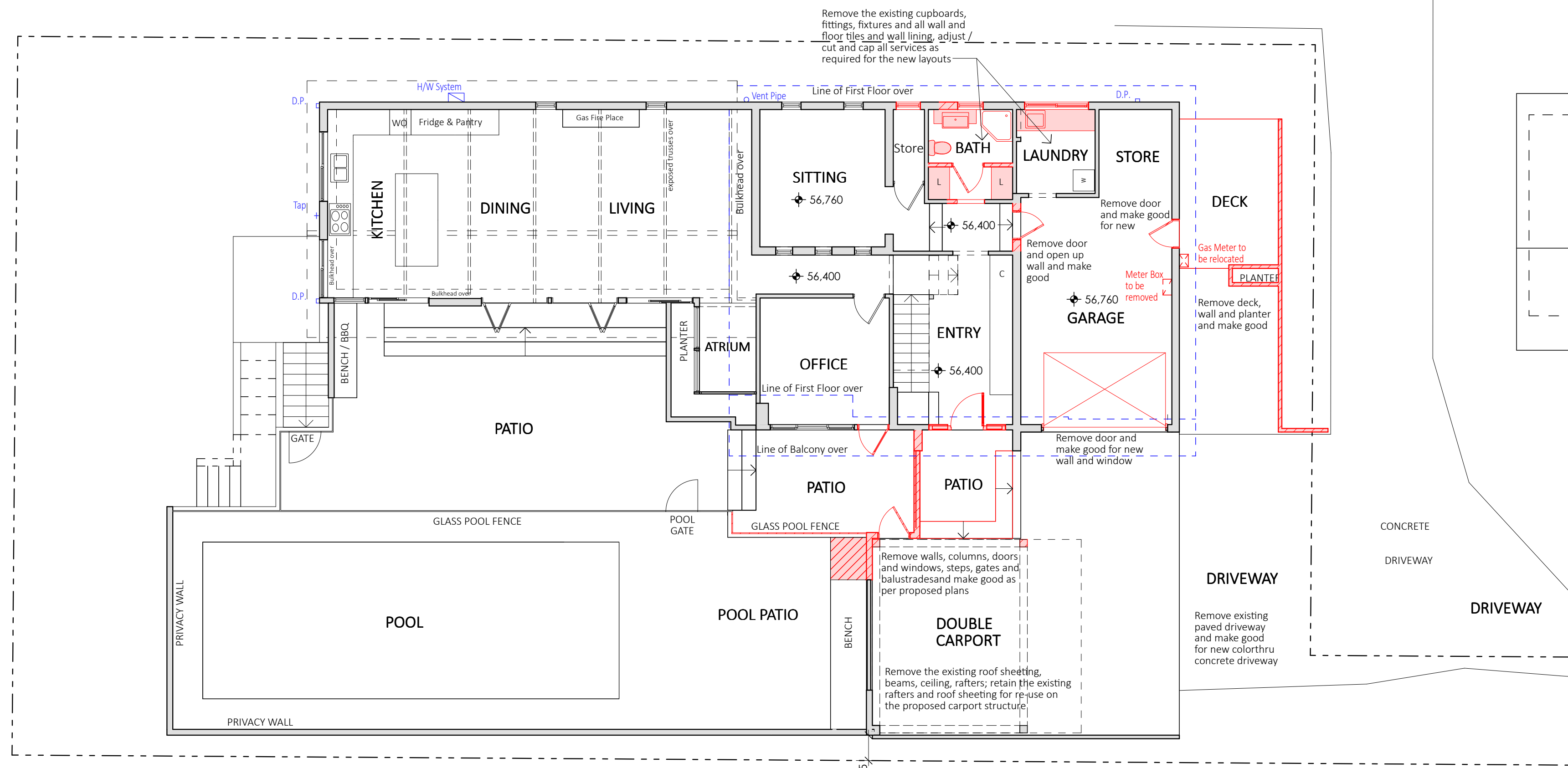




1 EXISTING GROUND FLOOR 1:100

FLOOR AREA CALCULATIONS- EXISTING

SITE AREA	934.6m ²
SITE AREA LESS ACCESS HANDLE (193.4M ²)	741.4m ²
EXISTING GARAGE FLOOR AREA	32.5m ²
EXISTING GROUND FLOOR AREA	136.0m ²
EXISTING FIRST FLOOR AREA	106.0m ²
SUM TOTAL FLOOR SPACE RATIO	0.37:1
	(max. permissible 0.4:1)

