

SCHEDULE OF CONSERVATION WORKS



Façades of

6 The Corso and 50 East Esplanade, Manly NSW

September 2023 | J5235

**Weir
Phillips**
**Heritage
and Planning**

Level 19, 100 William Street Woolloomooloo NSW 2011

Phone: (02) 8076 5317

TABLE OF CONTENTS

<u>1.0</u>	<u>INTRODUCTION</u>	<u>3</u>
1.1	LOCATION OF WORKS:	3
1.2	TERMINOLOGY:	4
1.3	LIMITATIONS:	5
<u>2.0</u>	<u>CONDITION ASSESSMENT</u>	<u>6</u>
<u>3.0</u>	<u>REQUIRED PROTECTION</u>	<u>7</u>
<u>4.0</u>	<u>CORRECTIVE MAINTENANCE</u>	<u>12</u>

1.0 Introduction

Preamble:

This Schedule of Conservation Works is a list of work that is required to correct damage and deterioration and ensure conservation of the façades of 6 The Corso and 50 East Esplanade, Manly NSW.

Authorship

This schedule has been prepared by Edward Alder, Building and Remedial Works Specialist, and James Phillips, B.Sc. (Arch), B.Arch, M.Herit.Cons.(Hons), of Weir Phillips Heritage and Planning.

Conservation Work:

This Schedule of Conservation Works shall be read with the Northern Beaches Council's Deferred Commencement Conditions (DA2019/0997) dated 19 March 2020, the Heritage Impact Statement prepared by Weir Phillips Heritage and Planning dated August 2019 and the Demolition and Construction Management Plan required by Northern Beaches Council. The works shall be guided and limited by the Burra Charter.

