

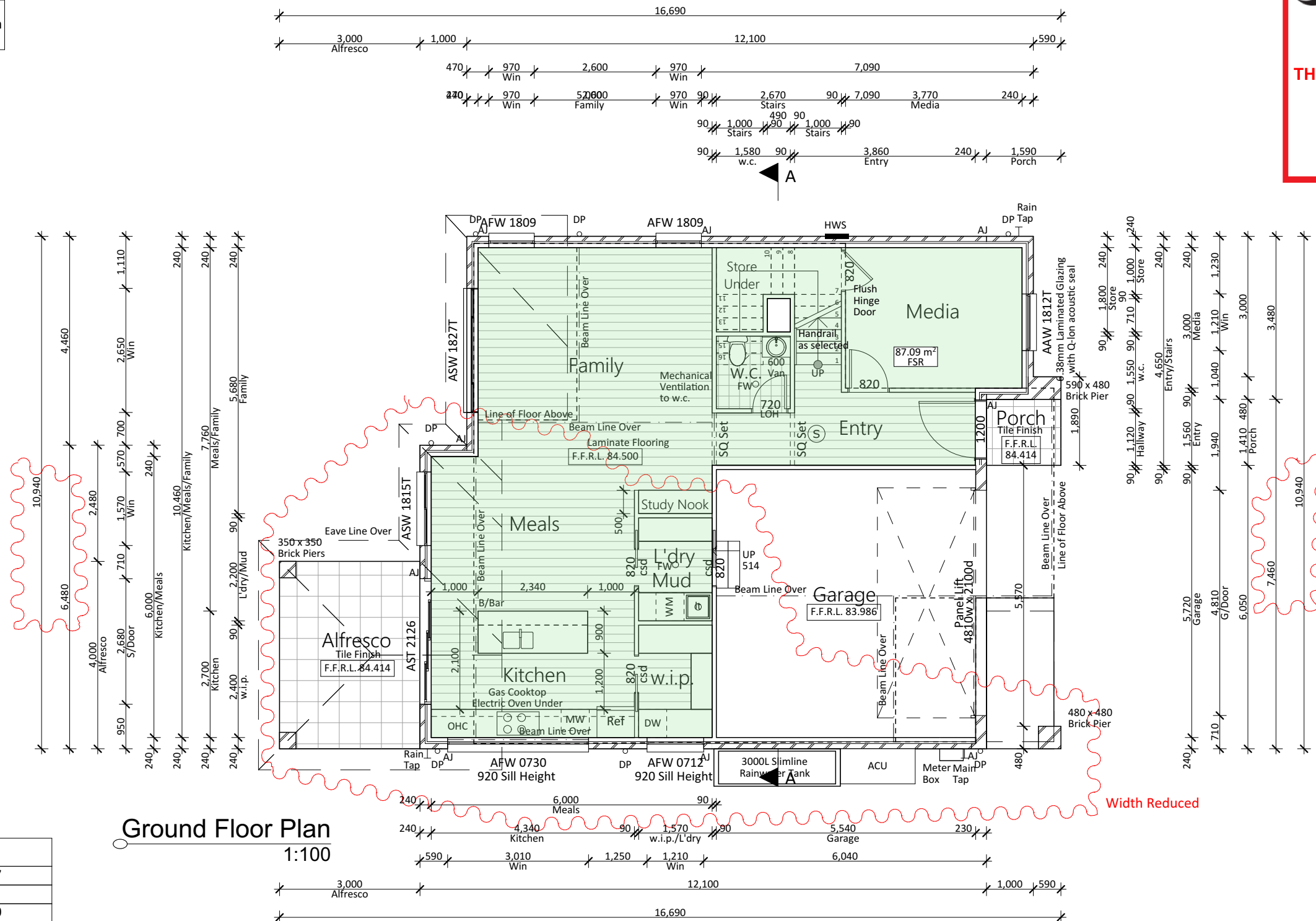
**Note:**  
2,340 high internal doors

**Note:**  
R4.1 Ceiling Insulation  
R2.5 Wall Insulation



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/0129**



**Ground Floor Plan**  
1:100

| Floor Area (m2) |                  |
|-----------------|------------------|
| Living          | 98.47            |
| Balcony         | 4.77             |
| Alfresco        | 12.00            |
| Garage          | 35.45            |
| Upper Living    | 102.42           |
|                 | <b>253.11 m²</b> |

