

hobbs jamieson architecture june 2023

SITE AREA		1003.65 m2 TBC					
LEP CONTROLS		MANLY LEP 2013		COMPLIANCE SUMMARY			
Zone:	B2 Local Centre	EXISTING DEVELOPMENT		COMPLIES	PROPOSED DEVELOPMENT		COMPLIES
Floor Space Ratio:	3:1 (category V, coloured red) Therefore max allowable GFA = 3010.95m2	Ex FSR:	1.776:1	YES	Proposed FSR:	1.797:1	YES
		Ex GFA:	1782.74m2			1803.74m2	
Building Height	15m maximum (category O, coloured beige)	Ex max height:	TBC	NO	Max. height:	Unchanged	NO
Acid Sulphate:	Class 4						
Foreshore Scenic Protection:	Yes						
Manly Active Street Frontages	Yes						
Heritage	N/A						
Bushfire Prone Land:	N/A						
Terrestrial Biodiversity:	N/A						
Flood Prone Land:	N/A						

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DA 01	SITE ANALYSIS
DA 02	BASIX SPECIFICATION SHEET
DA 03	EXISTING PLAN - UNIT 25 LEVEL 7
DA 04	EXISTING PLAN - UNIT 25 LEVEL 8
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DA 06	PROPOSED PLAN - UNIT 25 LEVEL 8
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SUBJECT SITE aerial map - site outlined in red. image from six maps

SHORT WALK TO MANLY FERRY WHARF

Summer sunset

EAST ESPLANADE

Winter sunset

No 39
5 & 6 storey brick building,
terrace roof

Midday sun

consider visual & acoustic privacy between neighbours

site boundary (see survey for details)

conc

tiled

lawn

tiled

conc

bin store

ICONIC
PANORAMIC
OCEAN
VIEWS

No 37-38
7 and 8 storey brick and
rendered apartments,
terrace roof, parking under
Site Area 994.9 sqm
S.P. 3035

brick and
rendered building,
terrace roof

Winter
sunrise

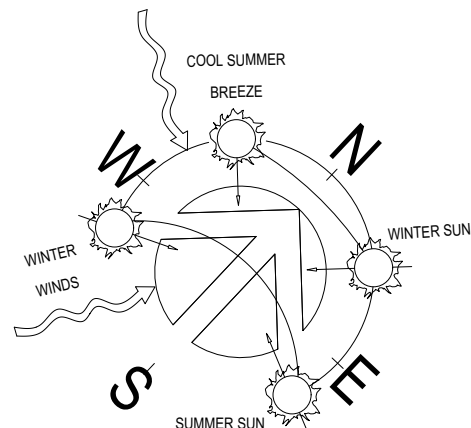
site boundary (see survey for details)

consider visual & acoustic privacy between neighbours

consider shadow impact to this neighbours

No 29
7 & 8 storey brick and rendered
apartments, terrace roof, parking under

Summer sunrise

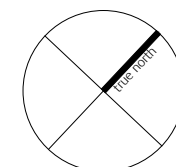


Notes:
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Rev Date Details
A 01/06/23 DEVELOPMENT APPLICATION ISSUE



ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

DOCUMENT TITLE
Site Analysis

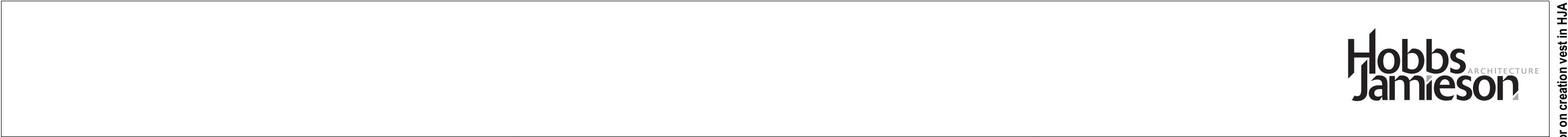
DOCUMENT NUMBER REVISION

DA 01

SCALE 1:200 @ A3

JOB 21/008 DRAWN AH / VC

A

Building Sustainability Index www.basix.nsw.gov.au

Certificate number: A497544

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 29, May 2023
To be valid, this certificate must be lodged within 3 months of the date of issue



Project address	
Project name	Unit 25, 37-38 East Esplanade, Manly
Street address	37-38 East Esplanade Manly 2095
Local Government Area	Northern Beaches Council
Plan type and number	Strata Plan 3035
Lot number	CP
Section number	
Project type	
Dwelling type	Unit
Type of alteration and addition	My renovation work is valued at \$50,000 or more.

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Efficient Living Pty Ltd
ABN (if applicable): 82116346082

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BASIX Certificate number: A497544

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

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BASIX Certificate number: A497544

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor/s, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
external wall: brick veneer	R1.16 (or R1.70 including construction)		
flat ceiling, flat roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorbance 0.475 - 0.70)	

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A497544

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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:							✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.							✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.							✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							✓	✓
Pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must overlap in plan view.							✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						✓	✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type		
W1	SW	6.37	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A497544

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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W2	SW	4.46	0	0	pergola (adjustable shade) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W3	SW	0.56	0	0	pergola (adjustable shade) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W4	NE	0.3	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W5	NW	0.28	0.3	3.85	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W6	NW	1.74	0.23	3.85	none	aluminium, double Lo-Tsol/air gap/clear, (U-value: 4.9, SHGC: 0.33)		

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
SK	1.54	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)			

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BASIX Certificate number: A497544

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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Building Sustainability Index www.basix.nsw.gov.au

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Rev	Date	Details
A	01/06/23	DEVELOPMENT APPLICATION ISSUE

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ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