1.1 Location of Works:

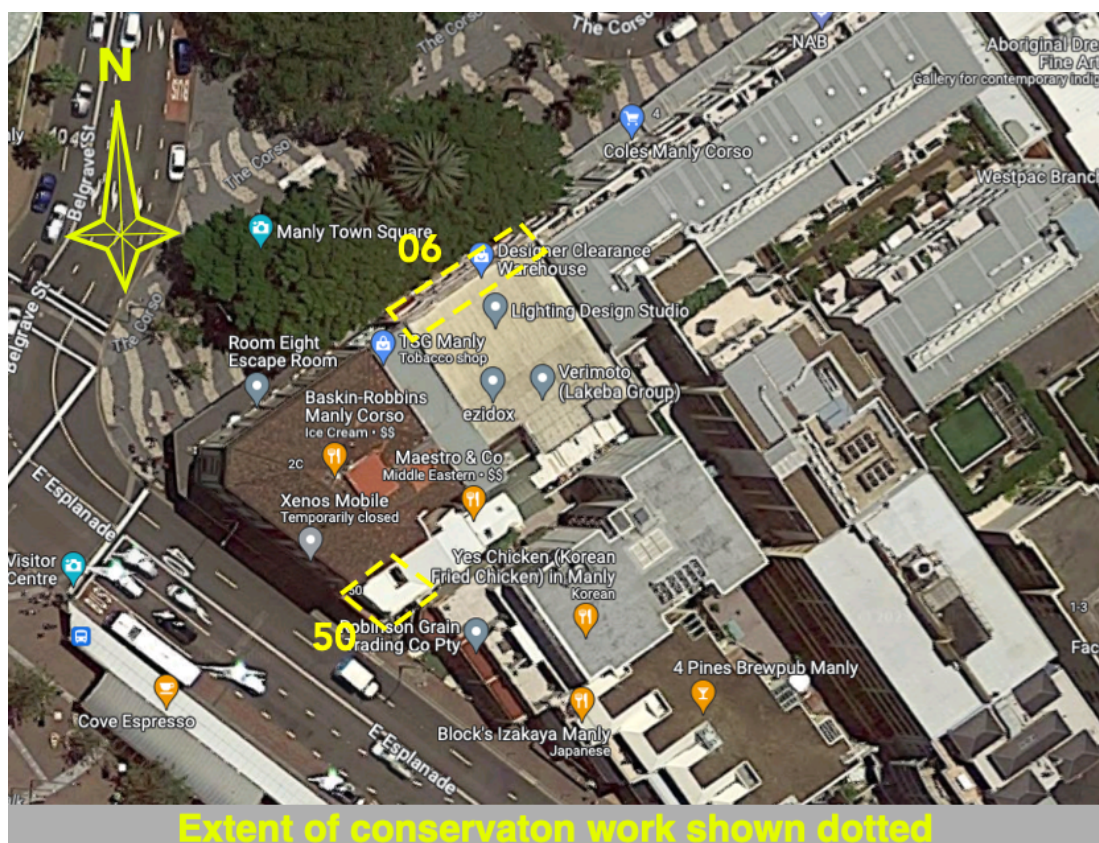


Fig. 1. Site boundary

The site is located within Northern Beaches Council. The principal planning control for the site is the *Manly Local Environmental Plan 2013 (LEP 2013)*. The site is listed as a heritage item, 'Group of Commercial Terraces', by Schedule 5 Part 1 of the *Manly LEP 2013*. It is also located in the Town Centre Heritage Conservation Area as listed by Schedule 5 Part 2 of the *LEP 2013*. In addition, it is located adjacent to and in the vicinity of heritage items listed by this Plan, (Fig. 1).

6 The Corso (Lot 1 of D.P. 971762) is located on the south-eastern side of The Corso between Whistler Street and East Esplanade. 50 East Esplanade (Lot 1 of D.P. 80202) is located on the northern side of East Esplanade between Belgrave Street and Wentworth Street. (Fig. 2).

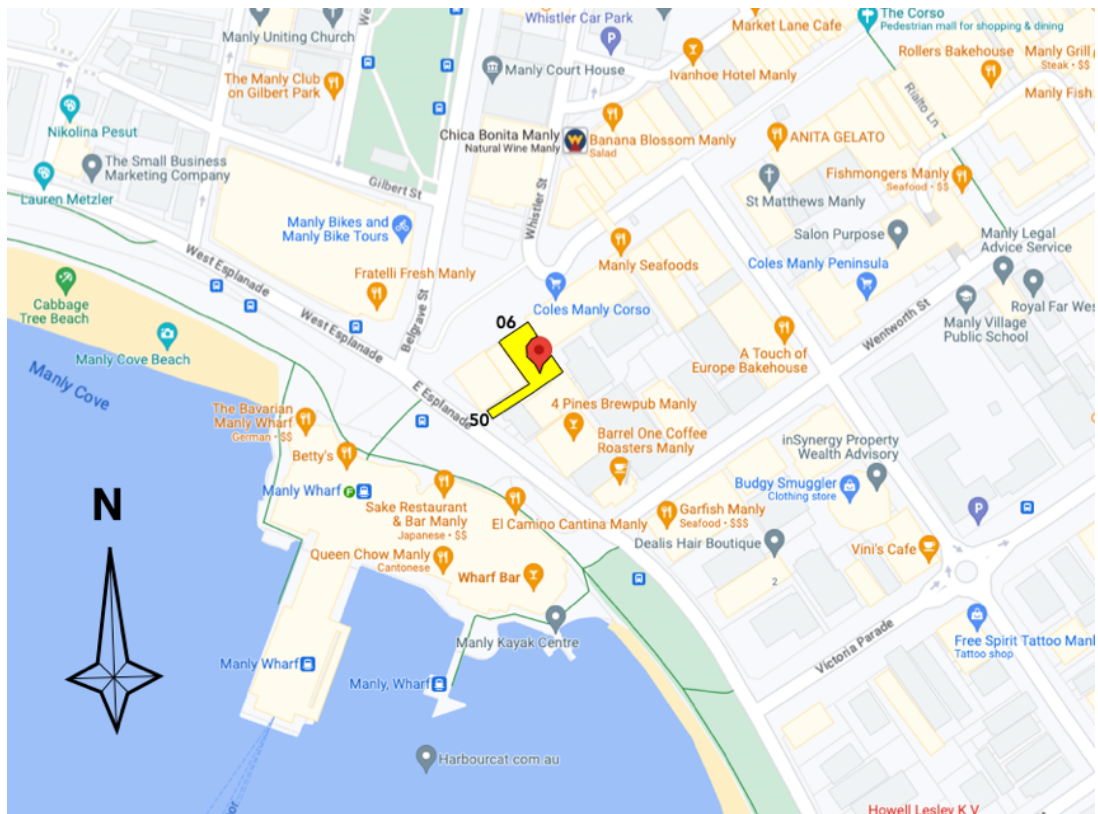


Fig. 2. Location in relation to surrounding area

Purpose of Corrective Maintenance:

This Schedule of Conservation Works is listed as corrective maintenance which aims to provide a site reference and a program of corrective maintenance works to the façades of 6 The Corso and 50 East Esplanade, Manly NSW, requiring implementation prior to or in conjunction with the approved redevelopments in accordance with Northern Beaches Council's Conditions of Consent.

1.2 Terminology:

The terms: fabric, place, preservation, reconstruction, restoration, adaptation and conservation used throughout this report have the meaning given them in Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter) 2013. The following definitions also apply.

Cyclical Maintenance:

The regular expenditure of a small amount of maintenance funds is much better for a building, and more cost effective, than large injections of capital every 20 years or so. People often think that once a building has been 'restored' it doesn't need to be looked at again for many years. But many major repairs to historic buildings could have been prevented if simple things like leaking down-pipes and gutters had been cleaned out or repaired in a timely manner.

Corrective Maintenance:

Work necessary to bring a building to an acceptable standard (often as recommended by a conservation plan) such as treatment for rising damp; or planned maintenance work to prevent failure which recurs predictably within the life of a building, such as cleaning gutters or painting.

Corrective maintenance is listed as a once only maintenance item in the cyclical maintenance table in order of the significance of the item requiring work.

Emergency Corrective Maintenance:

Work that must be initiated immediately for health, safety, security reasons or that may result in the rapid deterioration of the structure or fabric if not undertaken (for example, roof repairs after

storm damage, graffiti removal or repairing broken glass). A daily response system detailing who is responsible for urgent repairs is to be prepared.

Wherever possible, corrective and cyclical maintenance works are to be executed within the limitations set out in the relevant sections of the BCA/NCC and applicable Australian Standards. However, the preservation of the original building fabric is to take preference over arbitrary requirements.

1.3 Limitations:

The inspections from which this Schedule of Conservation Works were made were neither invasive nor exhaustive.

2.0 CONDITION ASSESSMENT

Existing Condition of The Façades

The façades of 6 The Corso and 50 East Esplanade, Manly are in a serviceable condition with areas of deterioration requiring conservation work. The following schedule is a list of work that is required to correct damage and deterioration to these façades.