| Legend:                     |                           |
|-----------------------------|---------------------------|
| ACU - Air Conditioning Unit | OBS - Obscure             |
| AJ - Articulation Joint     | OHC - Over Head Cupboard  |
| B/Bar - Breakfast Bar       | P - Pantry                |
| DP - Downpipe               | R - Robe                  |
| DW - Dishwasher             | RHS - Rolled Hollow Steel |
| Ens - Ensuite               | S - Smoke Alarm           |
| F/P - Fire Place            | Shr - Shower              |
| FW - Floor Waste            | TR - Towel Rail           |
| HWS - Hot Water System      | Van - Vanity              |
| L - Linen                   | w.i.l. - Walk in Linen    |
| LC - Laundry Chute          | w.i.r. - Walk in Robe     |
| LOH - Lift off Hinge        | w.i.p. - Walk in Pantry   |
| LT - Laundry Tub            | w.c. - Wash Closet        |
| MH - Manhole                | WM - Washing Machine      |
| MW - Microwave Oven         |                           |

issue: M drawing: 20225-12 15-07-21 lot: 1  
sheet: 3/16 paper: A3 dp: 1125216

note: all works to be carried out in conjunction with the construction notes on sheet 2

Proposed Residence  
#107 Frenchs Forest Road, Seaforth  
Icon Job Number: J0/818

**ACCURATE**  
design & drafting  
info@accuratedesign.com.au 02 4647 2552  
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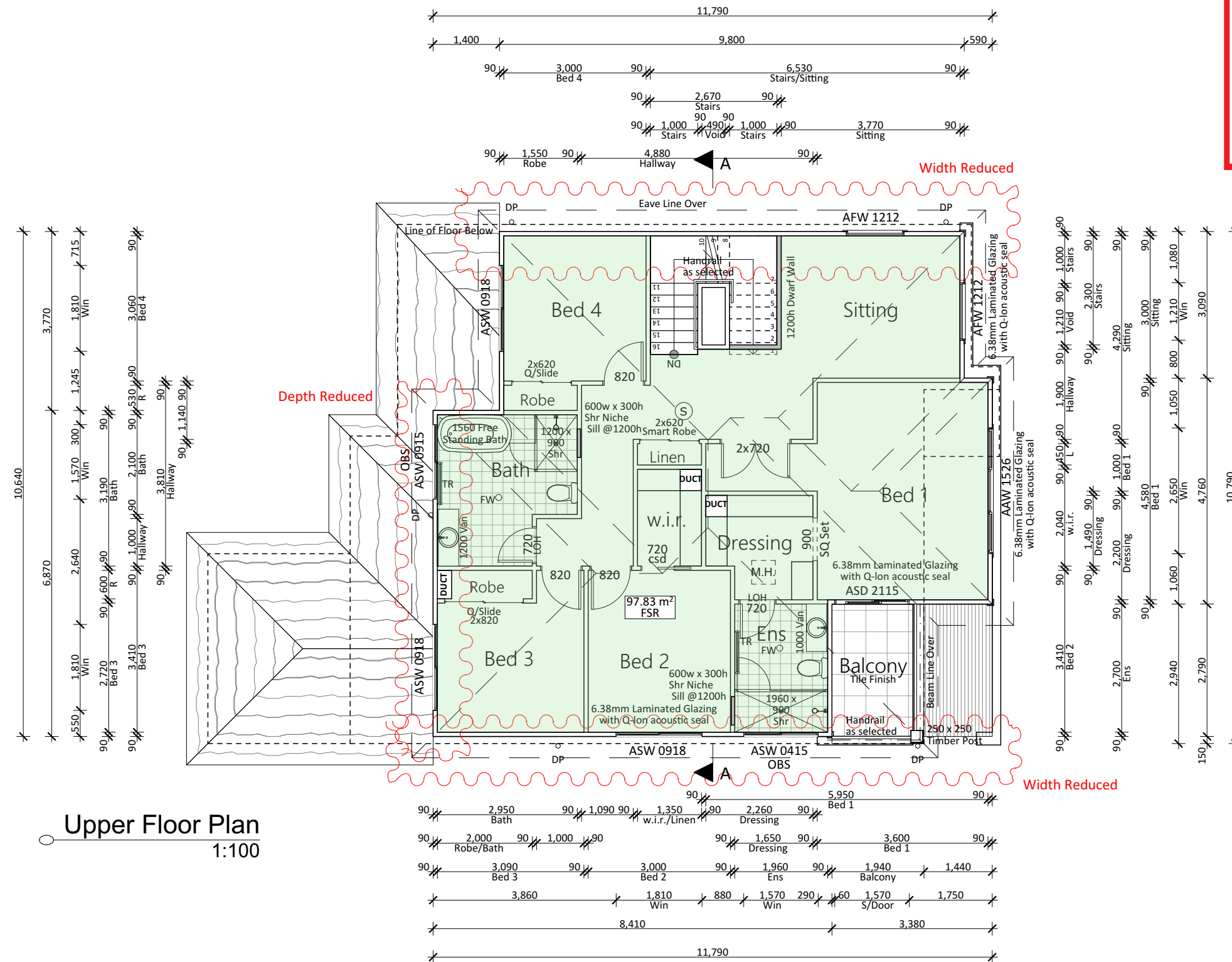
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**DA2021/0129**