FLOOR AREA CALCULATIONS - PROPOSED

SITE AREA	934.6m ²
SITE AREA LESS ACCESS HANDLE (193.4M ²)	741.4m ²
EXISTING GROUND FLOOR AREA	190.5m ²
EXISTING FIRST FLOOR AREA	106.0m ²
SUM TOTAL FLOOR SPACE RATIO	0.40:1
	(max. permissible 0.4:1)

WINDOW / DOOR SCHEDULE

NOTE: The Builder shall source all windows and doors from "Vantage" Aluminium Joinerty System to match Kitchen

NOTE: All new windows and new external doors are to comply with the Basix Certificate

NOTE: The Builder shall check measure all windows and doors on site prior to order

D 1	2400h x 1200w Select Entry Door with 2400h x 600w Select Fixed Aluminium Framed Sidelight
W 1	1500h x 2400w Aluminium Framed Sliding Window
W 2	Special Aluminium Framed Double Hung Window to fit the existing opening (Approx. 720h x 680mm)
W 3	1200h x 900w Aluminium Framed Sliding Window with Obscure Glass
W 4	900h x 1500w Aluminium Framed Sliding Window

3 EXISTING FIRST FLOOR 1:100

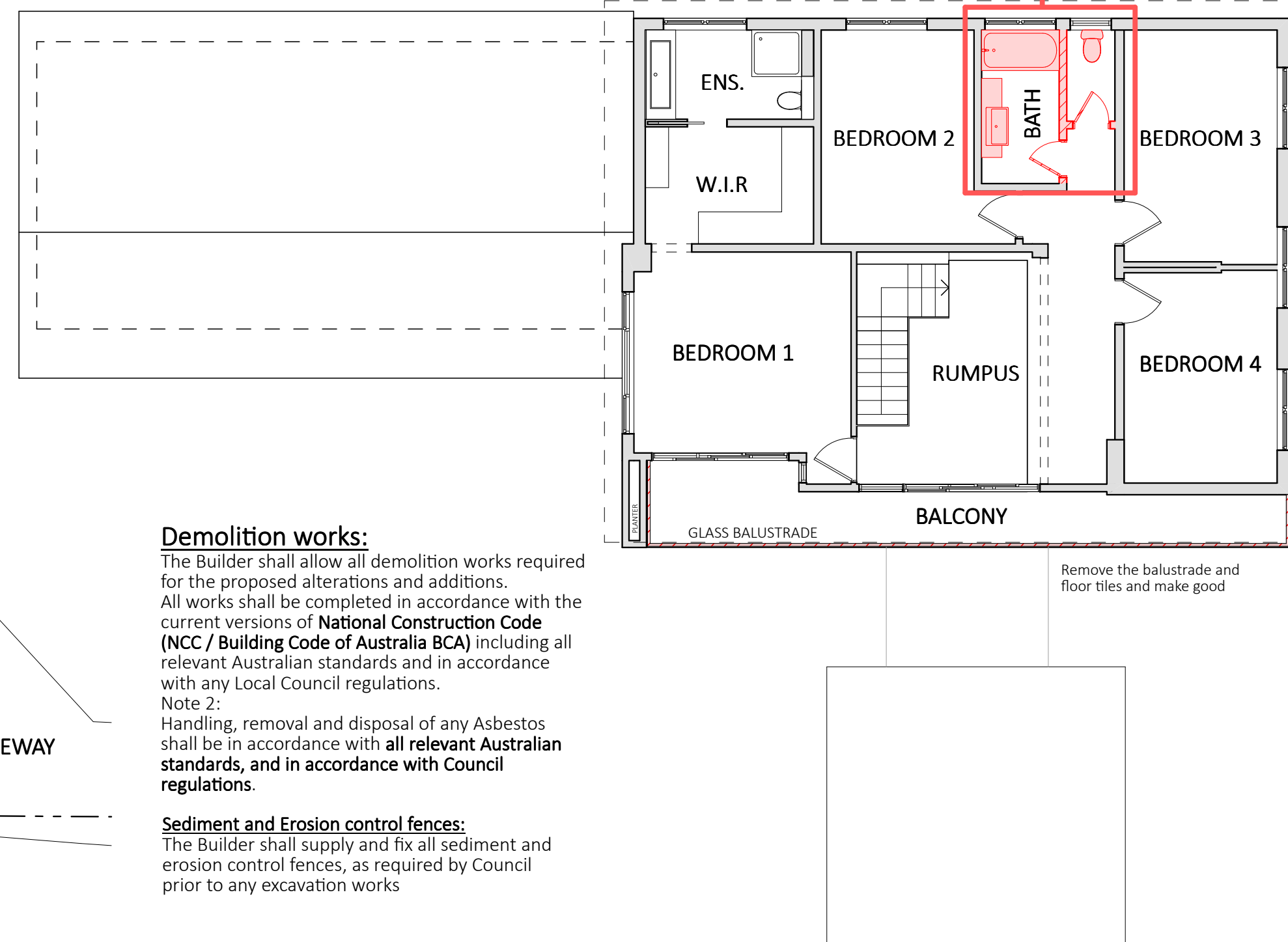
Demolition works:

The Builder shall allow all demolition works required for the proposed alterations and additions. All works shall be completed in accordance with the current versions of National Construction Code (NCC / Building Code of Australia BCA) including all relevant Australian standards and in accordance with any Local Council regulations.

Note 2: Handling, removal and disposal of any Asbestos shall be in accordance with all relevant Australian standards, and in accordance with Council regulations.

Sediment and Erosion control fences:

The Builder shall supply and fix all sediment and erosion control fences, as required by Council prior to any excavation works



3 EXISTING FIRST FLOOR 1:100

NOTES:

All work is to comply with the National Construction Code (NCC / Building Code of Australia), the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees.

Finished ground levels on the plan are subject to the site conditions.

Do not scale from drawings. Figured dimensions to be given preference over scale. All Figured dimensions to be checked on site.

The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

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BASIX INFORMATION REQUIREMENTS:

LIGHTING:

A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

WATER COMMITMENTS:

Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating

HOT WATER SYSTEM:

The existing Hot water system shall remain

INSULATION REQUIREMENTS:

Concrete slab on Ground Floor: Nil
External walls: The external walls shall meet minimum R 1.70 (including construction)
Ceilings: The new ceilings shall meet minimum R 1.58 (up)
Roof: The roof shall have a foil backed blanket (55mm) and be of dark colour (solar absorption > 0.70)

WINDOWS & GLAZED DOORS:

All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.

Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate
Shading devices: Shading devices shall be installed in accordance with the Basix certificate
Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate

SECTION 4.55 MODIFICATION

Dated: September 2020:

Modification to DA 2019/0366:

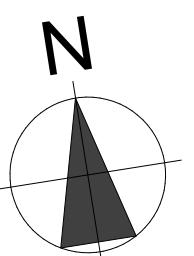
Section 4.55 Notes:

- 1) Converting current carport to a garage by adding walls and extending roof 1 m to be able to go around cars with a closed garage door.
- 2) Adding a toilet to Cellar for people to use when been outdoors in the garden or in the pool, thus not having to go inside over wooden floors.
- 3) Joining upstairs bathroom and toilet to become one larger bathroom suiting teenagers and grownups.

(A) Amendment A

- 1) Smoke - alarms added to floor plans on DA03
- 2) Pool Fence Compliance note added to floor plans and elevation on DA03 & DA04

Amendment Date: 26/05/2020



Project North



LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

Client

MR & MRS BYRON

Project Name

Alterations & Additions

1A VISTA AVENUE

LOT A, D.P. 420920

BALGOWLAH HEIGHTS N.S.W. 2093

Drawing Title:

FLOOR PLANS

Scale: 1:100

Date: SEPTEMBER 2020

Council: NORTHERN BEACHES

Checked By: J. Adams

Project No:

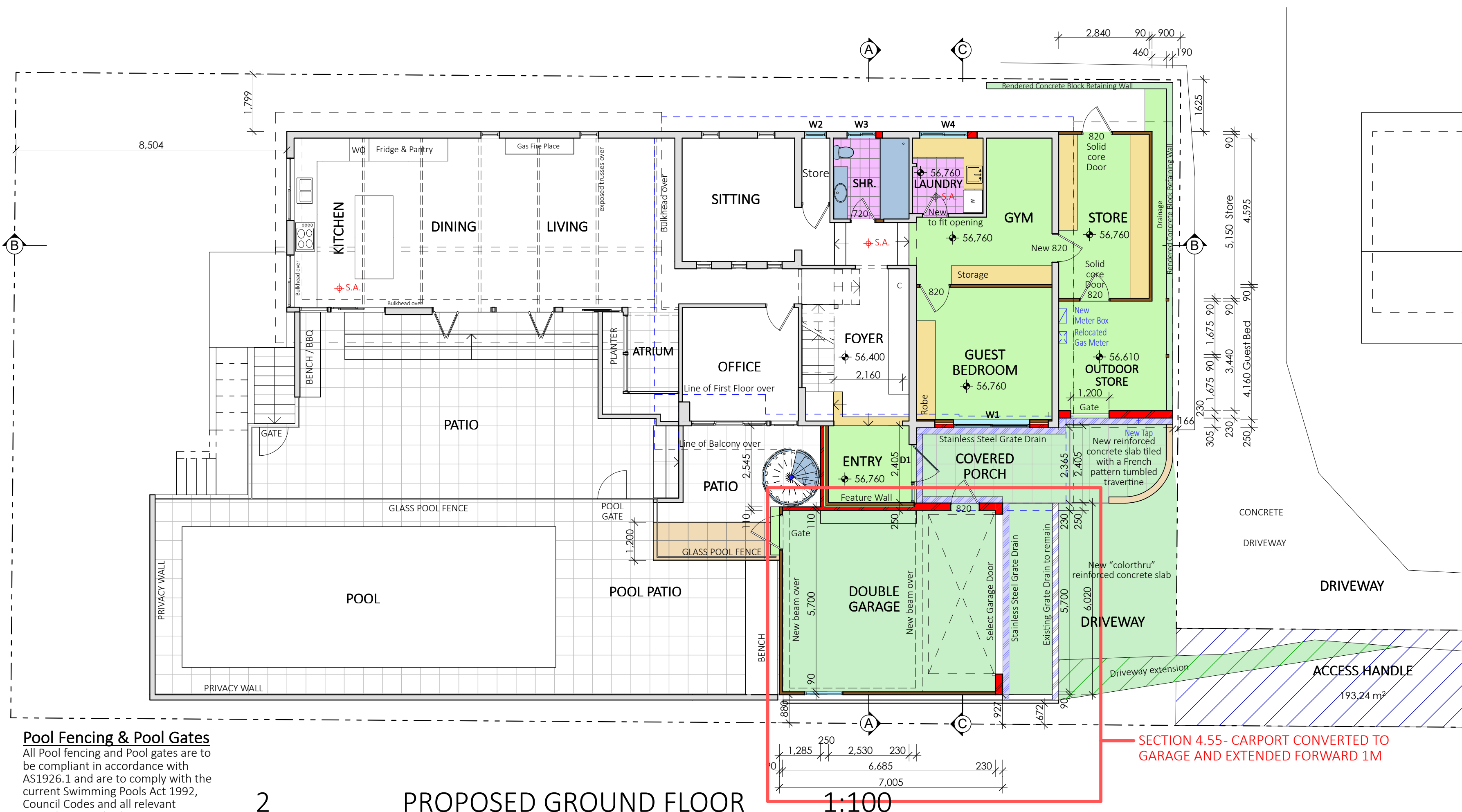
1727

Drawing No.:

SEC 4.55 03

ANNEXURE "A"

Plot Date: 4/09/2020



2 PROPOSED GROUND FLOOR 1:100

FLOOR AREA CALCULATIONS- EXISTING

SITE AREA	934.6m ²
SITE AREA LESS ACCESS HANDLE (193.4M ²)	741.4m ²
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WINDOW / DOOR SCHEDULE