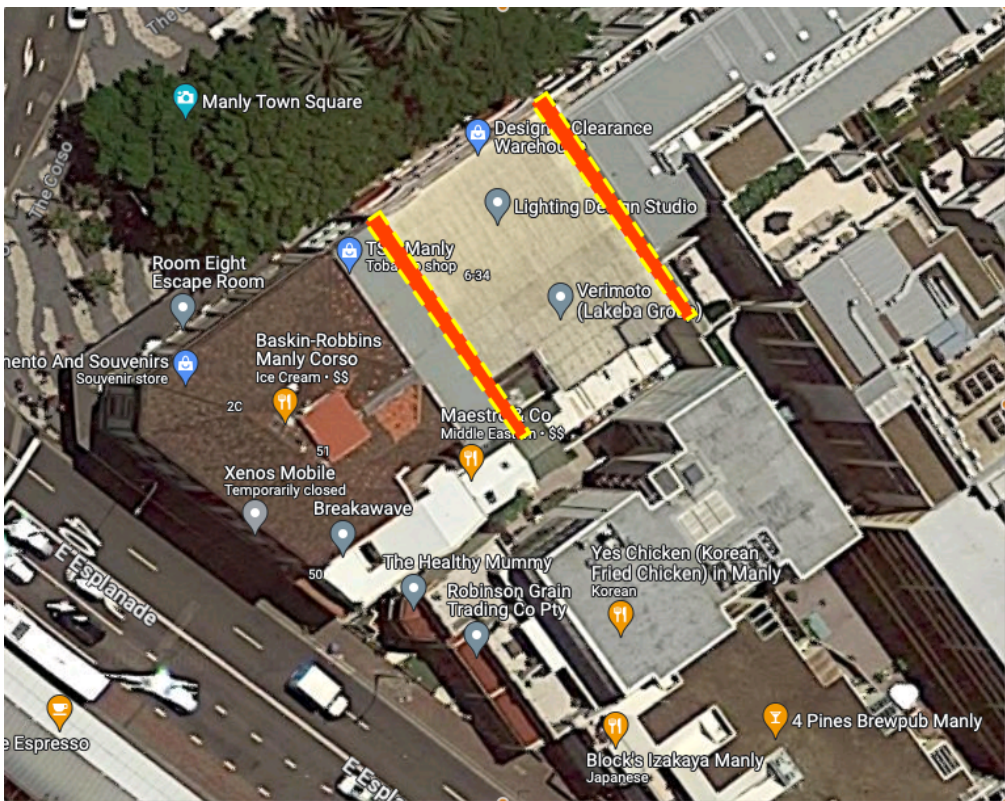
Figure 1: The façade of 6 The Corso, Manly



Figure 2: The façade of 50 East Esplanade, Manly.

3.0 REQUIRED PROTECTION

Sheet No:	CM-01	Space No:	Façade of 6 The Corso, Manly
REQUIRED PROTECTION:			
			
CAVITY WALL TIES: Prior to any demolition or approved works, the whole of the street façade is to have the cavity wall ties inspected by a structural engineer suitably qualified and experienced in cavity brick wall tie remediation. Should brick cavity wall tie remediation be required it is to be implemented prior to any demolition except for window removal. Method of brick cavity wall tie remediation is to be in consultation with the nominated heritage consultant. The preferred method is to have the remedial wall ties fixed through the internal wall so as not to deface the external façade.			
PERMITTED DEMOLITION PRIOR TO FAÇADE RETENTION: The careful removal of the windows from the façade may be required for brick wall tie remediation and implementation of the temporary façade retention and protection.			
PROPOSED TEMPORARY FAÇADE RETENTION: The whole of 6 The Corso façade is to have temporary façade retention and protection as deemed necessary by a structural engineer suitably qualified and experienced in heritage façade retention and protection when adjacent to demolition and piling.			
LIMITATIONS: Except for window removal, the façade, being the external surface of the street front elevation of 6 The Corso is not to be drilled, chased, or have sections removed to facilitate temporary façade retention. The façade, being the external surface of the street front elevation of 6 The Corso is not to be drilled, chased, or have sections removed to facilitate temporary works for scaffolding or other access equipment or for the installation of protection materials where required.			
Issue:		September 2023	

Sheet No:	CM-02	Space No:	6 The Corso, Manly
REQUIRED INVESTIGATION: 			
BOUNDING WALLS OF NEIGHBOURING BUILDINGS: Prior to general demolition, the foundation depth of the boundary wall of the heritage listed building to the north and the foundation depth of the boundary wall of the heritage listed building to the south are to be established. There are to be at least four or as many investigative excavated holes as deemed necessary by the structural engineer along each boundary. These excavations are to be adequate to truly determine the foundation depths with minimum intrusion and no impact on the foundations being investigated.			
PHOTOGRAPHIC RECORD: A photographic record of the foundation investigation process is to be completed for future reference.			
LIMITATIONS: The foundation investigation process is only to be executed under the strictly supervision of the structural engineer.			
DEMOLITION AND PILING: The impact of vibration from demolition and piling of adjacent structures is to be rigorously monitored to ensure the conservation of the façades, retained heritage fabric and the heritage buildings on either side of 6 The Corso, Manly.			
Issue:	September 2023		