**Upper Floor Plan**  
1:100

| Floor Area (m2) |                  |
|-----------------|------------------|
| Living          | 98.47            |
| Balcony         | 4.77             |
| Alfresco        | 12.00            |
| Garage          | 35.45            |
| Upper Living    | 102.42           |
|                 | <b>253.11 m²</b> |

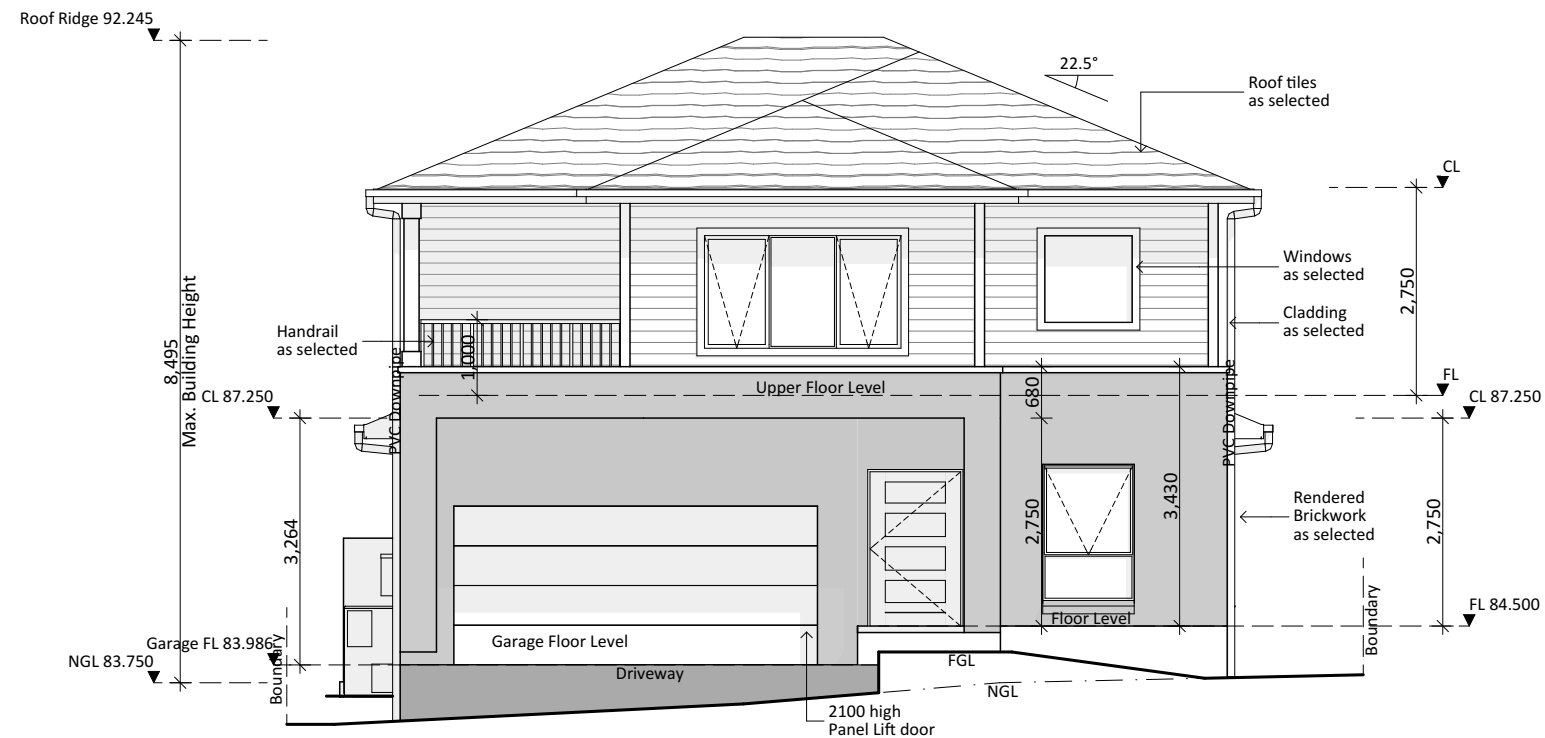
issue: **M** drawing: 20225-12 date: 15-07-21 lot: 1  
sheet: 4/16 paper: A3 dp: 1125216