DOCUMENT TITLE
BASIX Specification Sheet

PROJECT STAGE
Development Application

DOCUMENT NUMBER REVISION
DA 02 **A**
SCALE NOTES ON A6

CLIENT
Graeme MacLaren

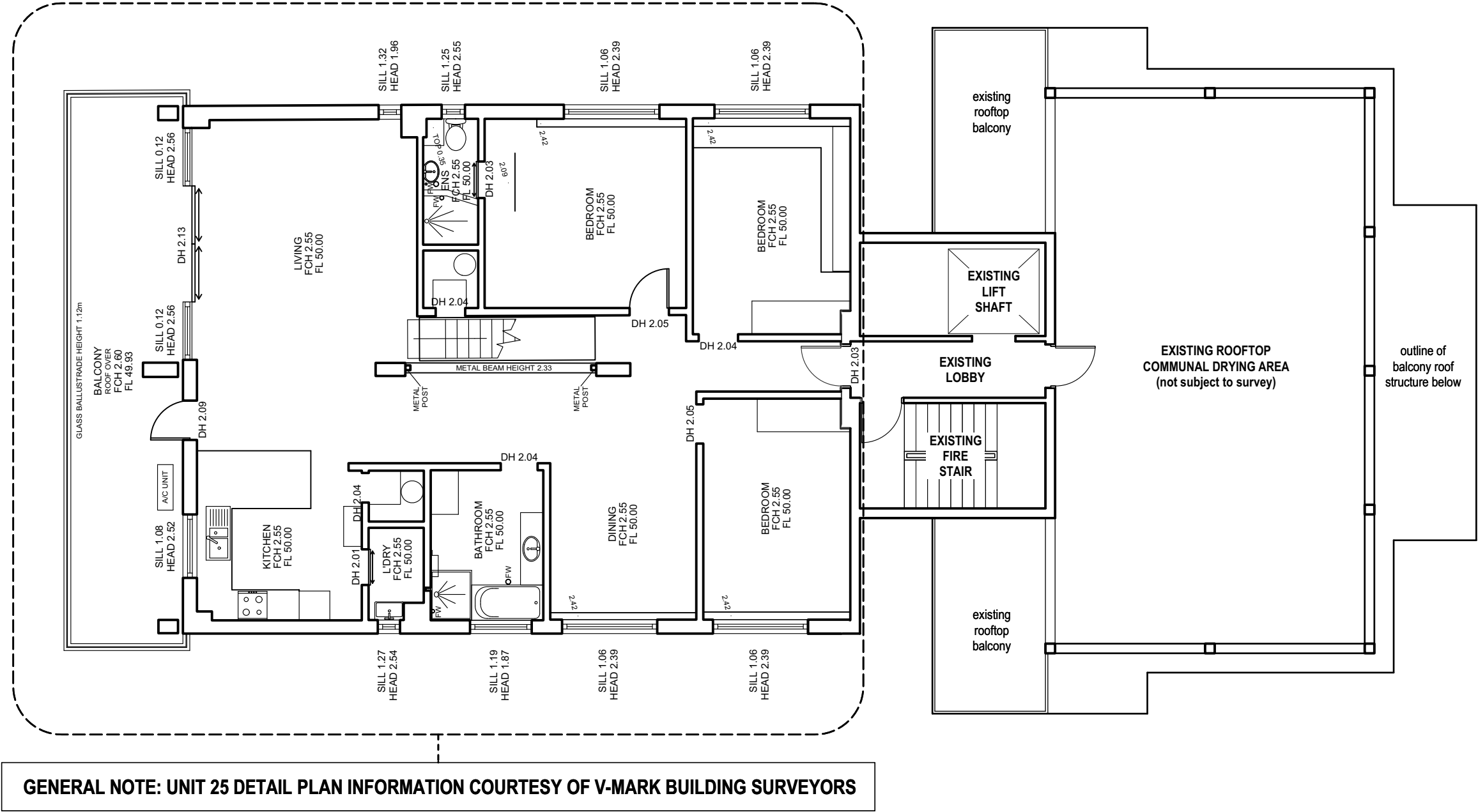
SCALE NTS @ A3

JOB 21/008 DRAWN AH / VC

File Name: 21/008.DASet.vwx

EAST
ESPLANADE

site boundary (see survey for details)

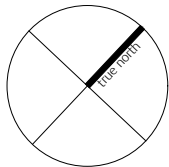


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Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

DOCUMENT TITLE
Existing Plan - Unit 25 Level 7

DOCUMENT NUMBER REVISION
DA 03 **A**

SCALE 1:100 @ A3

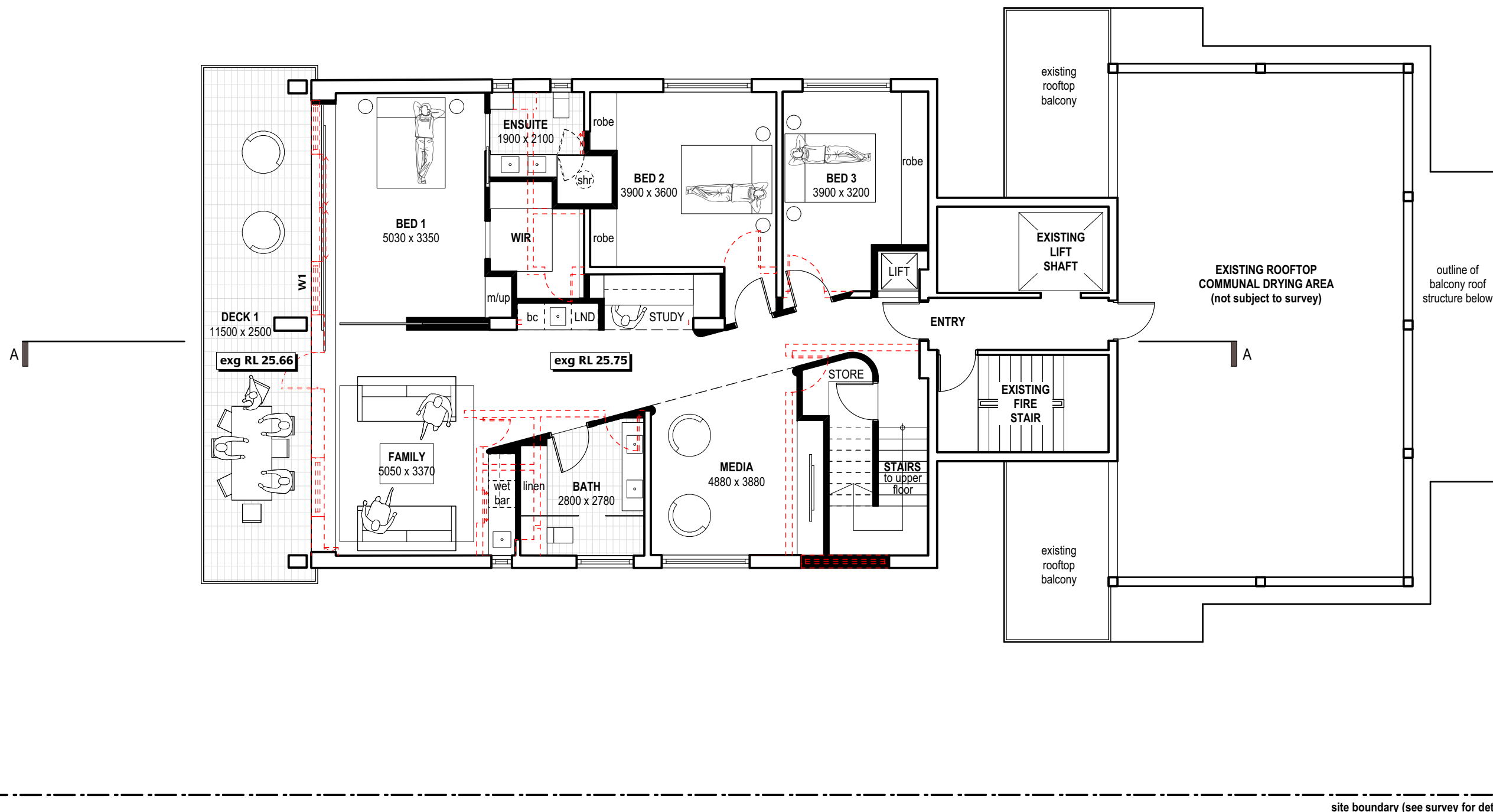
JOB 21/008 DRAWN AH / VC



JOB 21/008 DRAWN AH / VC

EAST ESPLANADE

site boundary (see survey for details)



site boundary (see survey for details)

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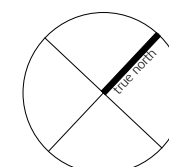
Rev Date Details
A 01/06/23 DEVELOPMENT APPLICATION ISSUE

Details Legend

	existing walls
	existing to be demolished
	new walls
	new works

Abbreviations

bal	balustrade	ps	privacy screen
ct	ceramic floor tile	rb	rendered brickwork
cpt	carpet	rv	roof vent
DP	downpipe	SK	skylight
exg	existing	tfb	timber floor boards
lc	lightweight cladding	W #	window #
mdr	metal deck roof		
rt	roof tile		



ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

DOCUMENT TITLE
Proposed Plan - Unit 25 Level 7

DOCUMENT NUMBER **REVISION**

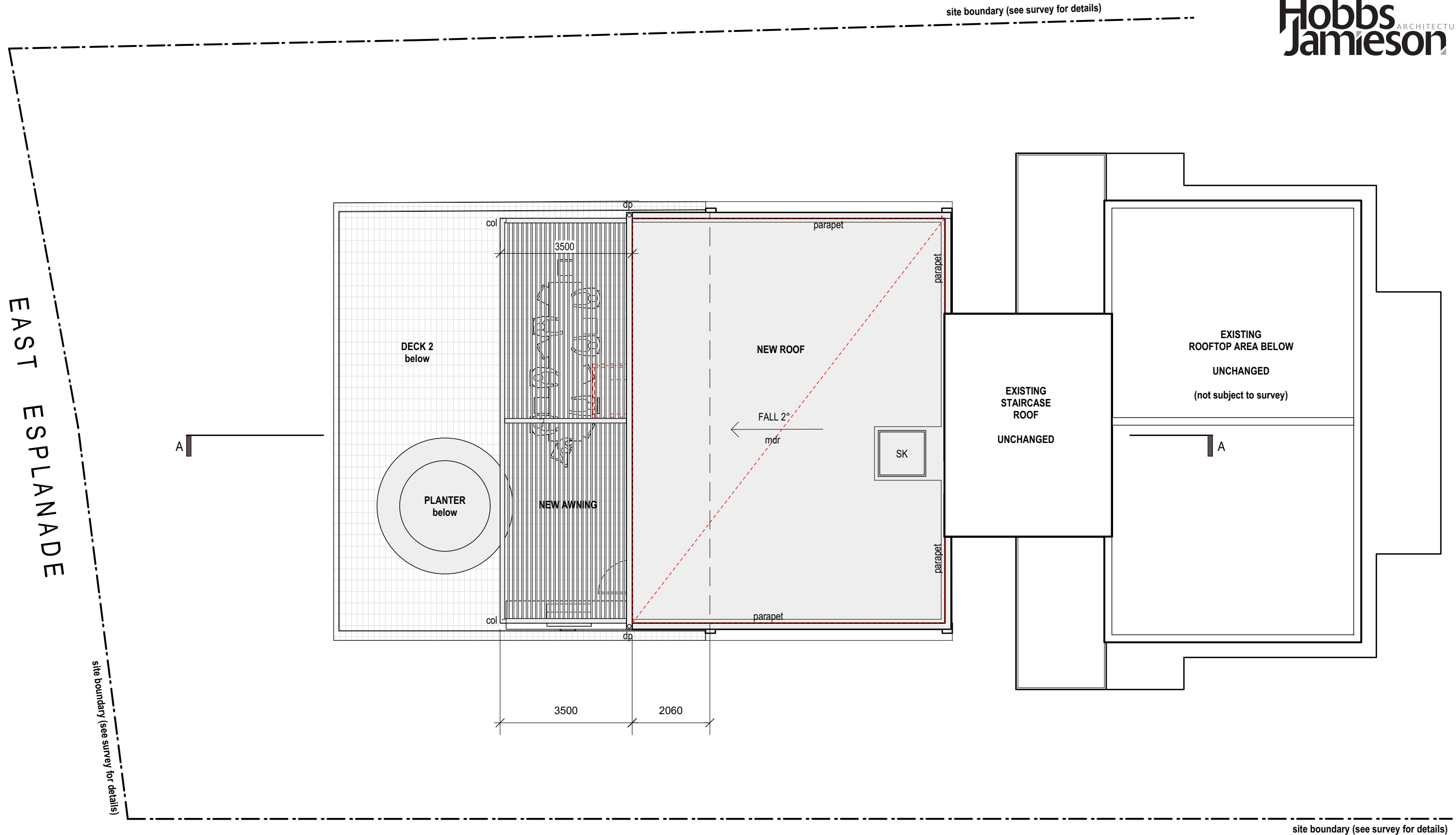
DA 05

SCALE 1:100 @ A3

JOB 21/008 DRAWN AH / VC



JOB 21/008 DRAWN AH / VC



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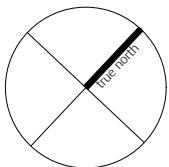
Rev Date Details
A 01/06/23 DEVELOPMENT APPLICATION ISSUE

Details Legend

	existing walls
	existing to be demolished
	new walls
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ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

DOCUMENT TITLE
Proposed Roof Plan

DOCUMENT NUMBER REVISION

DA 07

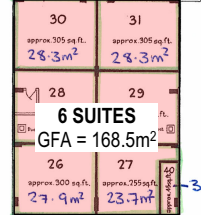
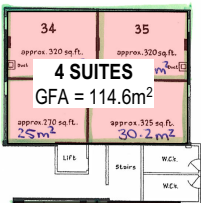
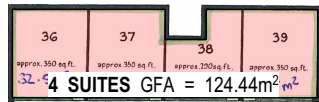
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JOB 21/008

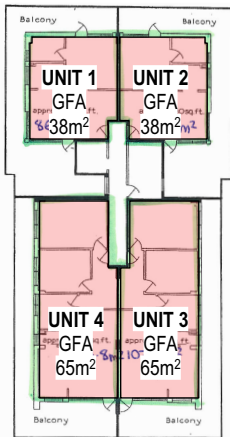
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DRAWN AH / VC

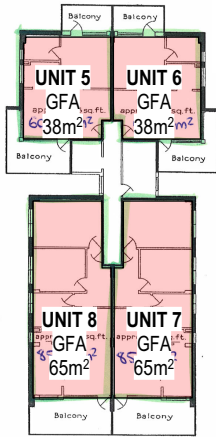
EXISTING



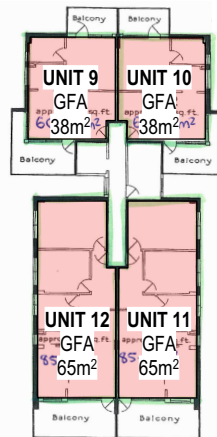
GROUND FLOOR
COMMERCIAL



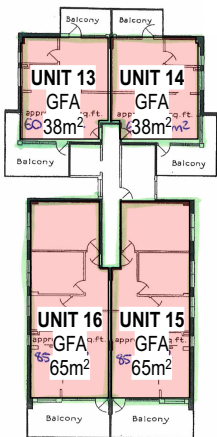
LEVEL ONE
RESIDENTIAL



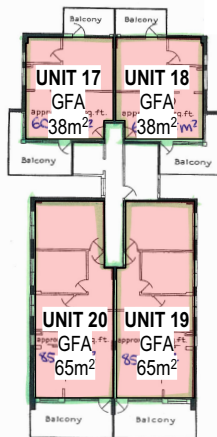
LEVEL TWO



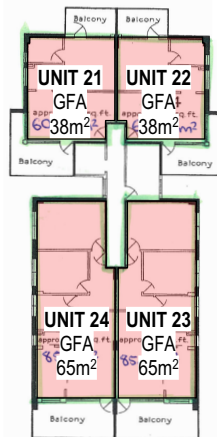
LEVEL THREE



LEVEL FOUR



LEVEL FIVE



LEVEL SIX



LEVEL SEVEN

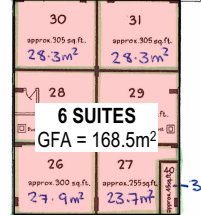
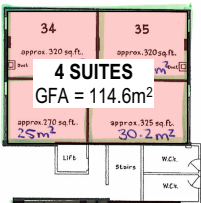
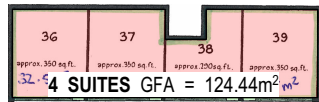


