMBER DECKING ALUMINIUM WINDOWS/DOORS - BLACK TRIMDEK ROOF SHEETING 'MONUMENT OR BASALT'



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nominated architect: wade stewart cogle
nsw arb registration: 10971

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ISSUE	DESCRIPTION	DATE
01	DA Issue	17/02/23

CLIENT: Cameron & Cassie Spencer
PROJECT: Alterations and Additions
ADDRESS: 14 BELLEVUE STREET, FAIRLIGHT

LOT: 2 DP: 587108

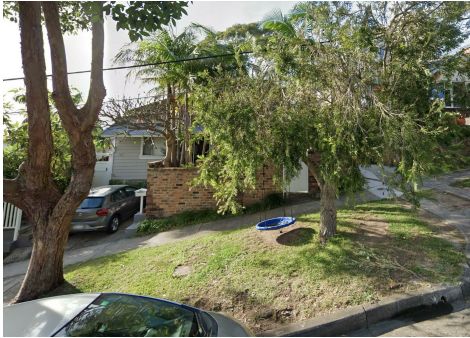
SECTION:

DRAWING TITLE:
COVER SHEET

PROJECT NO. 1061WMP DRAWN JG CHECKED WC

DATE 17 February 2023 DRAWING NO REVISION NO

SIZE A3 SCALE 1 : 25 **DA 001 01**



1. VIEW FROM STREET



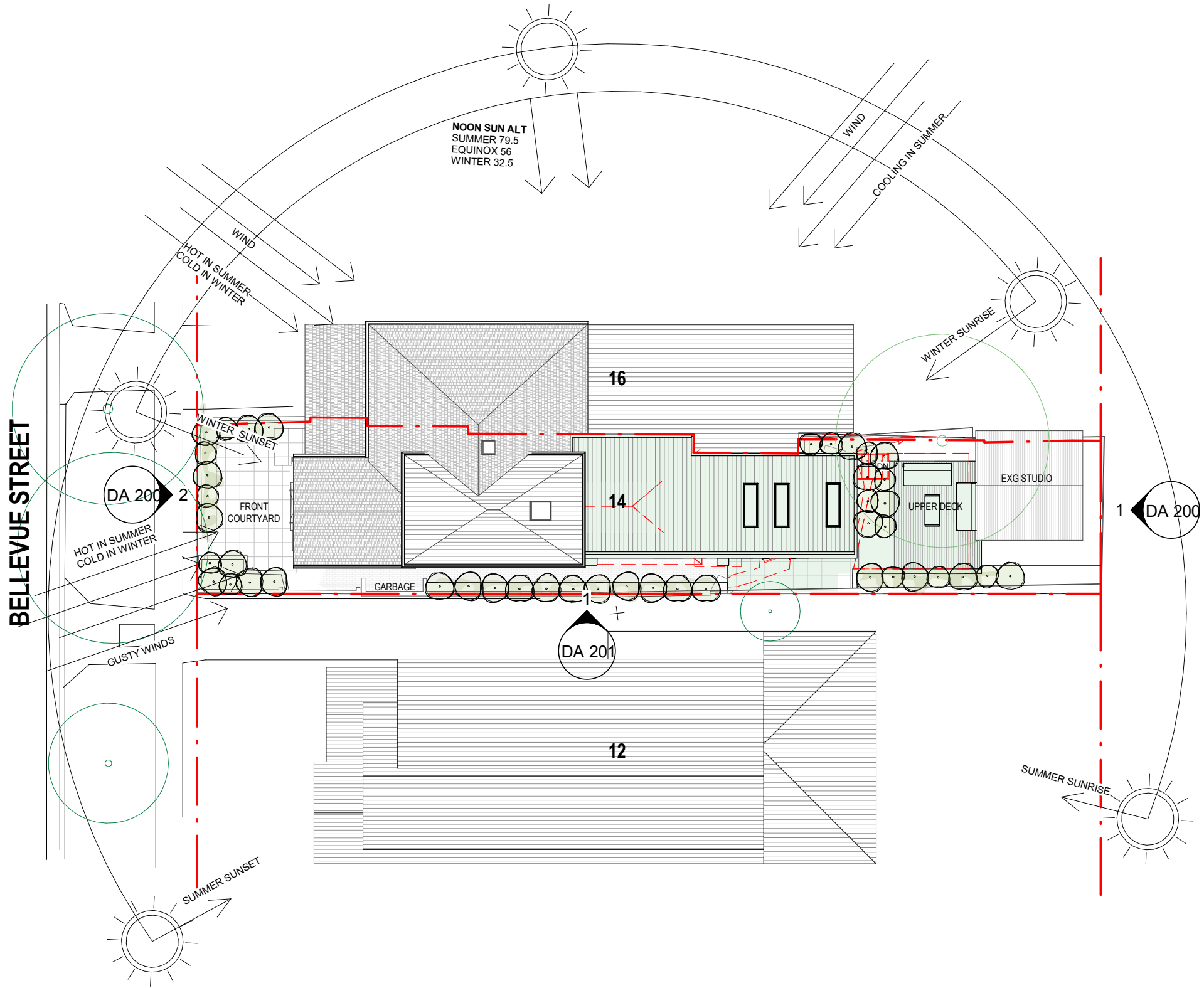
2. FRONT FACADE



3. VIEW FROM REAR STUDIO TOWARDS DWELLING

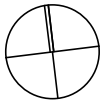


3. VIEW OF PROPOSED AREA OF WORKS



1 Site Analysis
1 : 200

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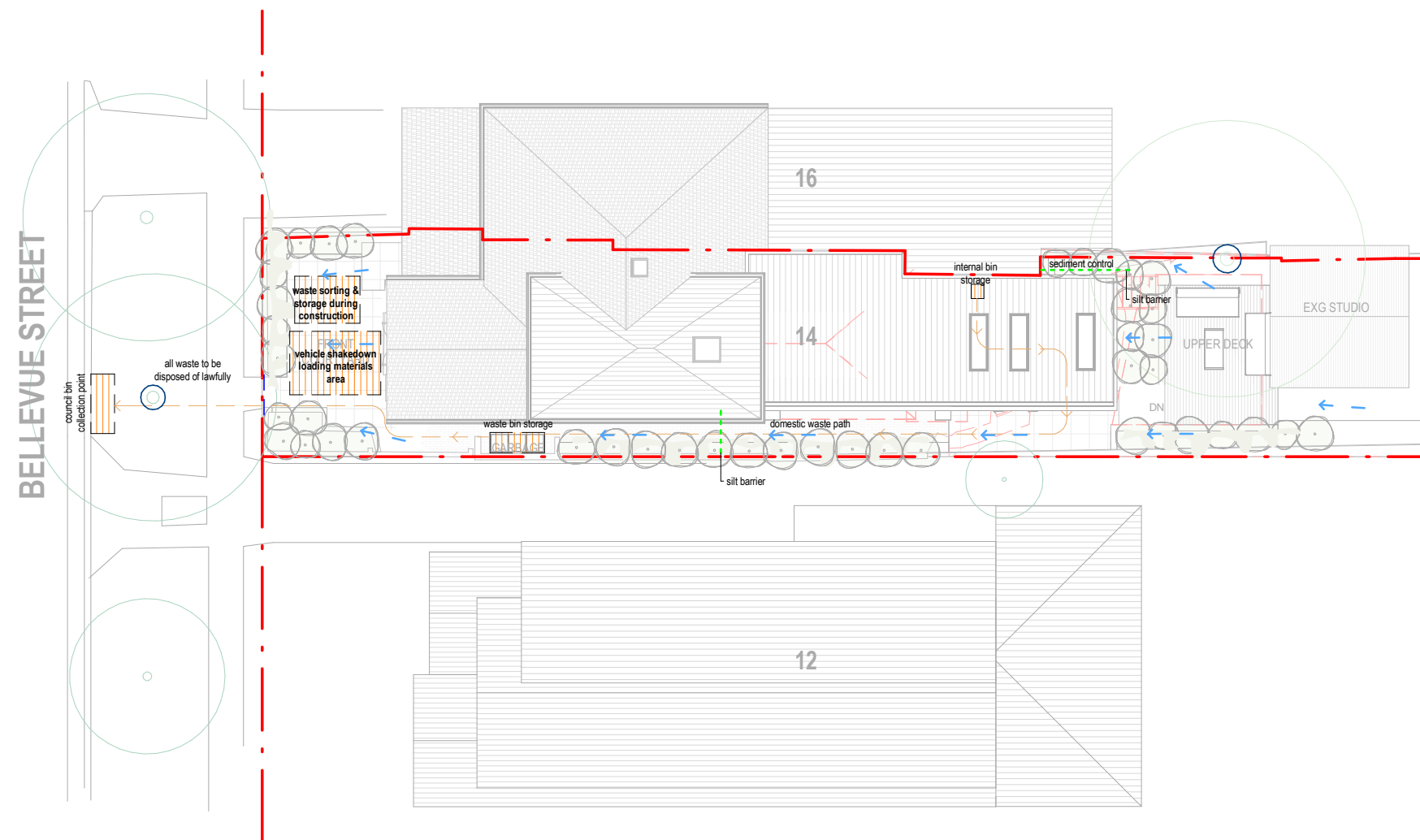
LEGEND:

DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---
OVERLAND FLOW	---

BASIX COMMITMENTS:
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS

NOTES:
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m: 0433 775 490 t: (02) 8914 6875 studio: suite 8/11 bungan st, mona vale 2103 postal: p.o. box 26 newport, nsw 2106 e: studio@wemakeplans.com.au abn: 355 0579 1074 nominated architect: wade stewart cogle nsw arb registration: 10971 wemakeplans.com.au	PRINT DATE: 17/02/2023 4:22:46 PM PRINT SIZE: A3	ISSUE DESCRIPTION DATE 01 DA Issue 17/02/23	CLIENT: Cameron & Cassie Spencer PROJECT: Alterations and Additions ADDRESS: 14 BELLEVUE STREET, FAIRLIGHT LOT: 2 DP: 587108 SECTION:	DRAWING TITLE: SITE ANALYSIS PROJECT NO. 1061WMP DRAWN JG CHECKED WC DATE 17 February 2023 DRAWING NO DA 010 REVISION NO 01 SIZE A3 SCALE As indicated		
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- TREE PROTECTION ZONE
- SITE FENCE
- OVERLAND FLOW
- SILT BARRIER
- DOMESTIC BIN STORAGE
- DOMESTIC BIN ROUTE

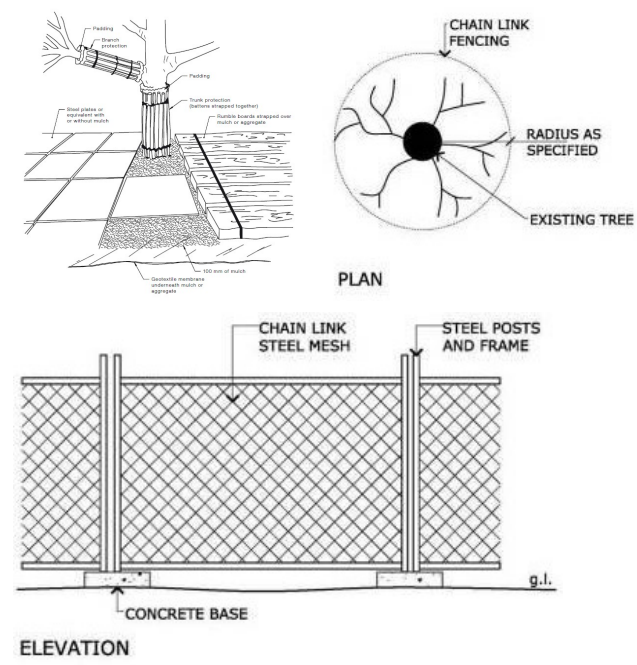
SOIL & WATER MANAGEMENT:

1. INSTALL A SILT FENCE AS SHOWN ON PLAN PRIOR TO THE COMMENCEMENT OF ANY ON SITE EARTHWORKS.
2. INSTALL A TEMPORARY SEDIMENT BARRIER TO ALL INLET PITS LIKELY TO COLLECT SILT-LADEN WATER UNTIL REGRESSED.
3. ALL SILT FENCES AND BARRIERS ARE TO BE MAINTAINED IN GOOD CONDITION AND TO BE DESILTED DURING CONSTRUCTION.

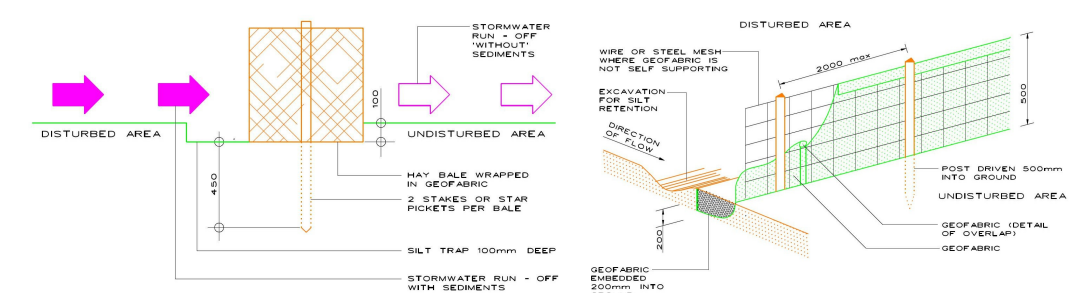
WASTE MANAGEMENT:

1. WASTE MATERIALS ARE TO BE STOCKPILED AND LOADED INTO BINS
- ALL PROTECTION WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL SITE MANAGEMENT DCP

TREE PROTECTION ZONE FENCING:

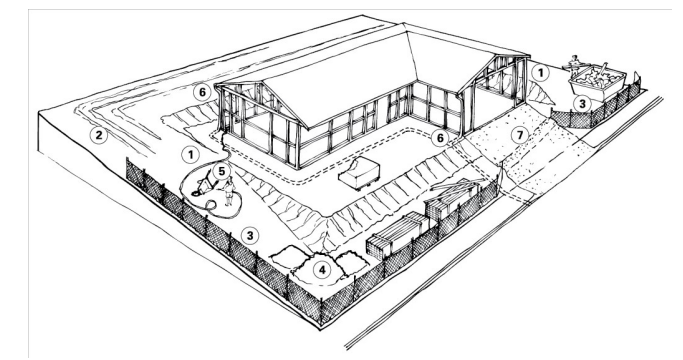


SEDIMENT BARRIER FENCING:



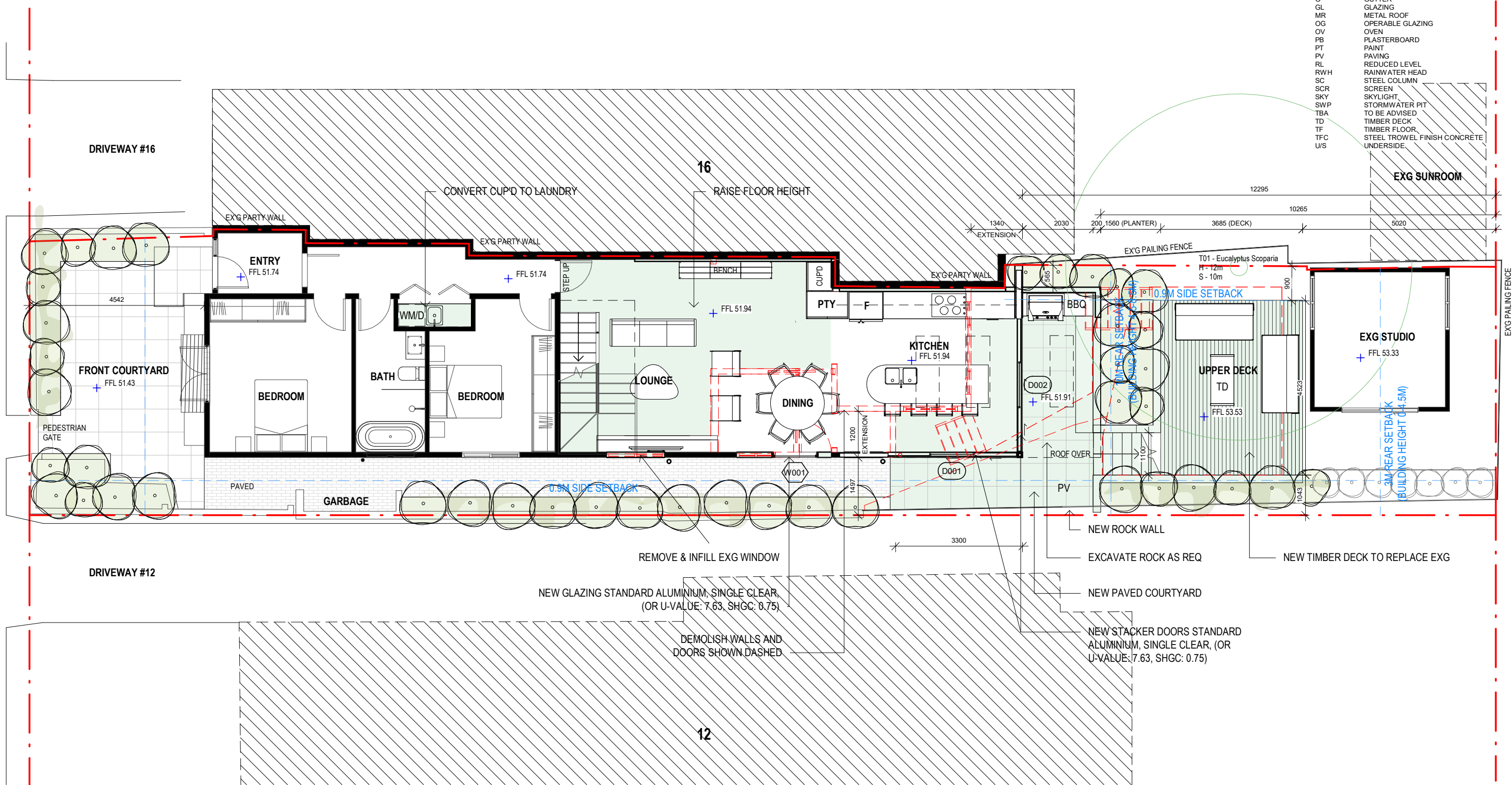
EROSION AND SEDIMENT CONTROL MEASURES:

1. MINIMISE DISTURBANCE,
2. DIVERSION DEVICES,
3. SEDIMENT BARRIERS,
4. SECURE STOCKPILES,
5. OTHER CONTAINMENTS,
6. EARLY STORMWATER CONNECTION,
7. CONTROLLED ACCESS POINT



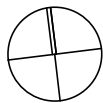
PRINT DATE: 17/02/2023 4:22:51 PM		PRINT SIZE: A3		ISSUE 01	DESCRIPTION DA Issue	DATE 17/02/23	CLIENT: Cameron & Cassie Spencer		CONSTRUCTION, SEDIMENT CONTROL AND WASTE MANAGEMENT PLAN				
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							DATE 17 February 2023						
	ADDRESS: 14 BELLEVUE STREET, FAIRLIGHT						LOT: 2 DRAWN BY: JG				SCALE: As indicated		
DP: 587108 CHECKED BY: WC													
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ABBREVIATIONS:	
DM	DEMOLISH
DP	DOWNPIPE
EX	EXISTING
FC	FIBRE CEMENT
FCU	FAN COIL UNIT
FFL	FINISHED FLOOR LEVEL
FG	FIXED GLAZING
FL	FLASHING
FR	FRIDGE
G	GUTTER
GL	GLAZING
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OG	OPERABLE GLAZING
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RL	REDUCED LEVEL
RWH	RAINWATER HEAD
SC	STEEL COLUMN
SCR	SCREEN
SKY	SKYLIGHT
SWP	STORMWATER PIT
TBA	TO BE ADVISED
TD	TIMBER DECK
TF	TIMBER FLOOR
TFC	STEEL TROWEL FINISH CONCRETE
US	UNDERSIDE



1 Ground Floor
1 : 100

FOR DEVELOPMENT
APPLICATION ONLY



LEGEND:	
DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---
OVERLAND FLOW	---

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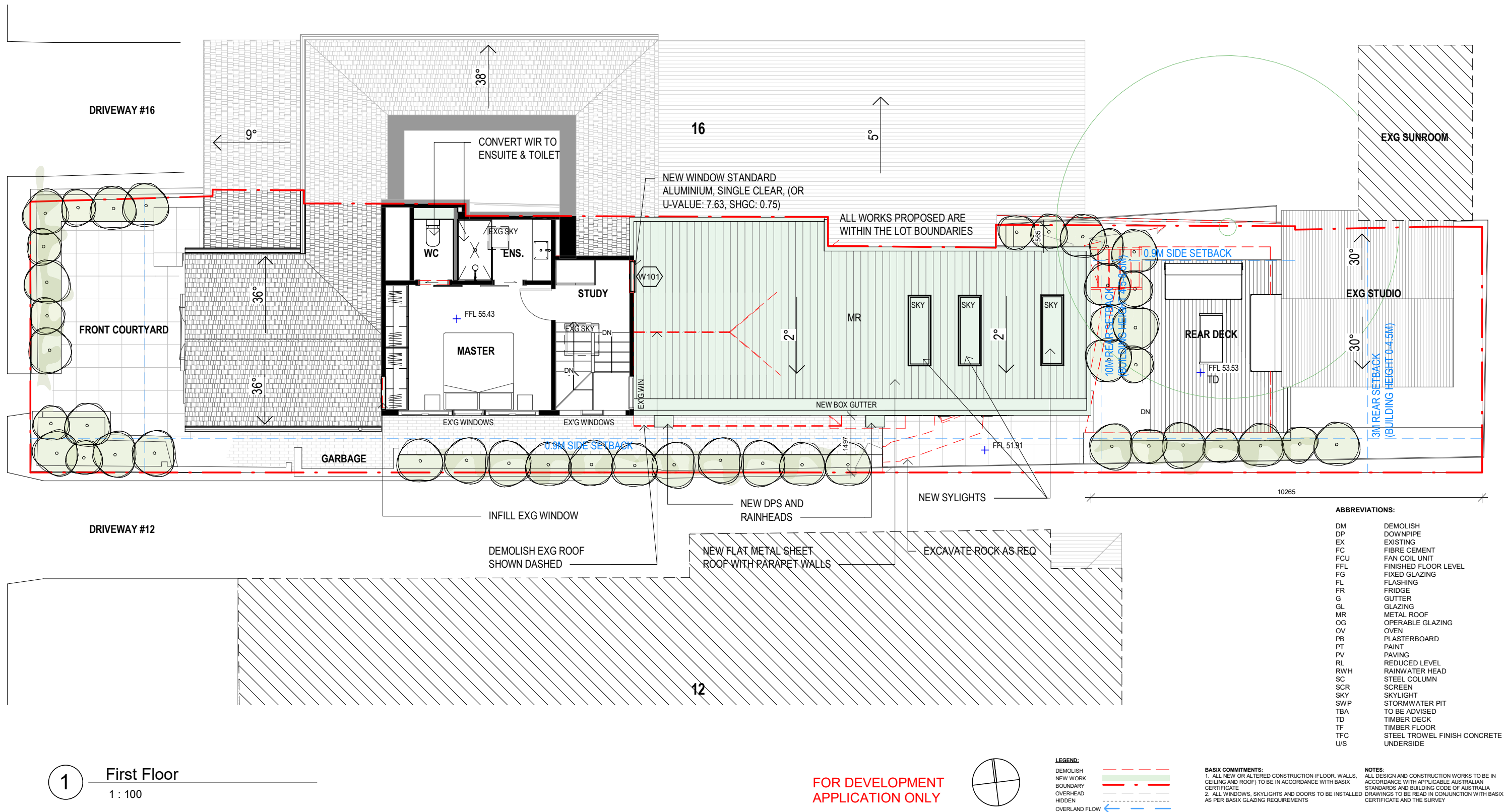
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DRAWING TITLE:
GROUND FLOOR

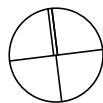
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DATE 17 February 2023 DRAWING NO REVISION NO

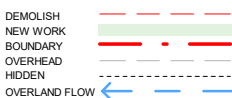
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LEGEND:



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1 First Floor
1 : 100



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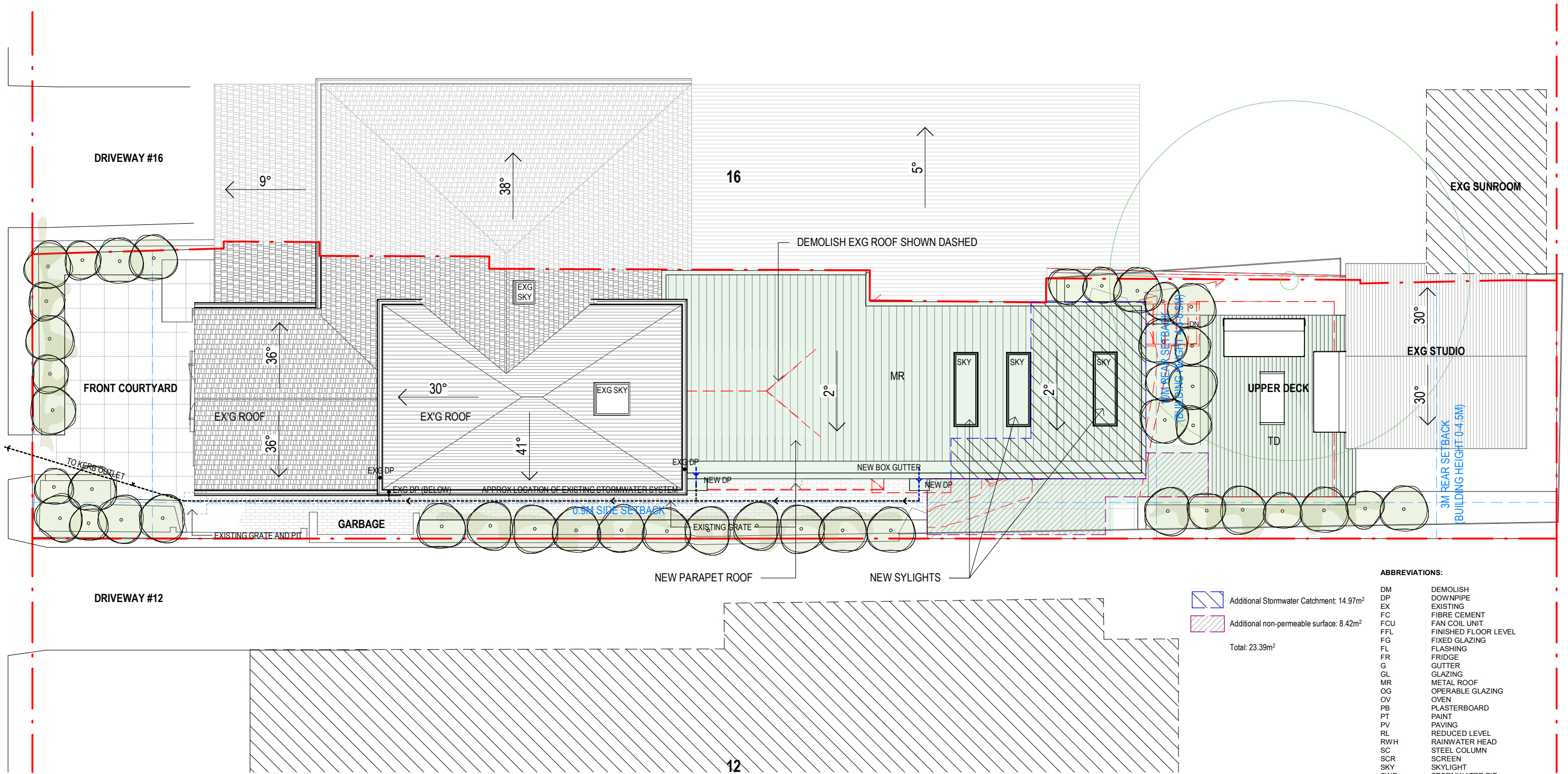
LOT: 2 DP: 587108 SECTION:

DRAWING TITLE:
FIRST FLOOR PLAN

PROJECT NO. 1061WMP	DRAWN JG	CHECKED WC
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DATE 17 February 2023	DRAWING NO	REVISION NO
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SIZE A3	SCALE As indicated	DA 101 01
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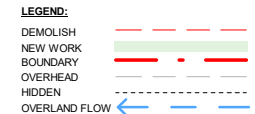
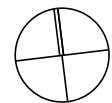


Additional Stormwater Catchment: 14.97m²
Additional non-permeable surface: 8.42m²
Total: 23.39m²

ABBREVIATIONS:	
DM	DEMOLISH
DP	DOWNPIPE
EX	EXISTING
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SWP	STORMWATER PIT
TBA	TO BE ADVISED
TD	TIMBER DECK
TF	TIMBER FLOOR
TFC	STEEL TROWEL FINISH CONCRETE
U/S	UNDERSIDE

1 Roof Plan
1 : 100

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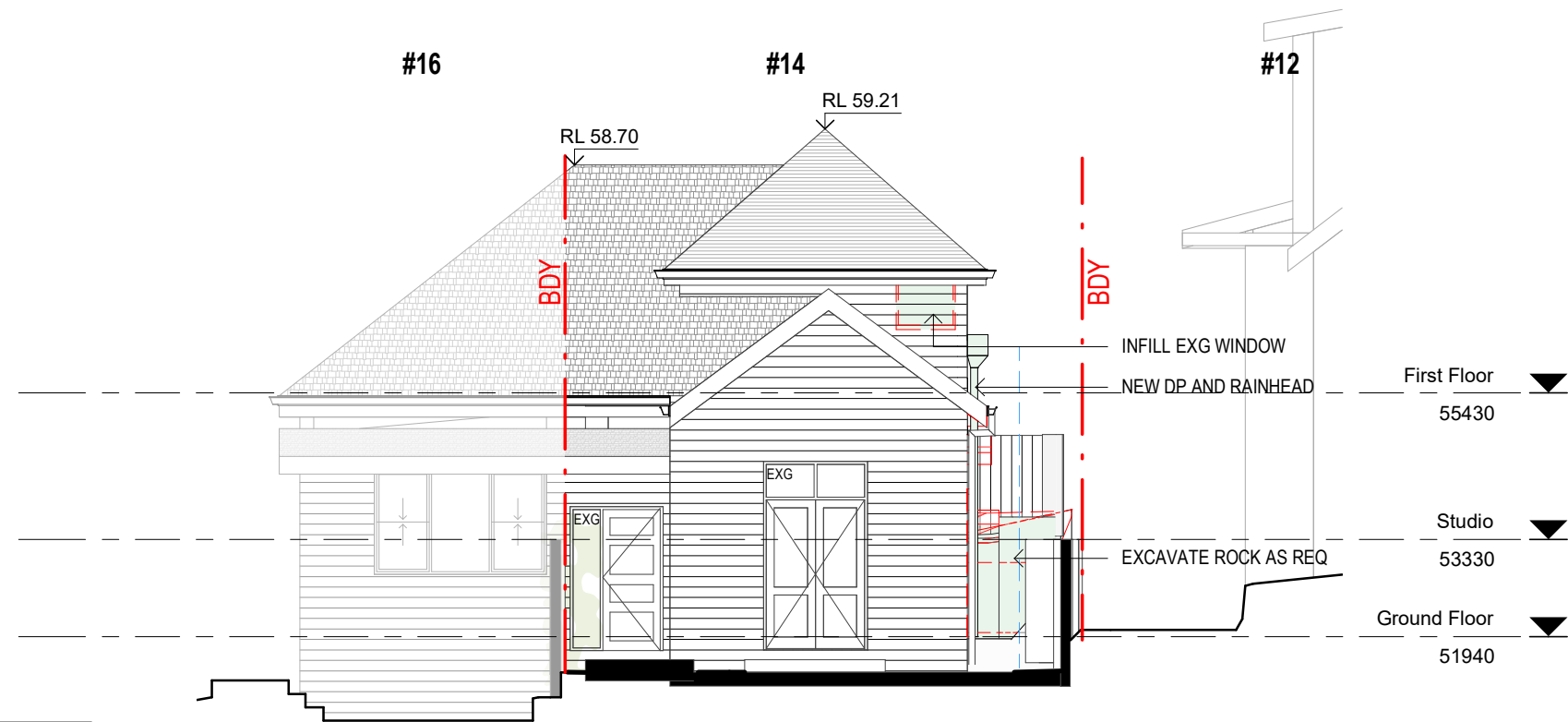
PROJECT: Alterations and Additions