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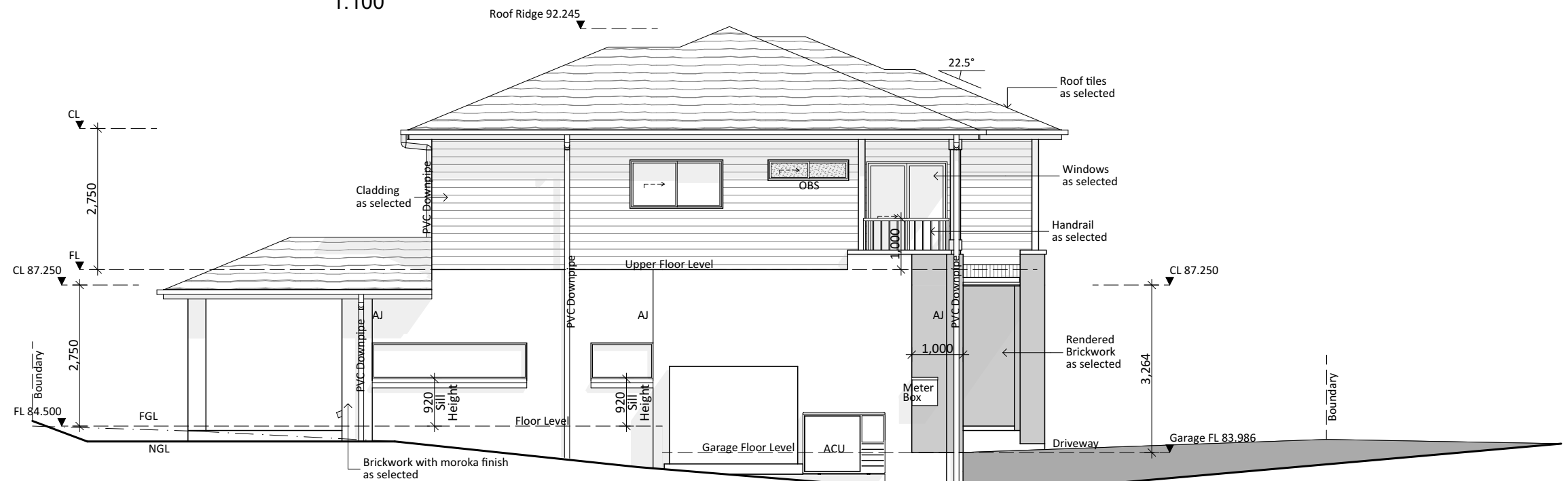
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**Legend:**  
ACU - Air Conditioning Unit  
AJ - Articulation Joint  
CL - Ceiling Level  
FGL - Finish Ground Line  
FL - Floor Level  
HWS - Hot Water System  
NGL - Natural Ground Line  
OBS - Obscure  
DP - Downpipe  
RW - Retaining Wall