Sheet No:	CM-03	Space No:	Heritage Items in The Corso Plaza
	LOCATION: <i>Item 114</i> Cast Iron Letter Box REQUIRED PROTECTION: To comply with the protection requirements of Term 21 of Northern Beaches Council Deferred Commencement Conditions (DA2019/0997) The following is to be proved. Protection installed shall consist of layers of 'bubble wrap' surrounded by plywood or timber boarding. The plywood or timber boarding is to be coated on all sides prior to installation so it will not bleed and stain the surroundings when wet. The protection material is to be fixed to itself and not to the heritage item it is protecting. Heritage items are not to be adhered to or fixed to under any circumstances. This work is to be executed by an experienced carpenter with a proven record of satisfactory work to heritage items.		
	LOCATION: <i>Item 103</i> War Memorial (cenotaph) REQUIRED PROTECTION: To comply with the protection requirements of Term 21 of Northern Beaches Council Deferred Commencement Conditions (DA2019/0997) The following is to be observed. Protection installed shall consist of layers of 'bubble wrap' surrounded by plywood or timber boarding. The plywood or timber boarding is to be coated on all sides prior to installation so it will not bleed and stain the surroundings when wet. The protection material is to be fixed to itself and not to the heritage item it is protecting. Heritage items are not to be adhered to or fixed to under any circumstances. This work is to be executed by an experienced carpenter with a proven record of satisfactory work to heritage items.		
	LOCATION: <i>Item 102</i> Cast Iron Pedestals REQUIRED PROTECTION: To comply with the protection requirements of Term 21 of Northern Beaches Council Deferred Commencement Conditions (DA2019/0997) The following is to be provided. Protection installed shall consist of layers of 'bubble wrap' surrounded by plywood or timber boarding. The plywood or timber boarding is to be coated on all sides prior to installation so it will not bleed and stain the surroundings when wet. The protection material is to be fixed to itself and not to the heritage item it is protecting. Heritage items are not to be adhered to or fixed to under any circumstances. This work is to be executed by an experienced carpenter with a proven record of satisfactory work to heritage items.		
Issue:		September 2023	

Sheet No:	CM-04	Space No:	Items in The Corso Plaza
			LOCATION: The Corso Plaza REQUIRED PROTECTION: Signage of durable material is to also be provided in lettering of not less than 35mm high stating: THIS BOARDING HAS BEEN INSTALLED TO PROTECT A VALUED HERITAGE ASSET FROM POSSIBLE DAMAGE. THIS PROTECTION IS REMAIN UNTIL ADJACENT CONSTRUCTION ACTIVITY HAS CONCLUDED.
			LOCATION: The Corso Plaza REQUIRED PROTECTION: The plaza paving and pedestrian storm-water grate adjacent to the works are to be protected from splatter and impact damage. The pedestrian stormwater drain is to be protected from possible contaminated water that may emanate from the works
Issue:			September 2023

Sheet No:	CM-05	Space No:	Façade 50 East Esplanade, Manly
-----------	-------	-----------	---------------------------------

REQUIRED PROTECTION:



CAVITY WALL TIES:

Prior to any approved works, the whole of the street façade is to have the cavity wall ties inspected by a structural engineer suitably qualified and experienced in cavity brick wall tie remediation. Should brick cavity wall tie remediation be required it is to be implemented prior to any demolition. Method of brick cavity wall tie remediation is to be in consultation with the nominated heritage consultant. The preferred method is to have the remedial wall ties fixed through the internal wall so as not to deface the external façade.

PROPOSED TEMPORARY FAÇADE RETENTION:

The whole of 50 East Esplanade is to have temporary façade retention and protection as deemed necessary by a structural engineer suitably qualified and experienced in heritage façade retention and protection when adjacent to demolition and piling.

LIMITATIONS:

The façade, being the external surface of the street front elevation of 50 East Esplanade including the preserved section of the return walls are not to be drilled, chased, or have sections removed to facilitate temporary façade retention.

The façade, being the external surface of the street front elevation of 50 East Esplanade including the preserved section of the return walls are not to be drilled, chased, or have sections removed to facilitate temporary works for scaffolding or other access equipment or for the installation of protection materials where required.