LEVEL EIGHT

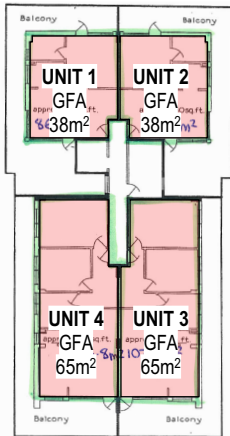
GENERAL NOTE: PLAN INFORMATION COURTESY OF STRATA PLAN DIAGRAMS



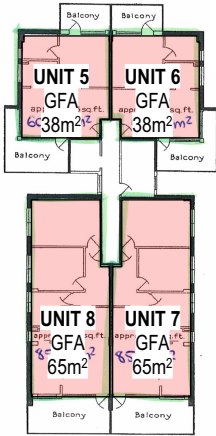
PROPOSED



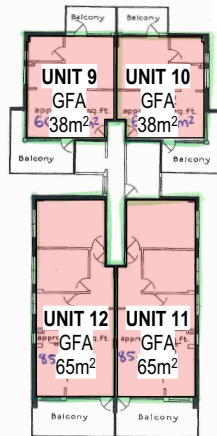
GROUND FLOOR
COMMERCIAL
(UNCHANGED)



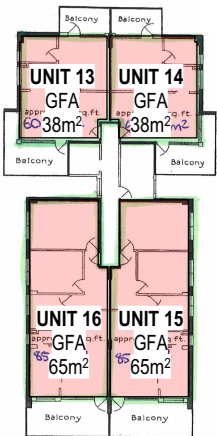
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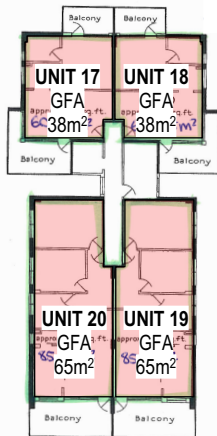
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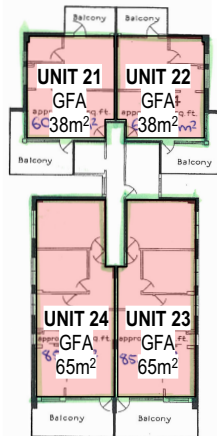
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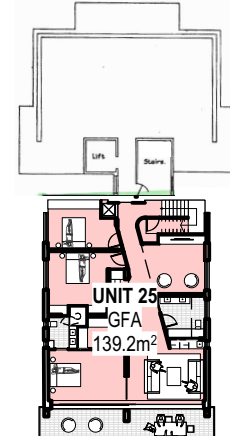
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(UNCHANGED)



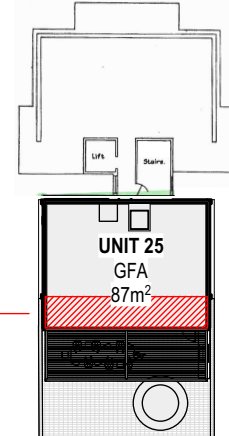
LEVEL FIVE
(UNCHANGED)



LEVEL SIX
(UNCHANGED)



LEVEL SEVEN
(UNCHANGED)



LEVEL EIGHT
(21m² ADDITIONAL GFA)

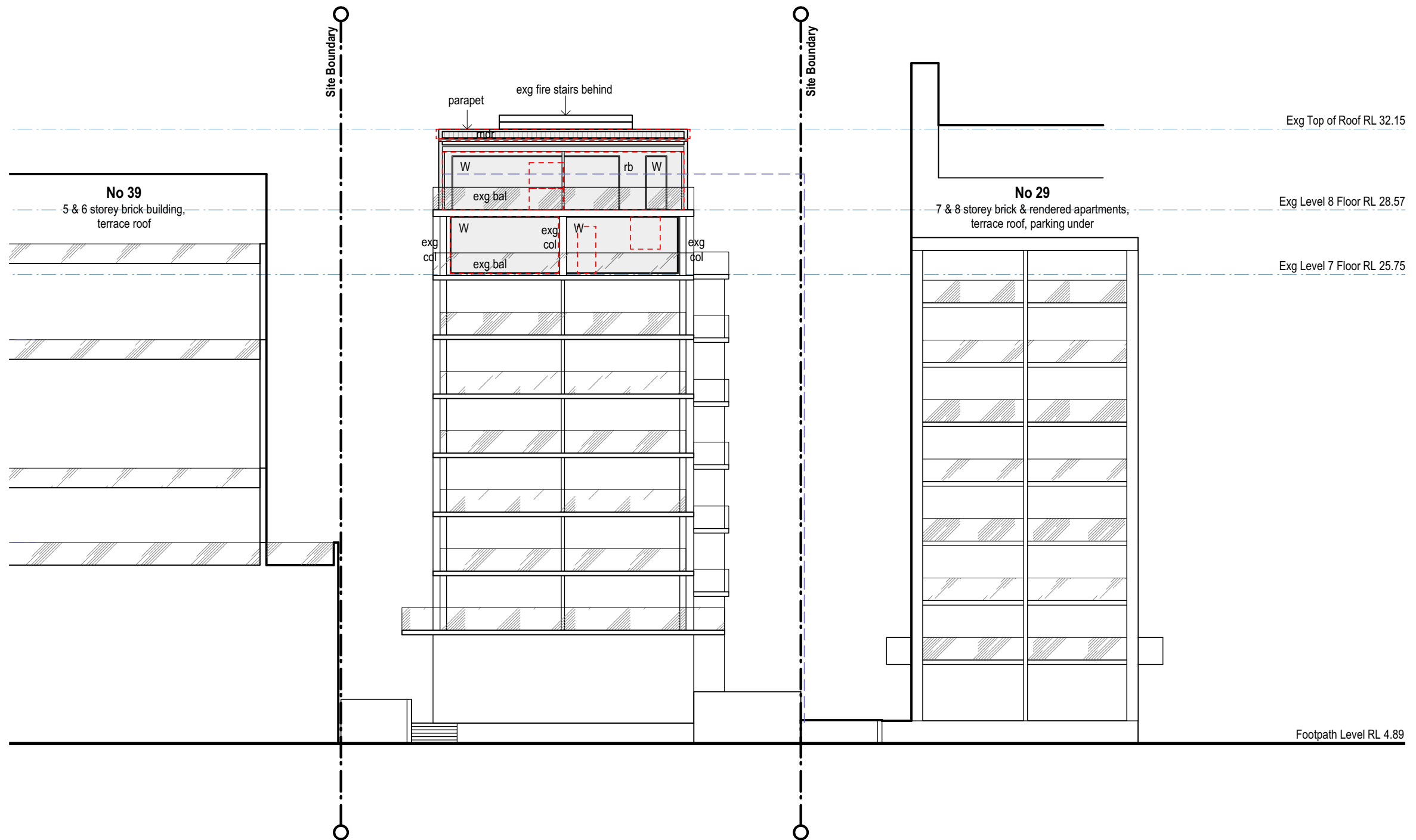
SITE AREA CALCULATION:			
Legend	Site Area	= 1003.65m²	EXISTING
	LEP Control FSR 3:1	= 3010.95m² GFA	1.776:1 (1782.74m² GFA)
GFA (gross floor area)			PROPOSED
			1.797:1 (1803.74m² GFA)