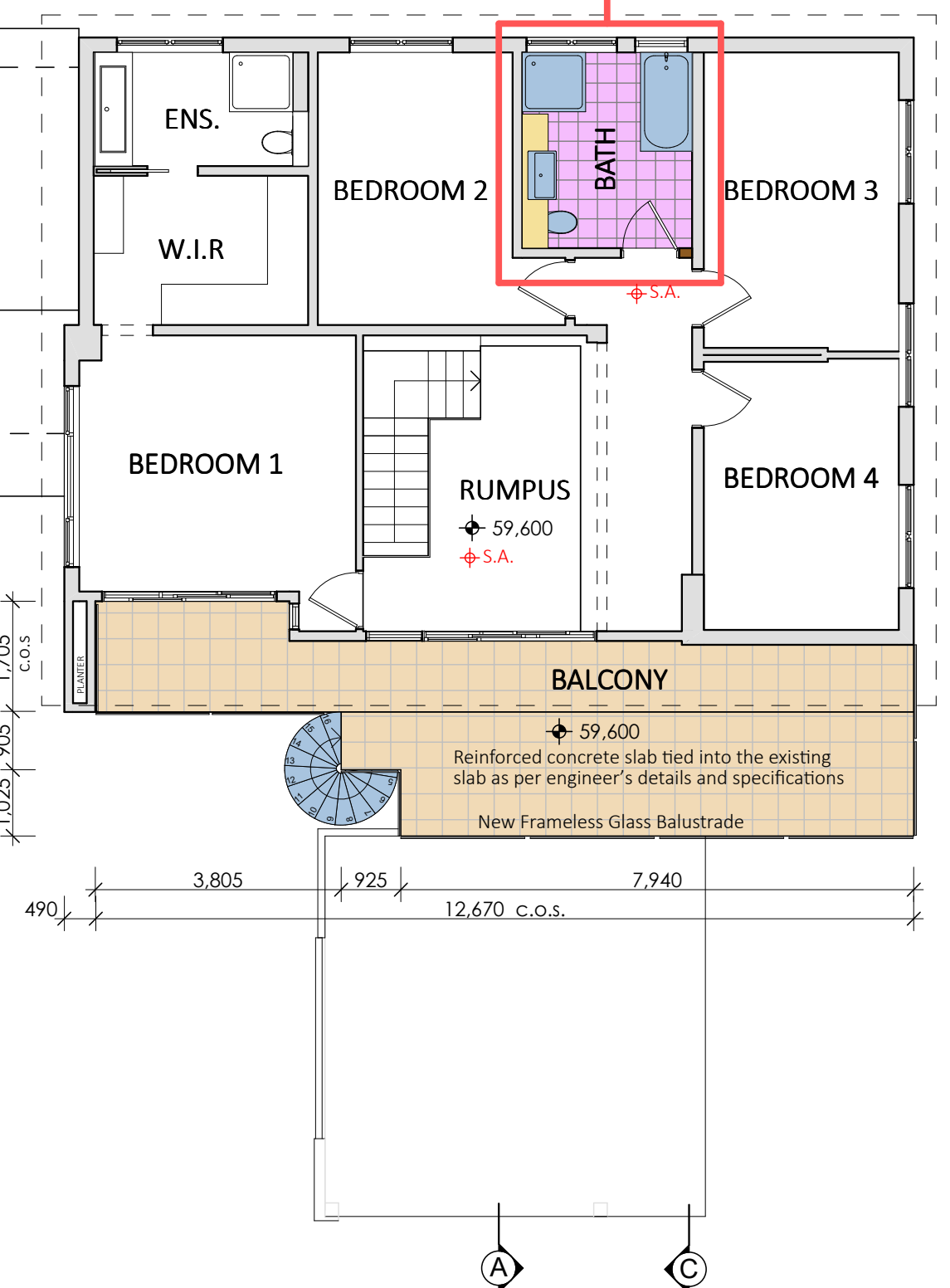
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W 4	900h x 1500w Aluminium Framed Sliding Window

S4.55 COMBINE BATHROOM AND TOILET



4 PROPOSED FIRST FLOOR 1:100

Pool Fencing & Pool Gates

All Pool fencing and Pool gates are to be compliant in accordance with AS1926.1 and are to comply with the current Swimming Pools Act 1992, Council Codes and all relevant Australian Standards

SECTION 4.55- CARPORT CONVERTED TO GARAGE AND EXTENDED FORWARD 1M

Pool Fencing & Pool Gates
All Pool fencing and Pool gates are to be compliant in accordance with AS1926.1 and are to comply with the current Swimming Pools Act 1992, Council Codes and all relevant Australian Standards

NOTES:
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HOT WATER SYSTEM:
The existing Hot water system shall remain

INSULATION REQUIREMENTS:
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SECTION 4.55 MODIFICATION

Dated: September 2020:

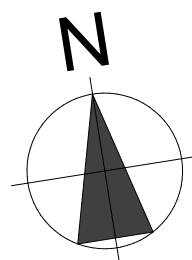
Modification to DA 2019/0366:

Section 4.55 Notes:

- 1) Converting current carport to a garage by adding walls and extending roof 1 m to be able to go around cars with a closed garage door.
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- Amendment Date: 26/05/2020



Project North



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Client

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Project Name

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1A VISTA AVENUE

LOT A, D.P. 420920

BALGOWLAH HEIGHTS N.S.W. 2093

Drawing Title:

ELEVATIONS & SECTIONS

Scale: 1:100 Date: SEPTEMBER 2020

Council: NORTHERN BEACHES Checked By: J. Adams

Project No: 1727 Drawing No.: SEC 4.55 04

ANNEXURE "A" Plot Date: 4/09/2020


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2020/0437

1

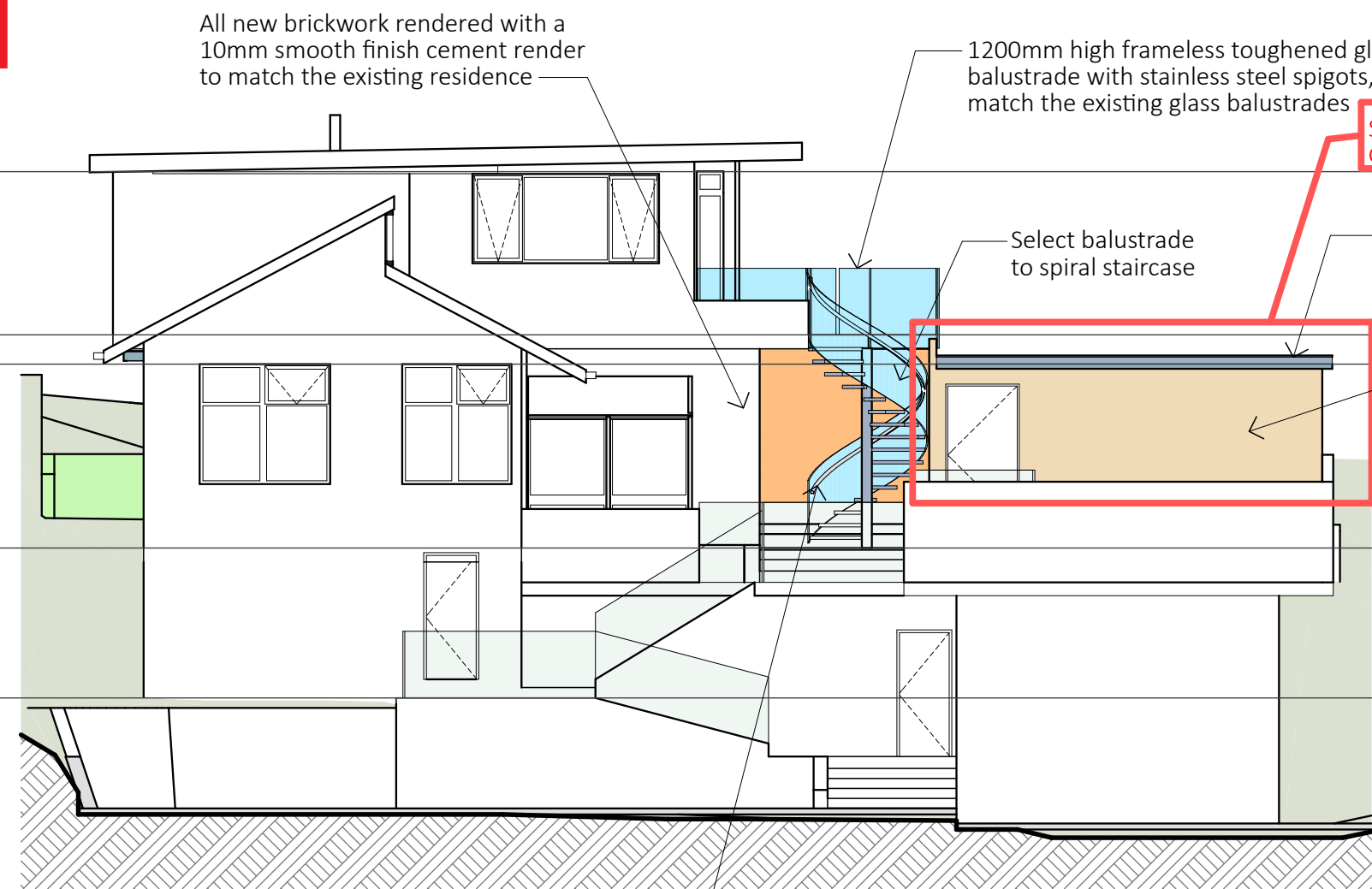