DEMOLITION AND PILING:

The impact of vibration from demolition and piling of adjacent structures is to be rigorously monitored to ensure the conservation of the façades and retained heritage fabric.

Issue: September 2023

4.0 CORRECTIVE MAINTENANCE

Sheet No:	CM-06	Space No:	Façade of 6 The Corso, Manly
	LOCATION: 6 The Corso - Façade WORK REQUIRED: Remove vegetation from brickwork or rendered masonry and repair cracks. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures.		
	LOCATION: 6 The Corso - Façade WORK REQUIRED: Remove vegetation from brickwork or rendered masonry and repair cracks. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures.		
	LOCATION: 6 The Corso - Façade WORK REQUIRED: Remove all rusting masonry anchor remnants and the like from the rendered brickwork. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures.		
	LOCATION: : 6 The Corso - Façade WORK REQUIRED: Repair spalling concrete to corbel ledge. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory spalling repair to heritage buildings. Standards: AS 3700-2018 Masonry Structures.		
Issue:	September 2023		

Sheet No:	CM-07	Space No:	Façade of 6 The Corso, Manly
	LOCATION: 2nd floor corbel over the three central windows WORK REQUIRED: Repair spalling concrete to corbel ledge. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory spalling repair to heritage buildings. Standards: AS 3700-2018 Masonry Structures.		
	LOCATION: Three central 2nd floor windows WORK REQUIRED: Replace rusting window lintels. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures.		
	LOCATION: 1st floor bay window roofs WORK REQUIRED: Repair both 1st floor bay window roofs. Any timbers that cannot be repaired are to be replaced with 'like-for-like' timber elements. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures, AS 1684.2-2021 timber-framed construction and AS 4964—2004 Method for the qualitative identification of asbestos.		
	LOCATION: 1st floor bay window roofs WORK REQUIRED: Repair both 1st floor bay window roofs. Any timbers that cannot be repaired are to be replaced with 'like-for-like' timber elements. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures, AS 1684.2-2021 timber-framed construction and AS 4964—2004 Method for the qualitative identification of asbestos.		
Issue:	September 2023		

Sheet No:	CM-08	Space No:	Façade of 6 The Corso, Manly
	LOCATION: : 6 The Corso - Façade WORK REQUIRED: Remove, replace or treat all rusting steel elements and the like embedded in the rendered brickwork. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures and AS 2312.1:2014 Guide to the protection of structural steel against atmospheric corrosion		
	LOCATION: : 6 The Corso - Façade WORK REQUIRED: Remove, replace or treat all rusting steel elements and the like embedded in the brickwork. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures and AS 2312.1:2014 Guide to the protection of structural steel against atmospheric corrosion.		
	LOCATION: 6 The Corso - Façade WORK REQUIRED: Remove the TV arial and external conduits and wiring and repair brickwork and render as required. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures and AS/NZS 3000:2018, Electrical installations.		
	LOCATION: 6 The Corso - Façade WORK REQUIRED: Properly prepare and repaint previously painted external surfaces in approved colour scheme to paint manufactures specifications. This work is to be executed by an experienced painting contractor with a proven record of satisfactory work to heritage buildings. Standards: AS/NZS 2311-2017 Guide to Painting of Buildings, AS 4361.2-1998 Guide to lead paint management and AS 2312.1:2014 Guide to the protection of structural steel against atmospheric corrosion.		
Issue:	September 2023		

Sheet No:	CM-09	Space No:	Façade 50 East Esplanade, Manly
	LOCATION: 50 East Esplanade - Façade REQUIRED PROTECTION: The paving and stormwater drainage adjacent to the works are to be protected from splatter and impact damage. The stormwater drain is to be protected from possible contaminated water that may emanate from the works		
	LOCATION: 50 East Esplanade - Façade WORK REQUIRED: Replace rusting eaves gutter with 'like-for-like' eaves gutters. This work is to be executed by an experienced roof plumber with a proven record of satisfactory work to heritage buildings. Standards: AS/NZS 2179.1-2014 Metal rainwater Goods and AS/NZS 3500.3.2021. Stormwater Drainage.		
	LOCATION: 50 East Esplanade - Façade WORK REQUIRED: Repair fascia and eaves linings. Any timbers that cannot be repaired are to be replaced with 'like-for-like' timber elements. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 1684.2-2021 timber-framed construction.		
	LOCATION: 50 East Esplanade - Façade WORK REQUIRED: Repair timber windowsills. Any timbers that cannot be repaired are to be replaced with 'like-for-like' timber elements. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 1684.2-2021 timber-framed construction.		
Issue:	September 2023		