ADDRESS: **14 BELLEVUE STREET, FAIRLIGHT**

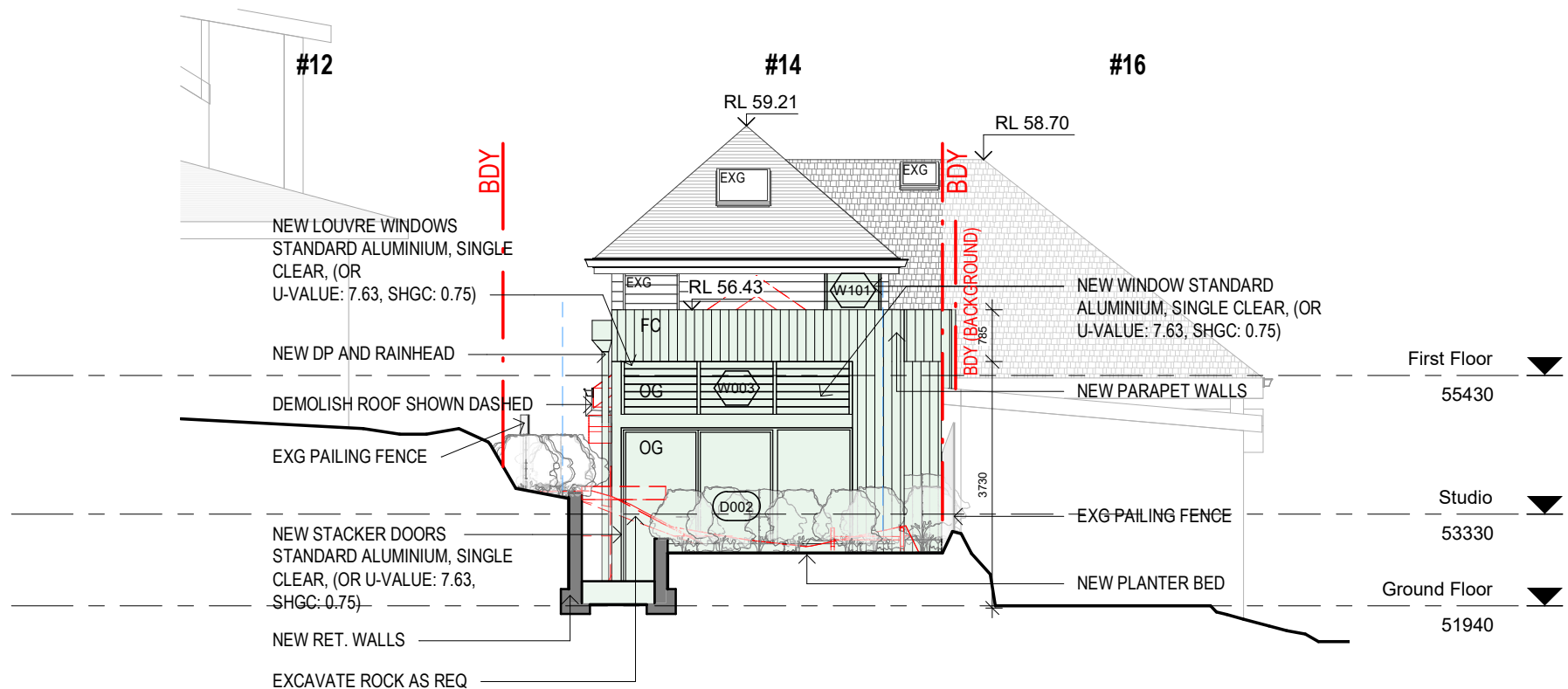
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ROOF PLAN			
PROJECT NO.		DRAWN	CHECKED
1061WMP		JG	WC
DATE		DRAWING NO	REVISION NO
17 February 2023		DA 110 01	
SIZE	SCALE		
A3	As indicated		

2 West Elevation
1 : 100



1 East Elevation
1 : 100



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DP	DOWNPIPE
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FC	FIBRE CEMENT
FCU	FAN COIL UNIT
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U/S	UNDERSIDE

LEGEND:	
DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---

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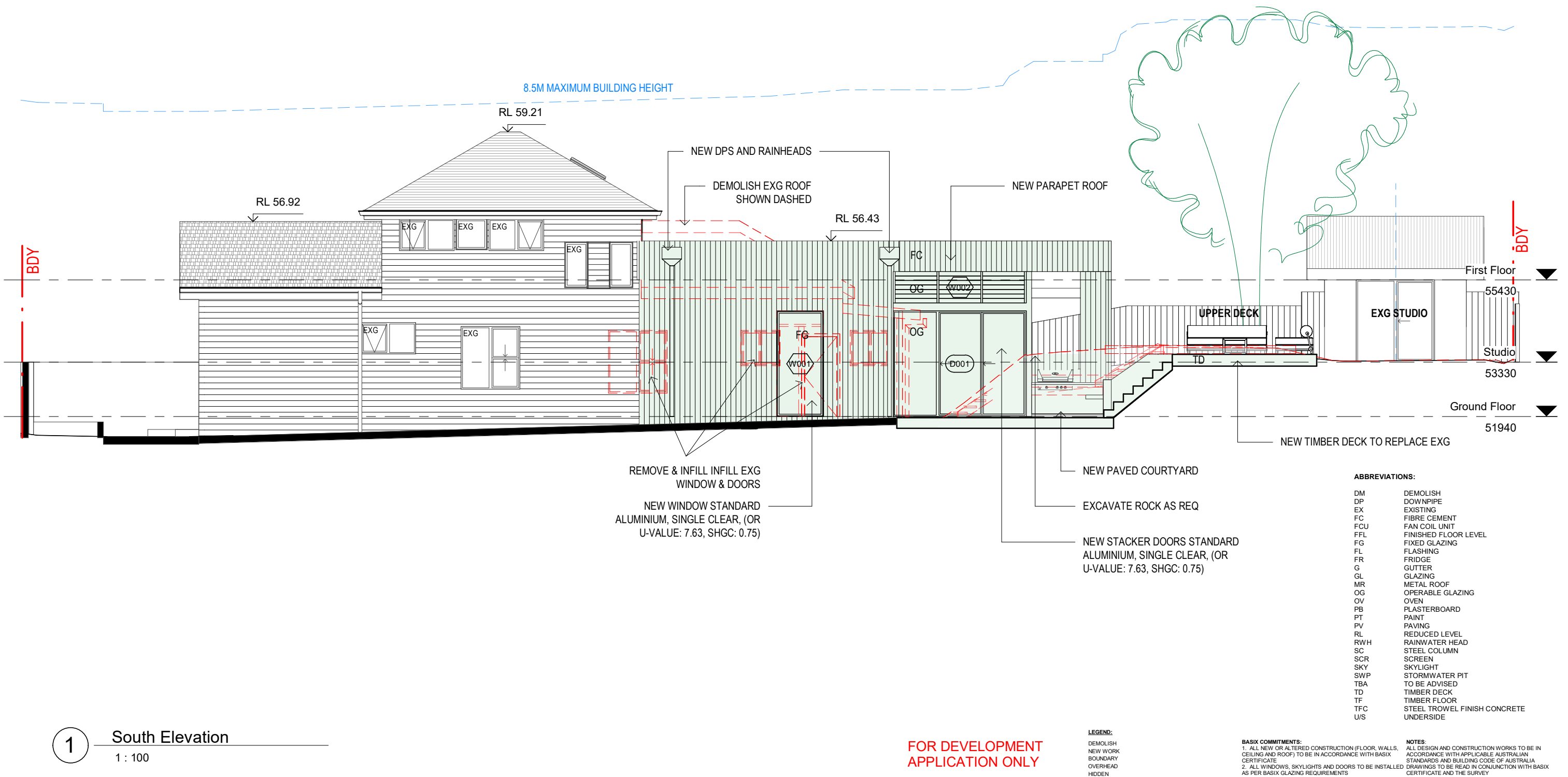
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ADDRESS: **14 BELLEVUE STREET, FAIRLIGHT**

LOT: 2 DP: 587108 SECTION:

DRAWING TITLE:			
ELEVATIONS			
PROJECT NO. 1061WMP	DRAWN JG	CHECKED WC	
DATE 17 February 2023	DRAWING NO DA 200	REVISION NO 01	
SIZE A3	SCALE As indicated		