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A 01/06/23 DEVELOPMENT APPLICATION ISSUE

ALTERATIONS & ADDITIONS Unit 25, 37-38 East Esplanade Manly NSW Lot 25 Sec SP 3035		DOCUMENT TITLE Area Calculations - GFA	
PROJECT STAGE Development Application		DOCUMENT NUMBER DA 08	REVISION A
CLIENT Graeme MacLaren		SCALE 1:500 @ A3	
		JOB 21/008	DRAWN AH / VC



SOUTH - WEST ELEVATION
1:200 @ A3

Notes:
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web: www.hobbsjamieson.com.au

Rev Date Details
A 01/06/23 DEVELOPMENT APPLICATION ISSUE

Details Legend

	existing walls
	existing to be demolished
	new walls
	new works

Abbreviations

bal	balustrade	ps	privacy screen
ct	ceramic floor tile	rb	rendered brickwork
cpt	carpet	rv	roof vent
DP	downpipe	SK	skylight
exg	existing	tfb	timber floor boards
lc	lightweight cladding	W #	window #
mdr	metal deck roof		
rt	roof tile		

ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

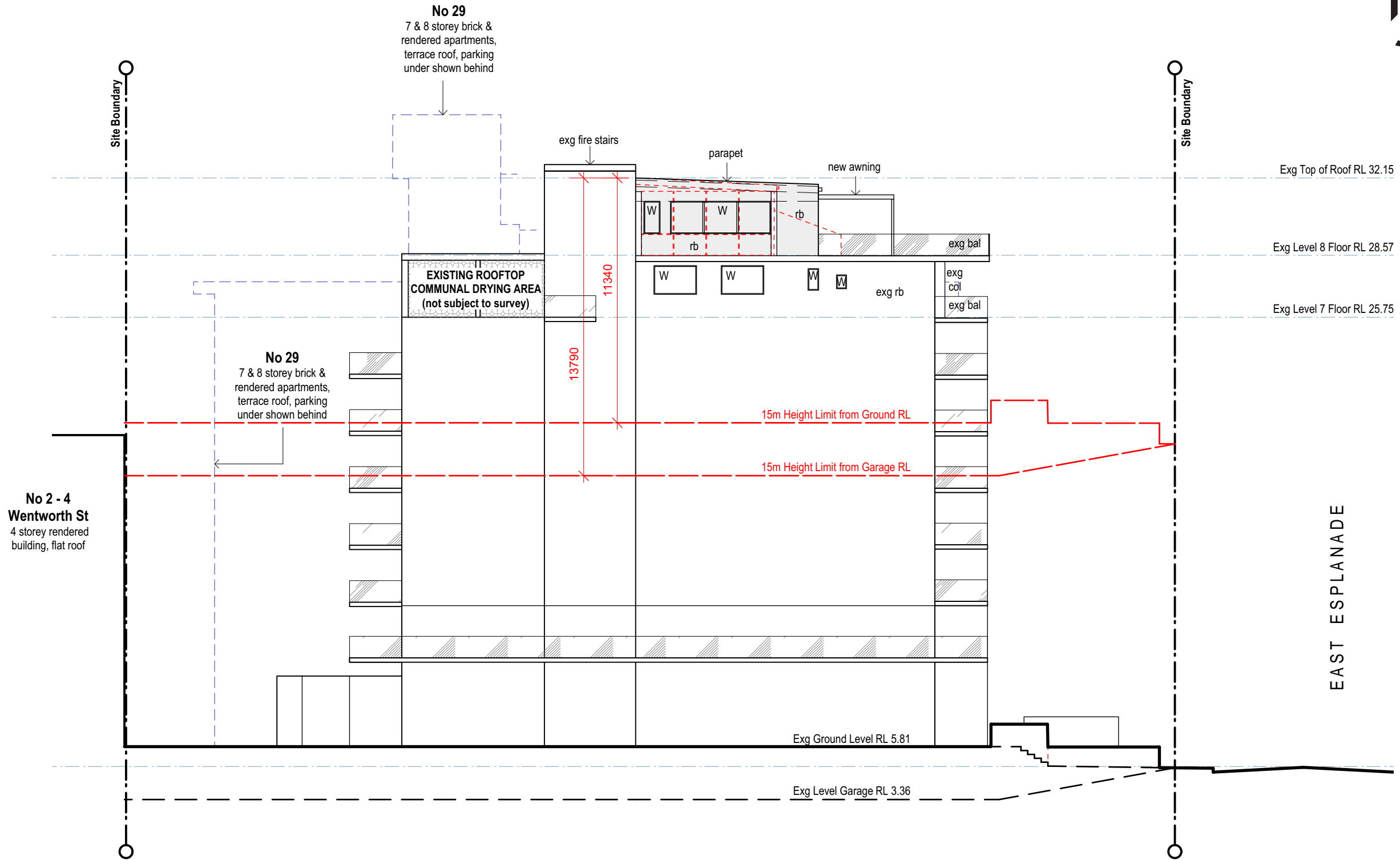
DOCUMENT TITLE
**Proposed South- West Elevation
(Street View)**

DOCUMENT NUMBER REVISION

DA 09 **A**

SCALE 1:200 @ A3

JOB 21/008 DRAWN AH / VC



NORTH - WEST ELEVATION
1:200 @ A3

Notes:
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Rev Date Details
A 01/06/23 DEVELOPMENT APPLICATION ISSUE

Details Legend

	existing walls
	existing to be demolished
	new walls
	new works

Abbreviations

bal	balustrade	ps	privacy screen
ct	ceramic floor tile	rb	rendered brickwork
cpt	carpet	rv	roof vent
DP	downpipe	SK	skylight
exg	existing	tfb	timber floor boards
lc	lightweight cladding	W #	window #
mdr	metal deck roof		
rt	roof tile		

ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

DOCUMENT TITLE
Proposed North - West Elevation

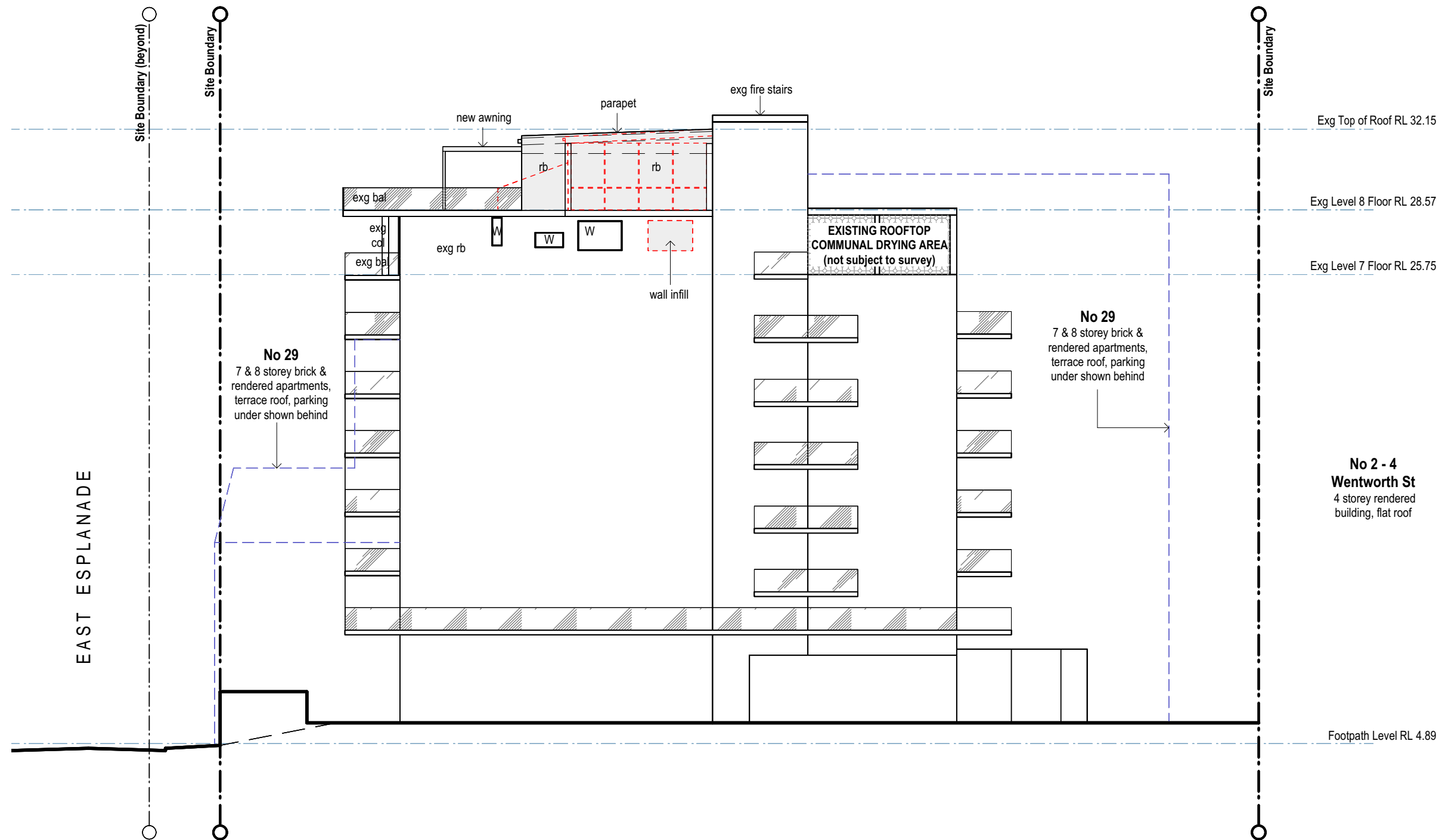
DOCUMENT NUMBER REVISION

DA 10

SCALE 1:200 @ A3

JOB 21/008 DRAWN AH / VC

A



SOUTH - EAST ELEVATION
1:200 @ A3

Notes:
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Rev Date Details
A 01/06/23 DEVELOPMENT APPLICATION ISSUE

Details Legend

	existing walls
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	new walls
	new works

Abbreviations

bal	balustrade		
ct	ceramic floor tile		
cpt	carpet	ps	privacy screen
DP	downpipe	rb	rendered brickwork
exg	existing	rv	roof vent
lc	lightweight cladding	SK	skylight
mdr	metal deck roof	tfb	timber floor boards
rt	roof tile	W #	window #

ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

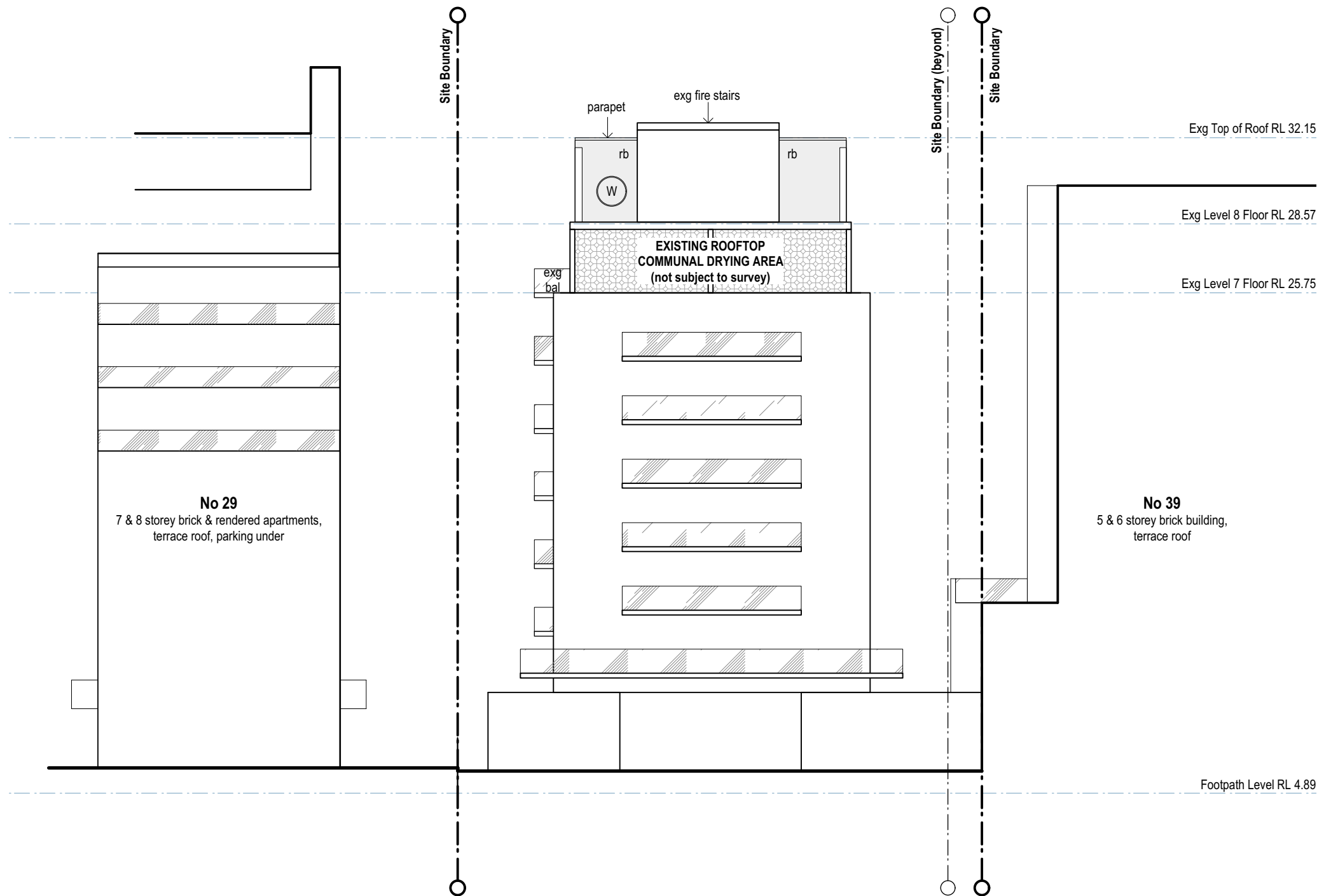
PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

DOCUMENT TITLE
Proposed South - East Elevation

DOCUMENT NUMBER REVISION
DA 11 **A**

SCALE 1:200 @ A3
JOB 21/008 DRAWN AH / VC



NORTH - EAST ELEVATION
1:200 @ A3

Notes:
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Rev Date Details
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Details Legend