Sheet No:	CM-10	Space No:	Façade 50 East Esplanade, Manly
	LOCATION: 50 East Esplanade - Façade WORK REQUIRED: Repair all eight (8) double hung timber window sashes that cannot be repaired are to be replaced with 'like-for-like' window sashes. Broken sash cords are to be replaced, missing glazing putty is to be reinstated. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 1684.2-2021 timber-framed construction.		
	LOCATION: 50 East Esplanade - Façade WORK REQUIRED: All the rendered ground floor masonry of the façade is to be retained and protected from impact damage and splatter during all corrective maintenance works and approved demolition and construction.		
	LOCATION: 50 East Esplanade - Façade WORK REQUIRED: Remove all rusting masonry anchor remnants and the like from the rendered brickwork. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures.		
	LOCATION: 50 East Esplanade - Façade WORK REQUIRED: Remove all rusting masonry anchor remnants and the like from the rendered brickwork. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures.		
Issue:	September 2023		

Sheet No:	CM-11	Space No:	Façade 50 East Esplanade, Manly
	LOCATION: 50 East Esplanade – Bay window roof WORK REQUIRED: The roof of the bay windows is to be inspected by an experienced heritage roofing contractor with a proven record of satisfactory work to heritage buildings and any damaged or deteriorated roof element repaired. Standards: AS 2050:2018 Roof Tiles, AS 4597-1999 Installation of roof slates and shingles AS/NZS 2904-1995 Damp Proof Courses and AS/NZS 2179.1-2014 Metal rainwater Goods		
	LOCATION: 50 East Esplanade – Bay window cladding WORK REQUIRED: Repair the heritage sheet metal cladding to the bay windows. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 1684.2-2021 timber-framed construction and AS/NZS 2728:2013 sheet metal products exterior building applications		
	LOCATION: 50 East Esplanade – Bay window cladding WORK REQUIRED: Repair the heritage sheet metal cladding to the bay windows. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 1684.2-2021 timber-framed construction and AS/NZS 2728:2013 sheet metal products exterior building applications		
	LOCATION: 50 East Esplanade – South-eastern Wall WORK REQUIRED: Remove vegetation from rendered brickwork and repair cracks in rendered brickwork. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures.		
Issue:	September 2023		

Sheet No:	CM-12	Space No:	Façade 50 East Esplanade, Manly
		LOCATION: 50 East Esplanade – South-eastern Wall WORK REQUIRED: Repair cracks in rendered brickwork. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures.	
		LOCATION: 50 East Esplanade - Façade WORK REQUIRED: Remove, replace or treat all rusting steel elements and the like embedded in the brickwork and repair roughcast render. Elements that are expanding and damaging the brickwork are to be removed. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures and AS 2312.1:2014 Guide to the protection of structural steel against atmospheric corrosion.	
		LOCATION: 50 East Esplanade - Façade WORK REQUIRED: Remove the redundant rusting conduit and repair roughcast render. This work is to be executed by an experienced remedial works contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3700-2018 Masonry Structures and AS/NZS 3000:2018, Electrical installations.	
		LOCATION: 50 East Esplanade - Façade WORK REQUIRED: Properly prepare and repaint previously painted external surfaces in approved colour scheme to paint manufactures specifications. This work is to be executed by an experienced painting contractor with a proven record of satisfactory work to heritage buildings. Standards: AS/NZS 2311-2017 Guide to Painting of Buildings, AS 4361.2-1998 Guide to lead paint management and AS 2312.1:2014 Guide to the protection of structural steel against atmospheric corrosion.	
Issue:		September 2023	