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LEGEND:
DEMOLISH
NEW WORK
BOUNDARY
OVERHEAD
HIDDEN

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1 South Elevation
1 : 100



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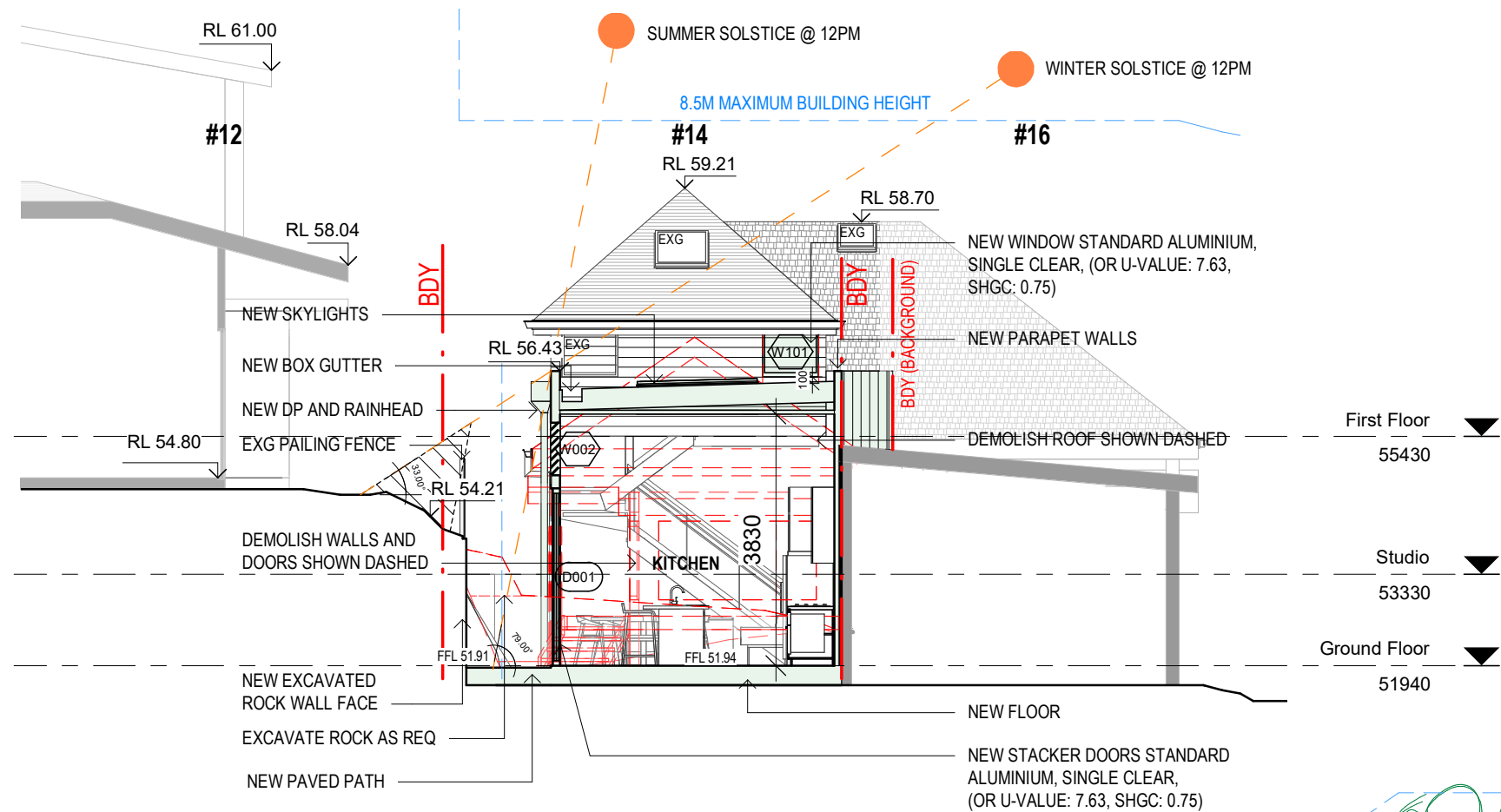
DRAWING TITLE:
ELEVATIONS

PROJECT NO. 1061WMP	DRAWN JG	CHECKED WC
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DATE 17 February 2023	DRAWING NO DA 201	REVISION NO 01
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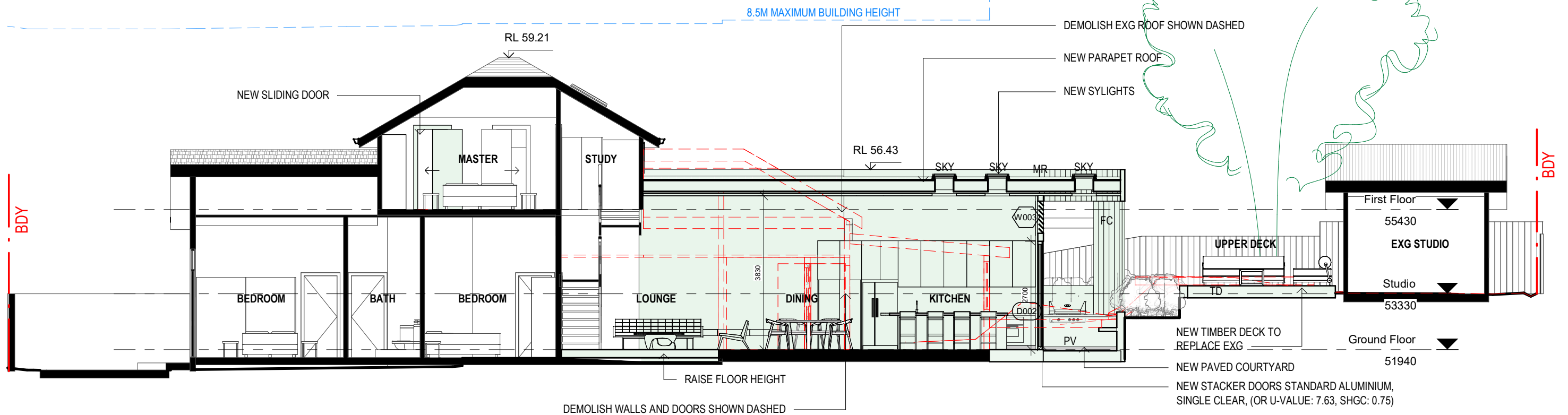
SIZE A3	SCALE As indicated
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2 Section 1
1 : 100



ABBREVIATIONS:	
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FCU	FAN COIL UNIT
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G	GUTTER
GL	GLAZING
MR	METAL ROOF
OG	OPERABLE GLAZING
OV	OVEN
PB	PLASTERBOARD
PT	PAINT
PV	PAVING
RL	REDUCED LEVEL
RWH	RAINWATER HEAD
SC	STEEL COLUMN
SCR	SCREEN
SKY	SKYLIGHT
SWP	STORMWATER PIT
TBA	TO BE ADVISED
TD	TIMBER DECK
TF	TIMBER FLOOR
TFC	STEEL TROWEL FINISH CONCRETE
U/S	UNDERSIDE

1 Section 2
1 : 100



FOR DEVELOPMENT
APPLICATION ONLY

LEGEND:
DEMOLISH
NEW WORK
BOUNDARY
OVERHEAD
HIDDEN

BASIX COMMITMENTS:
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS
NOTES:
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA
DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY



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abn: 355 0579 1074

nominated architect: wade stewart cogle
nsw arb registration: 10971

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NOTES:
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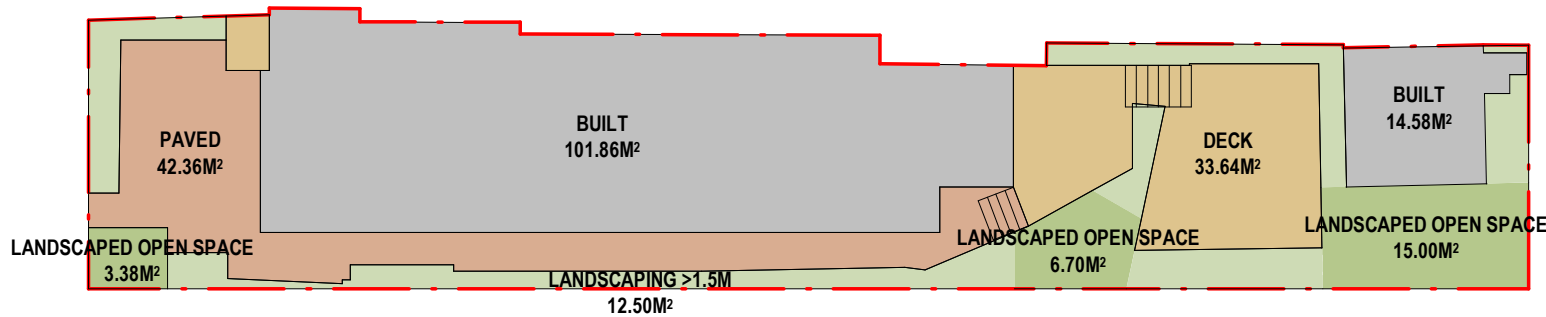
ISSUE	DESCRIPTION	DATE
01	DA Issue	17/02/23

CLIENT: Cameron & Cassie Spencer
PROJECT: Alterations and Additions
ADDRESS: 14 BELLEVUE STREET, FAIRLIGHT
LOT: 2 DP: 587108 SECTION:

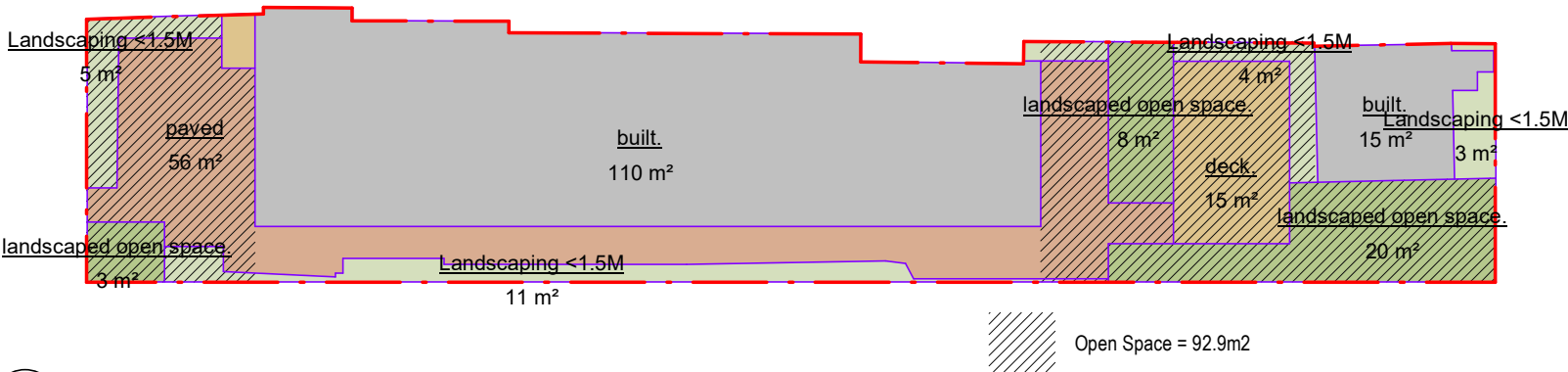
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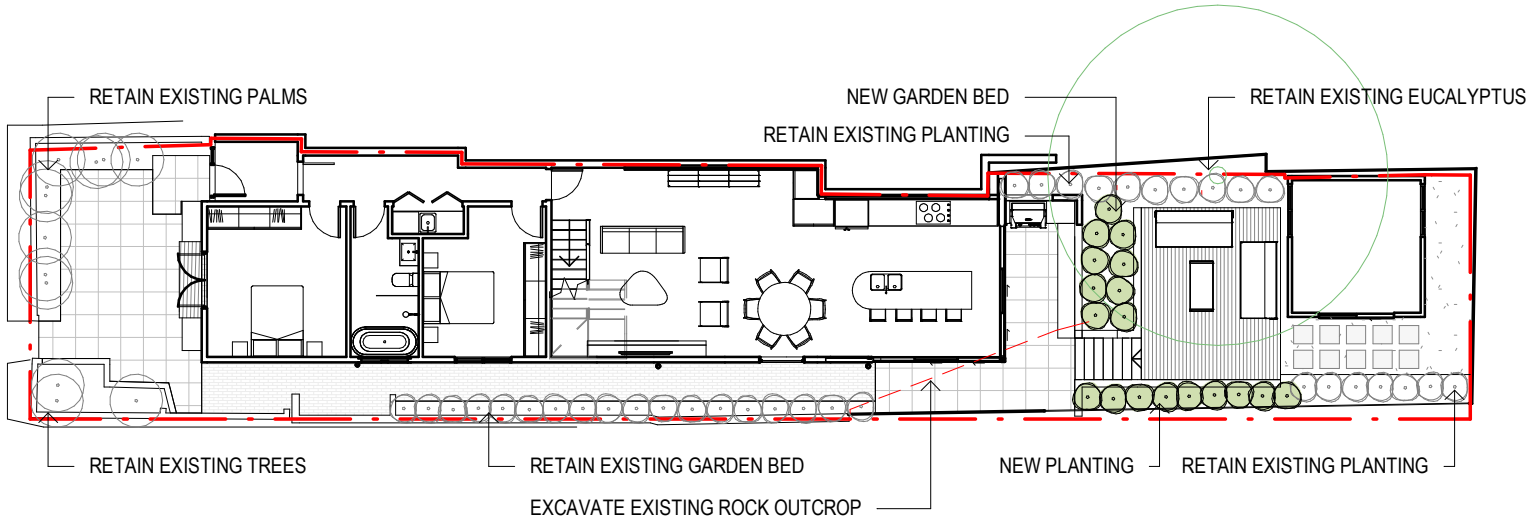
PROJECT NO. 1061WMP	DRAWN JG	CHECKED WC
DATE 1 May 2023	DRAWING NO DA 300	REVISION NO 01
SIZE A3	SCALE As indicated	



1 Existing
1 : 200



2 Proposed
1 : 200



3 Landscape Plan
1 : 200

Built	116.44 m²	45.76%
Deck	35.31 m²	13.88%
Landscaped open space	25.08 m²	9.86%
Landscaping <1.5m	35.28 m²	13.86%
paved	42.36 m²	16.64%

built.	125.00 m²	49.1%
deck.	16.79 m²	6.6%
landscaped open space.	31.38 m²	12.3%
Landscaping <1.5M	24.84 m²	9.8%
paved	56.45 m²	22.2%
Grand total: 13 254.46 m²		

COMPLIANCE

SITE AREA:	246.6M2
EXISTING LANDSCAPE: 25.08m² (9.86%)	NO - MERIT
PROPOSED LANDSCAPE: 31.38m² (12.3%)	
OPEN SPACE REQ.: 140M2 (55% OF SITE)	NO - MERIT
OPEN SPACE: 92.9M2	
MIN. LANDSCAPE REQ.: 49m² (35% OF OPEN SPACE)	NO - MERIT
LANDSCAPED AREA: 31.4M2	
EXISTING GFA: 122.27m²	YES
PROPOSED GFA: 129.57m²	
MAXIMUM GFA: 190.95m²	
EXISTING FSR: 0.48:1	YES
PROPOSED FSR: 0.50:1	
MAXIMUM FSR: 0.60:1	

LANDSCAPE LEGEND:

	TREE TO BE REMOVED		TURF
	TREE TO REMAIN		CONCRETE
	TREE PROPOSED		STEPPING STONES
	SHRUB TO REMAIN		DECORATIVE PEBBLE
	SHRUB PROPOSED		ROCK GARDEN
			TIMBER DECK



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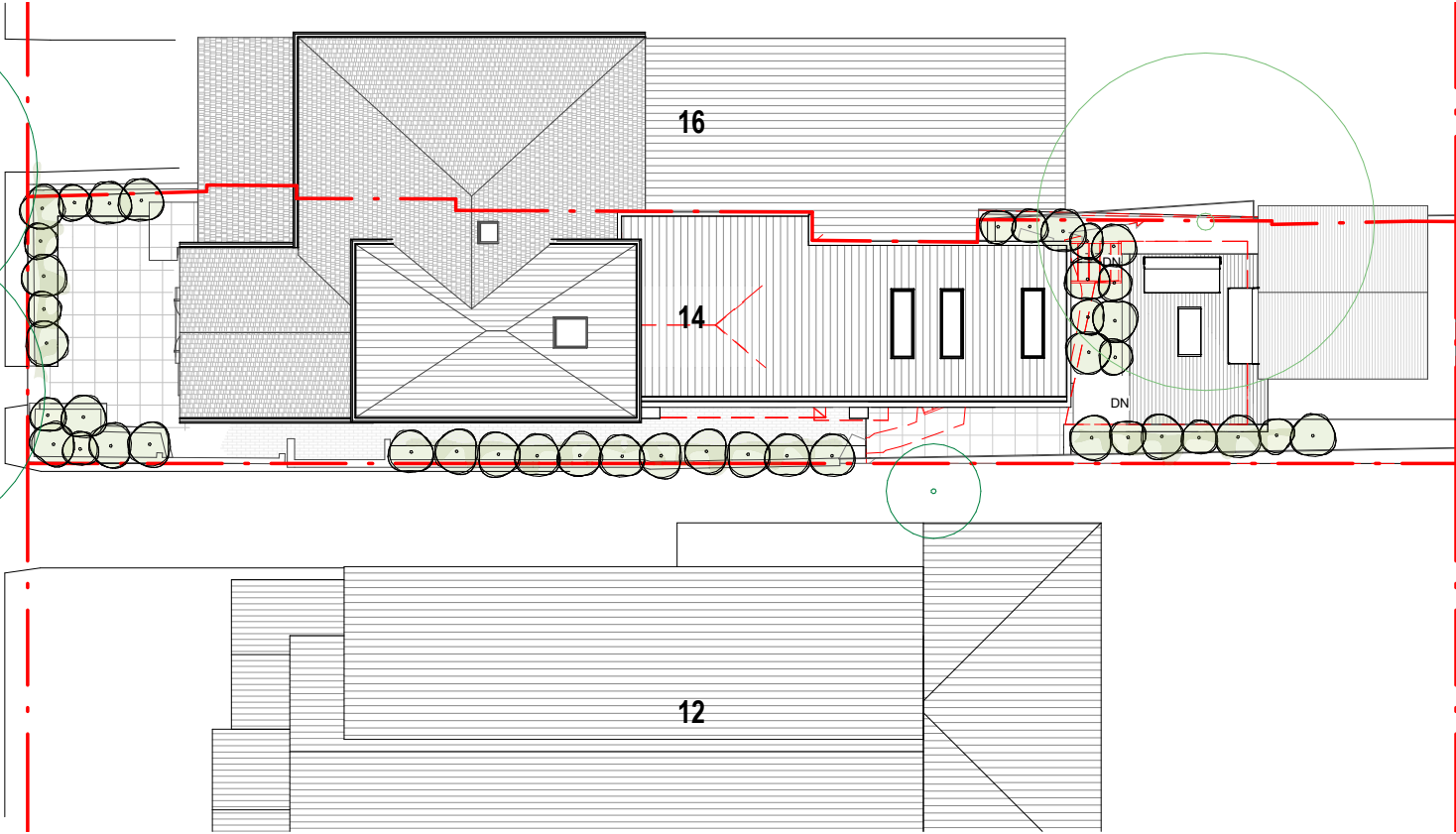
ISSUE	DESCRIPTION	DATE
01	DA Issue	17/02/23