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cpt	carpet	rv	roof vent
DP	downpipe	SK	skylight
exg	existing	tfb	timber floor boards
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ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

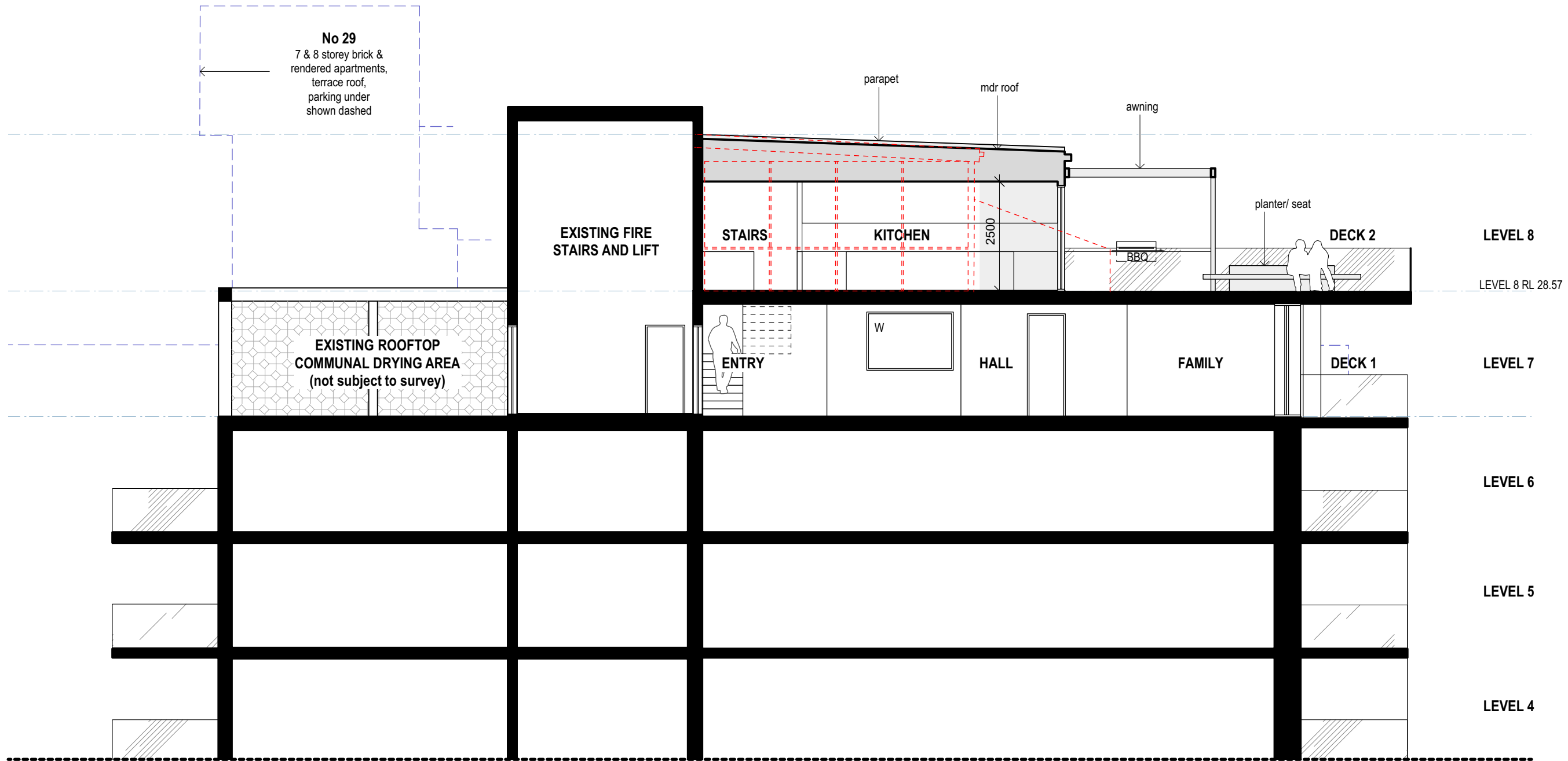
DOCUMENT TITLE
Proposed North - East Elevation

DOCUMENT NUMBER REVISION

DA 12 **A**

SCALE 1:200 @ A3

JOB 21/008 DRAWN AH / VC



SECTION A - A
1:100 @ A3

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cpt	carpet	rv	roof vent
DP	downpipe	SK	skylight
exg	existing	tfb	timber floor boards
lc	lightweight cladding	W #	window #
mdr	metal deck roof		
rt	roof tile		

ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

DOCUMENT TITLE
Proposed Section A - A

DOCUMENT NUMBER REVISION
DA 13 **A**

SCALE 1:100 @ A3
JOB 21/008 DRAWN AH / VC

additional shadows caused
by proposal affecting
adjacent neighbours

Reduced Shadows
caused by Proposal

NOTE:
Context has been modelled from the
information provided in the site survey.

**Hobbs
Jamieson** ARCHITECTURE



9am existing
21st june winter solstice



12pm existing
21st june winter solstice



3pm existing
21st june winter solstice



9am proposed
21st june winter solstice
no change to
neighbours



12pm proposed
21st june winter solstice
no change to
neighbours



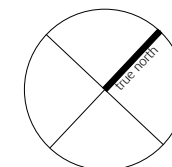
3pm proposed
21st june winter solstice

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Rev Date Details
A 01/06/23 DEVELOPMENT APPLICATION ISSUE



ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

DOCUMENT TITLE
Shadow Diagrams

DOCUMENT NUMBER **REVISION**

DA 14

SCALE 1:100 @ A3

JOB 21/008 **DRAWN** AH / VC

File Name: 21/008.DASet.vwx

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additional shadows caused
by proposal affecting
adjacent neighbours

Reduced Shadows
caused by Proposal

NOTE:
Context has been modelled from the
information provided in the site survey.

**Hobbs
Jamieson** ARCHITECTURE



9am existing
21st june winter solstice



12pm existing
21st june winter solstice



3pm existing
21st june winter solstice



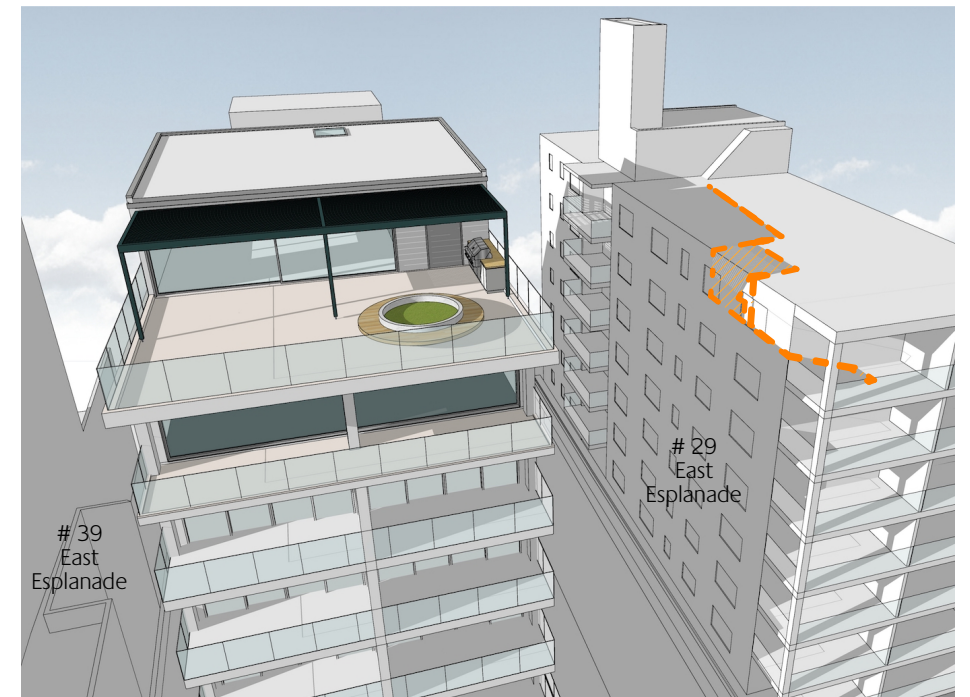
no change to
neighbours

9am proposed
21st june winter solstice



no change to
neighbours

12pm proposed
21st june winter solstice



3pm proposed
21st june winter solstice

Notes:
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Rev	Date	Details
A	01/06/23	DEVELOPMENT APPLICATION ISSUE

ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

DOCUMENT TITLE
Shadow Diagrams - Elevational

DOCUMENT NUMBER	REVISION
DA 15	A

SCALE	NTS
JOB	21/008
DRAWN	AH / VC

Proposed Schedule of
External Materials & Finishes

- 1. Prefinished Metal Roof Sheetting
Colour: standard Colorbond (medium range)
- 2. Existing glass balustrade (to be retained)
- 3. Rendered and painted brickwork to match existing
Finish: Dulux Paint
Colour: to match existing (TBC)
- 4. Face Brickwork
- 5. New aluminium framed external windows and doors
Finish: White - to match existing
- 6. New skylight
- 7. New awning structure
Colour: (TBC)



EXTERNAL FINISHES - FRONT VIEW

Notes:
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ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

DOCUMENT TITLE
**Proposed External Finishes
Front**

DOCUMENT NUMBER REVISION
DA 16 **A**

SCALE NTS
JOB 21/008 DRAWN AH / VC

Proposed Schedule of
External Materials & Finishes

- 1. Prefinished Metal Roof Sheetting
Colour: standard Colorbond (medium range)
- 2. Existing glass balustrade (to be retained)
- 3. Rendered and painted brickwork to match existing
Finish: Dulux Paint
Colour: to match existing (TBC)
- 4. Face Brickwork
- 5. New aluminium framed external windows and doors
Finish: White - to match existing
- 6. New skylight
- 7. New awning structure
Colour: (TBC)



EXTERNAL FINISHES - REAR VIEW

Notes:
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Rev Date Details
A 01/06/23 DEVELOPMENT APPLICATION ISSUE

ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

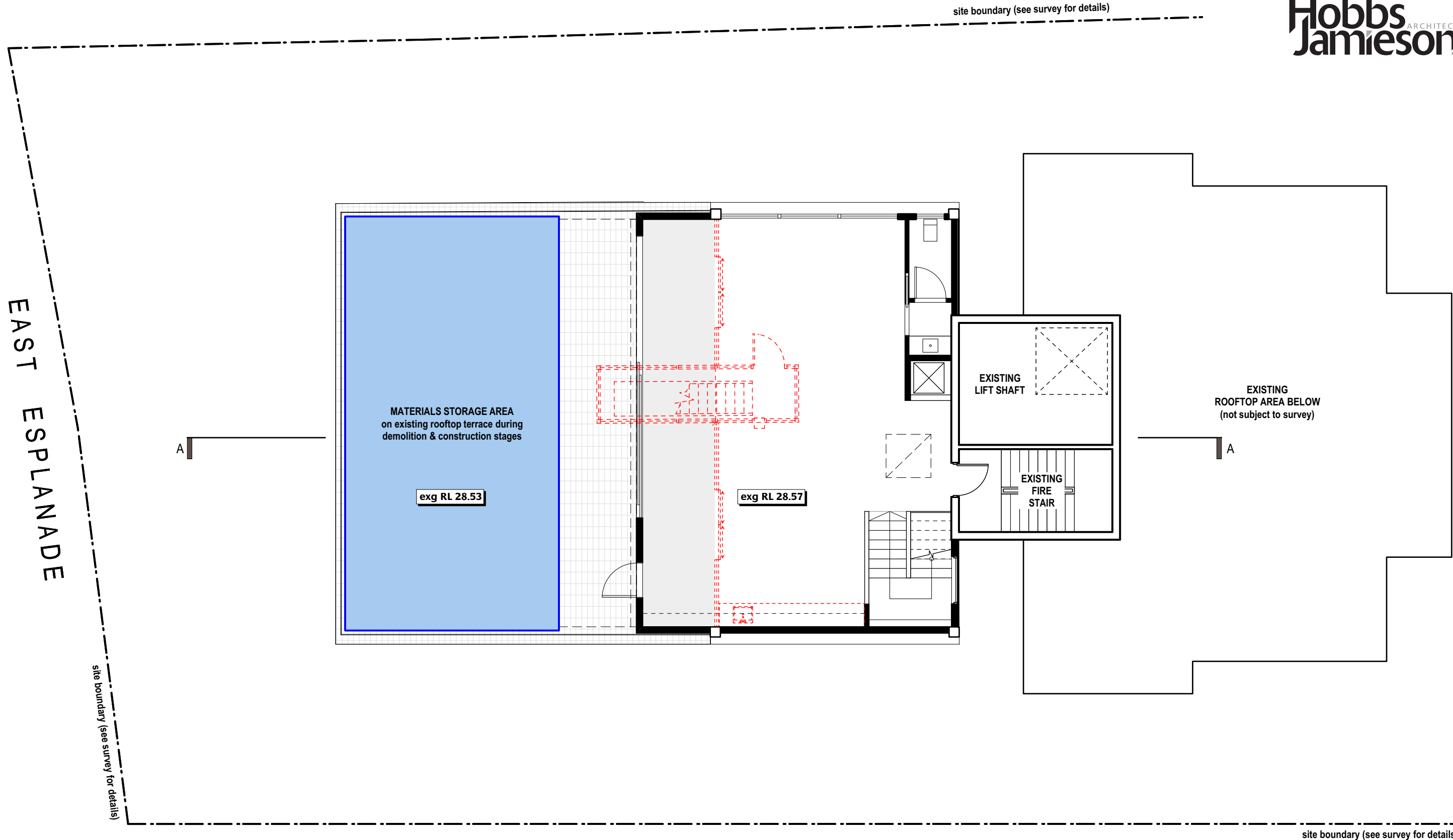
DOCUMENT TITLE
**Proposed External Finishes
Rear**

DOCUMENT NUMBER REVISION

DA 17 **A**

SCALE NTS

JOB 21/008 DRAWN AH / VC



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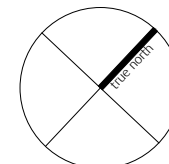
Rev	Date	Details
A	01/06/23	DEVELOPMENT APPLICATION ISSUE

Details Legend

	existing walls
	existing to be demolished
	new walls
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Abbreviations

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ALTERATIONS & ADDITIONS
Unit 25, 37-38 East Esplanade Manly NSW
Lot 25 Sec SP 3035

PROJECT STAGE
Development Application

CLIENT
Graeme MacLaren

DOCUMENT TITLE
Waste Management Plan

DOCUMENT NUMBER REVISION

DA 18

SCALE 1:100 @ A3

JOB 21/008 DRAWN AH / VC