EAST ELEVATION

1:100

2

NORTH ELEVATION

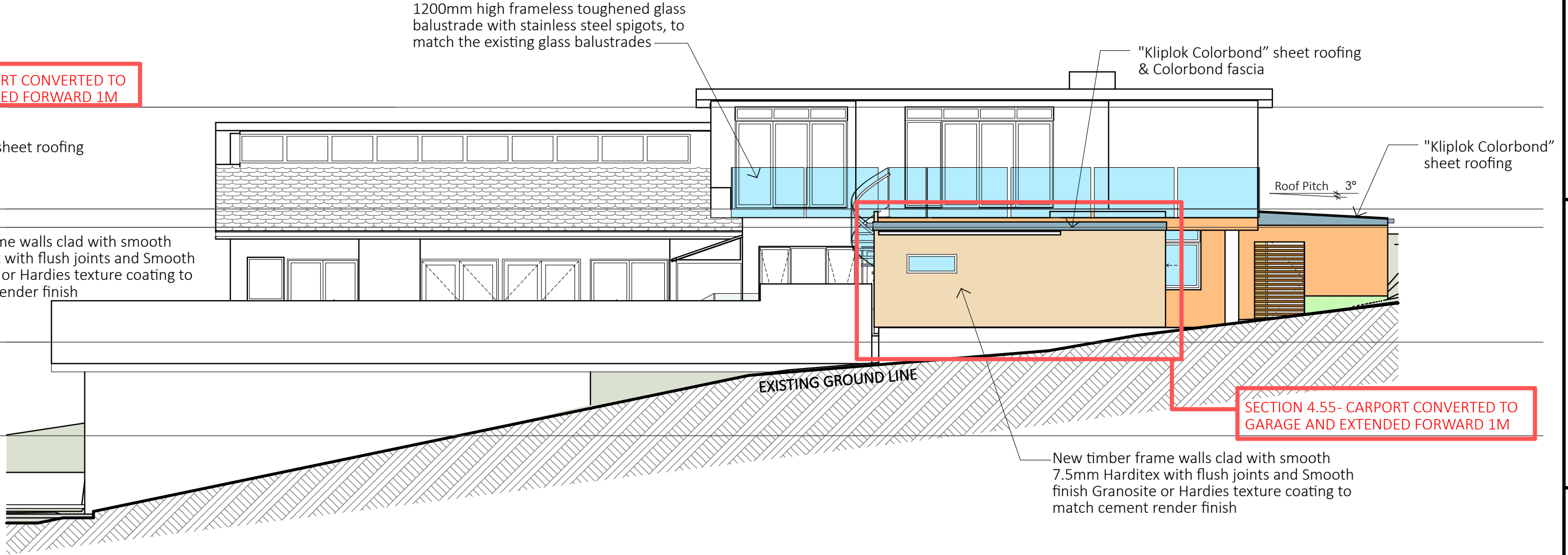
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3

WEST ELEVATION

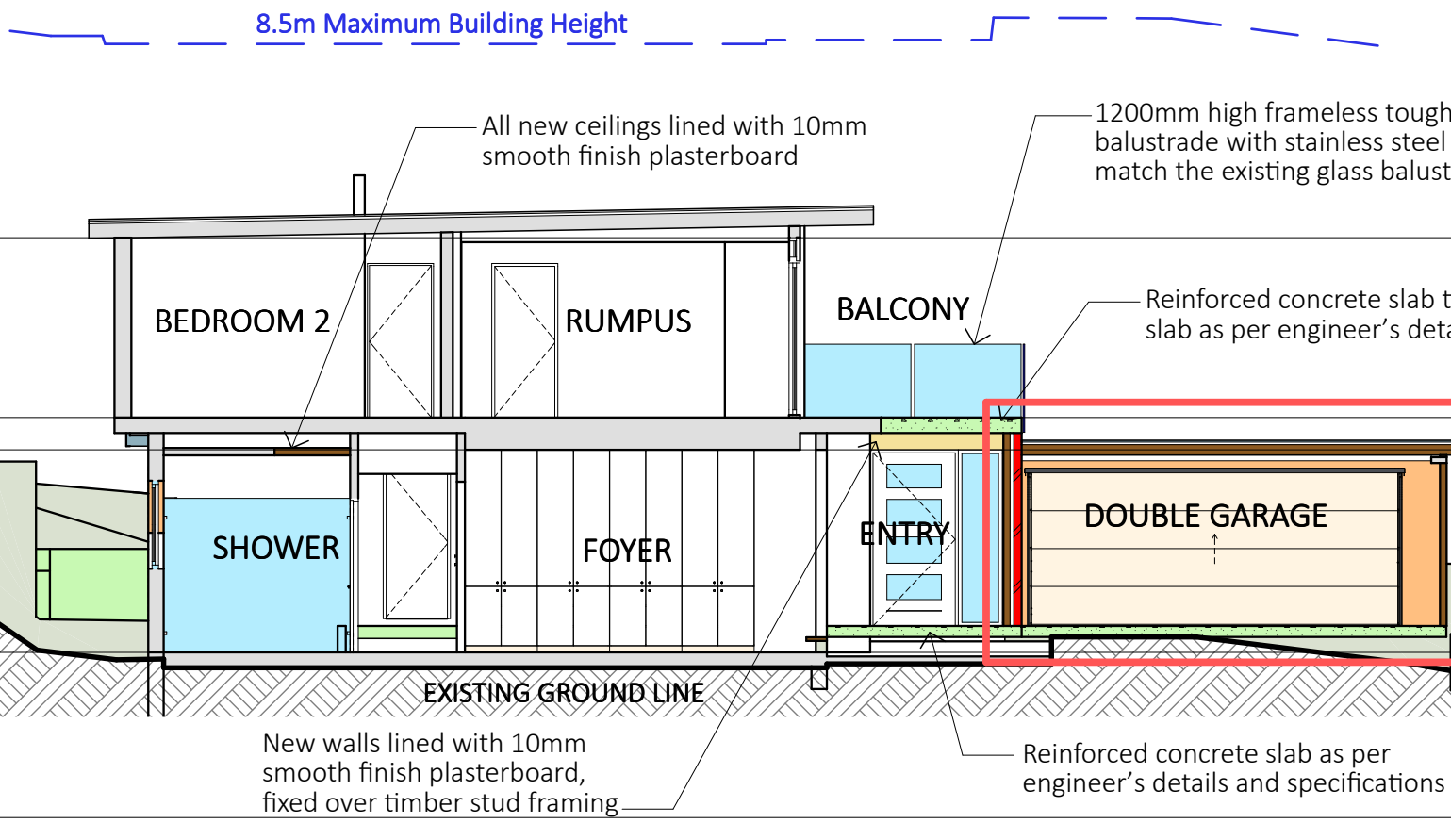
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4