CLIENT: Cameron & Cassie Spencer
PROJECT: Alterations and Additions
ADDRESS: 14 BELLEVUE STREET, FAIRLIGHT
LOT: 2 DP: 587108 SECTION:

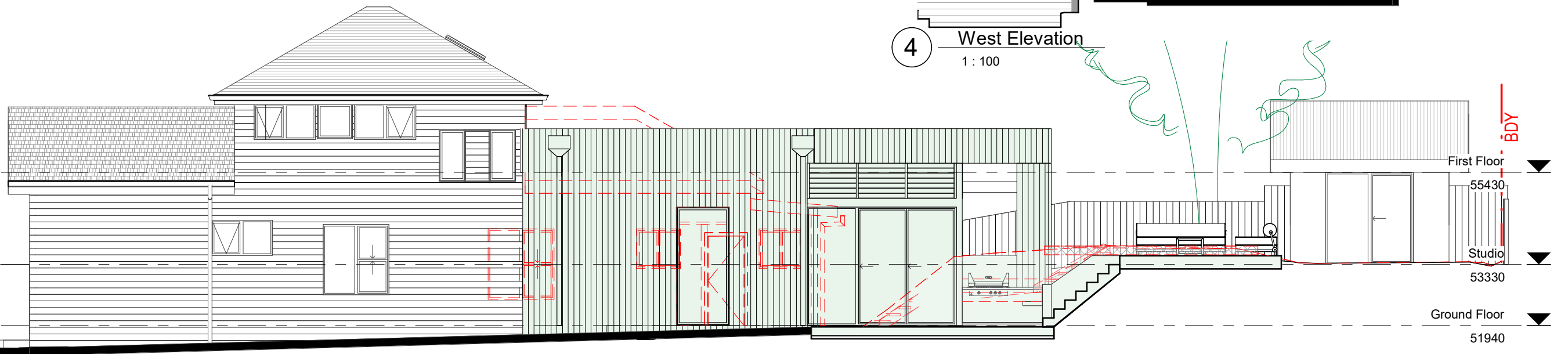
DRAWING TITLE:
LANDSCAPE PLAN & AREA CALCULATION

PROJECT NO. 1061WMP	DRAWN JG	CHECKED WC
DATE 17 February 2023	DRAWING NO	REVISION NO
SIZE A3	SCALE As indicated	DA 600 01

BELLEVUE STREET

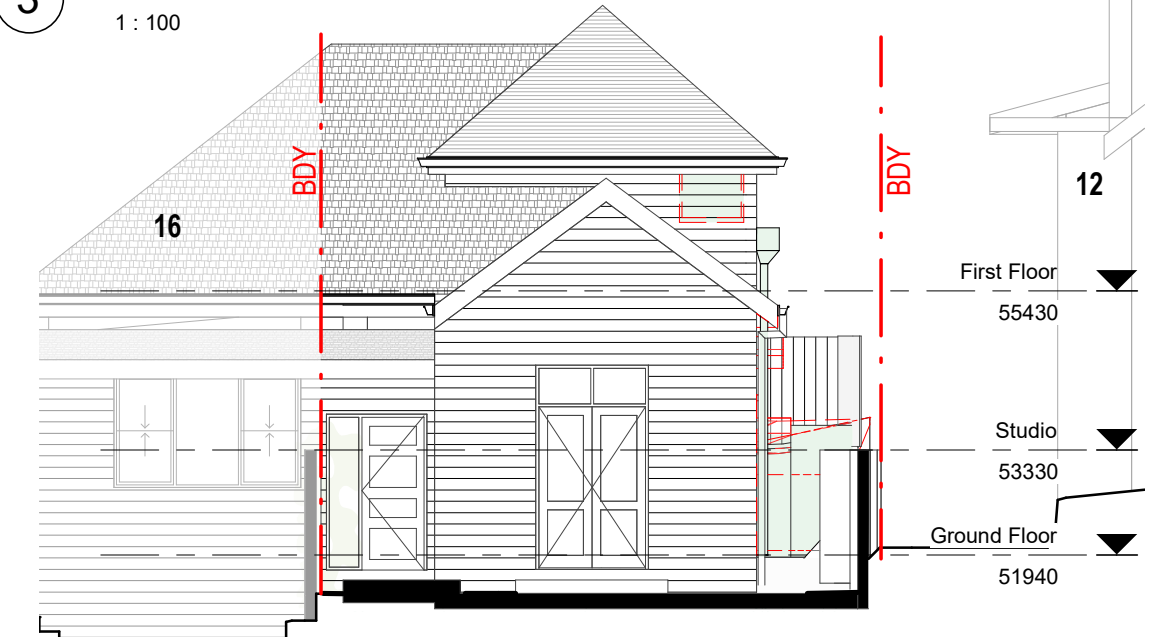


1 Site Plan
1 : 200

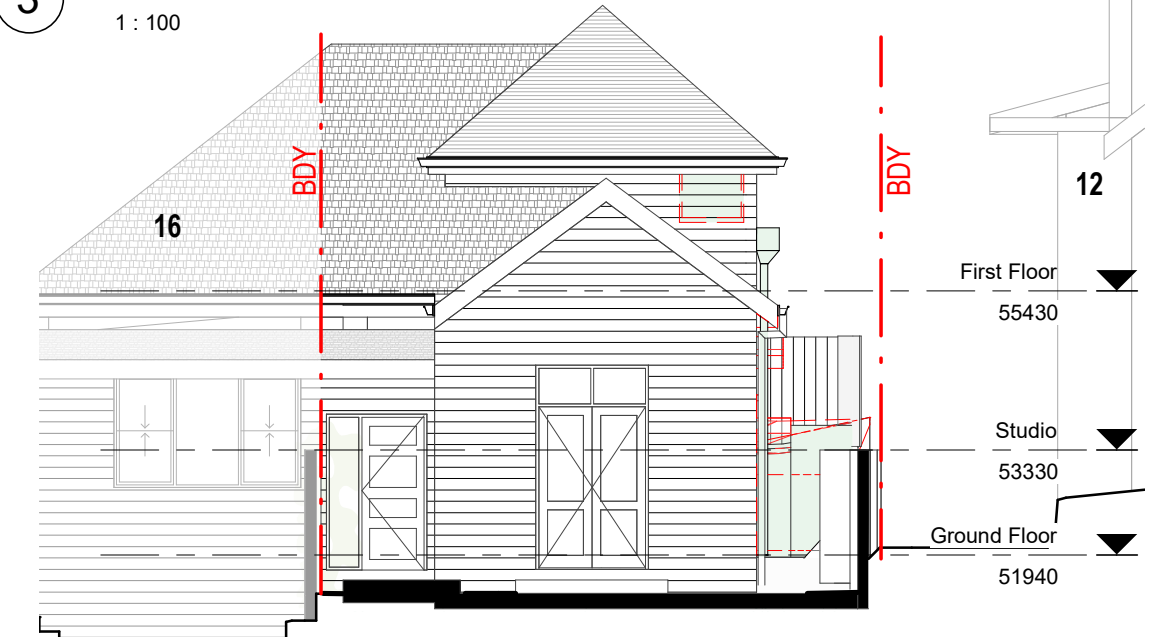


2 South Elevation
1 : 100

3 East Elevation
1 : 100



4 West Elevation
1 : 100



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ADDRESS: 14 BELLEVUE STREET, FAIRLIGHT

LOT: 2 DP: 587108 SECTION:

DRAWING TITLE:
NOTIFICATION PLAN

PROJECT NO.	DRAWN	CHECKED
1061WMP	JG	WC

DATE	17 February 2023	DRAWING NO	REVISION NO
SIZE	A3	SCALE	As indicated

DA 700 01