SOUTH ELEVATION

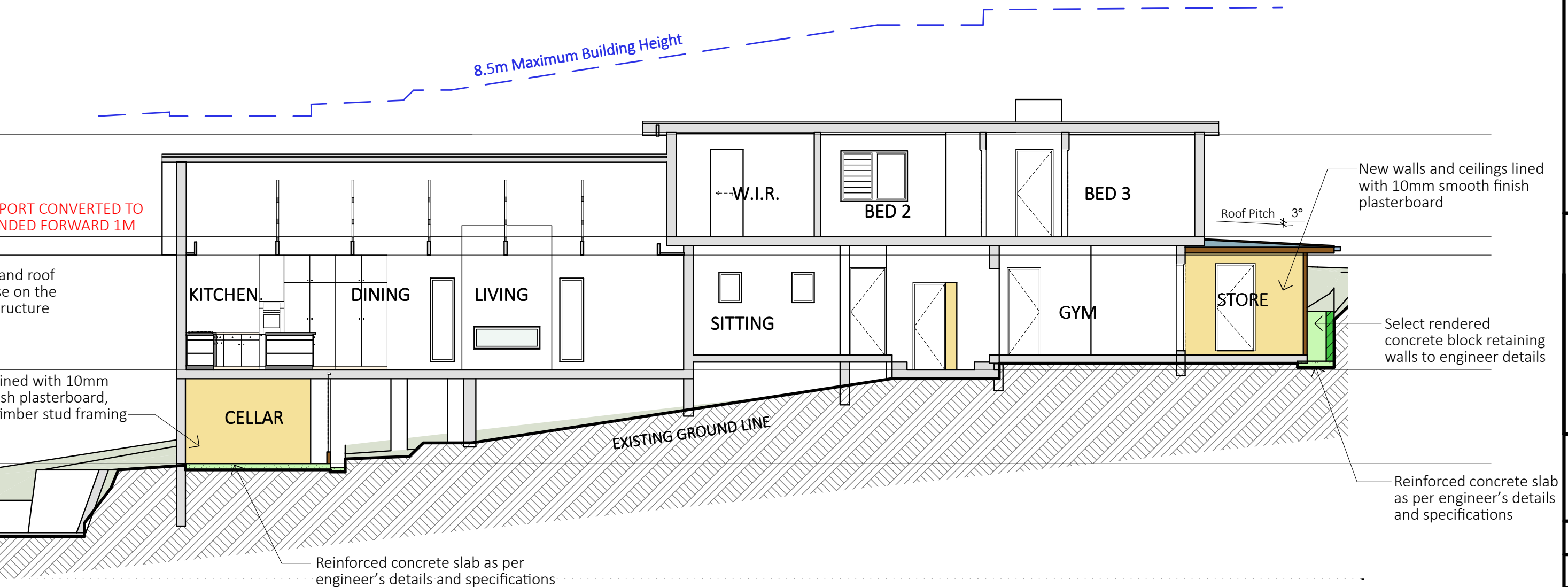
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5

SECTION A - A

1:100



6

SECTION B - B

1:100