Front Elevation  
1:100



Side Elevation  
1:100



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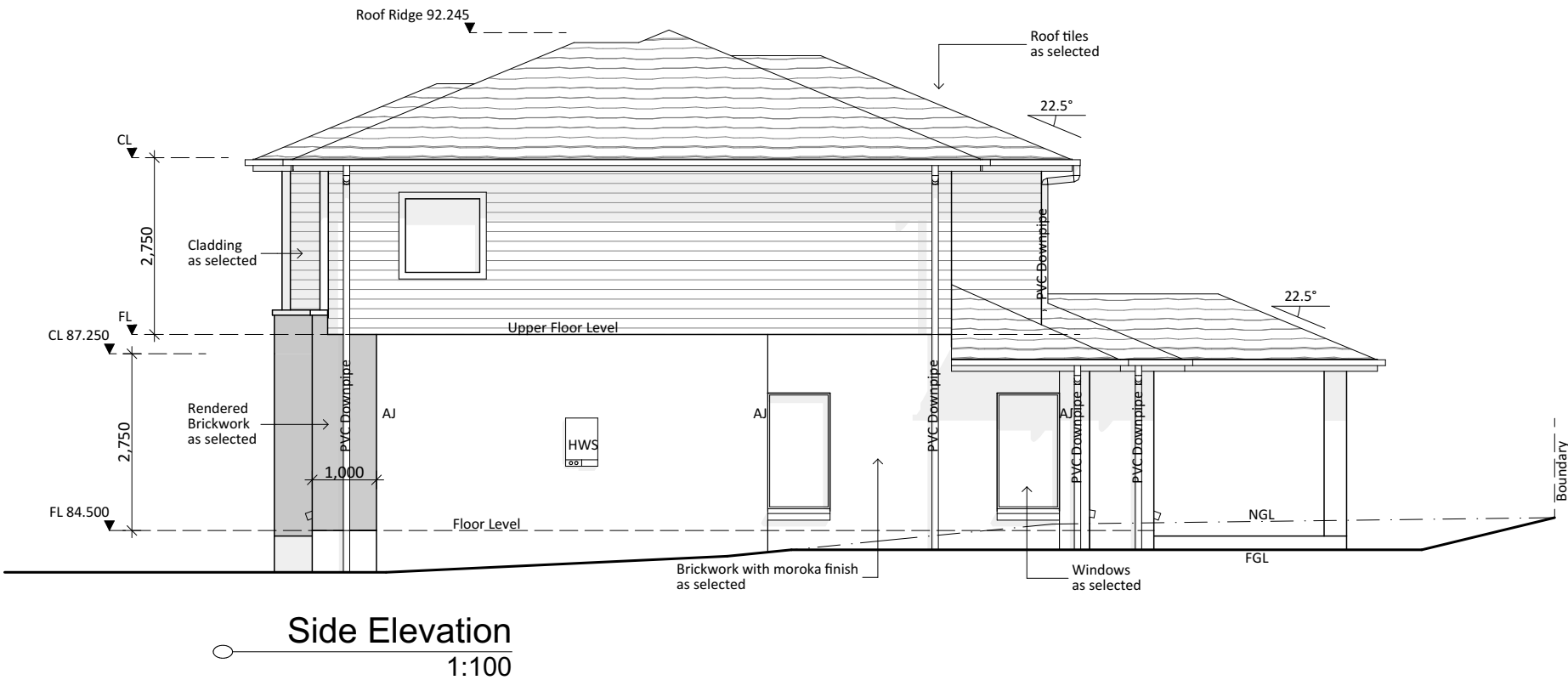
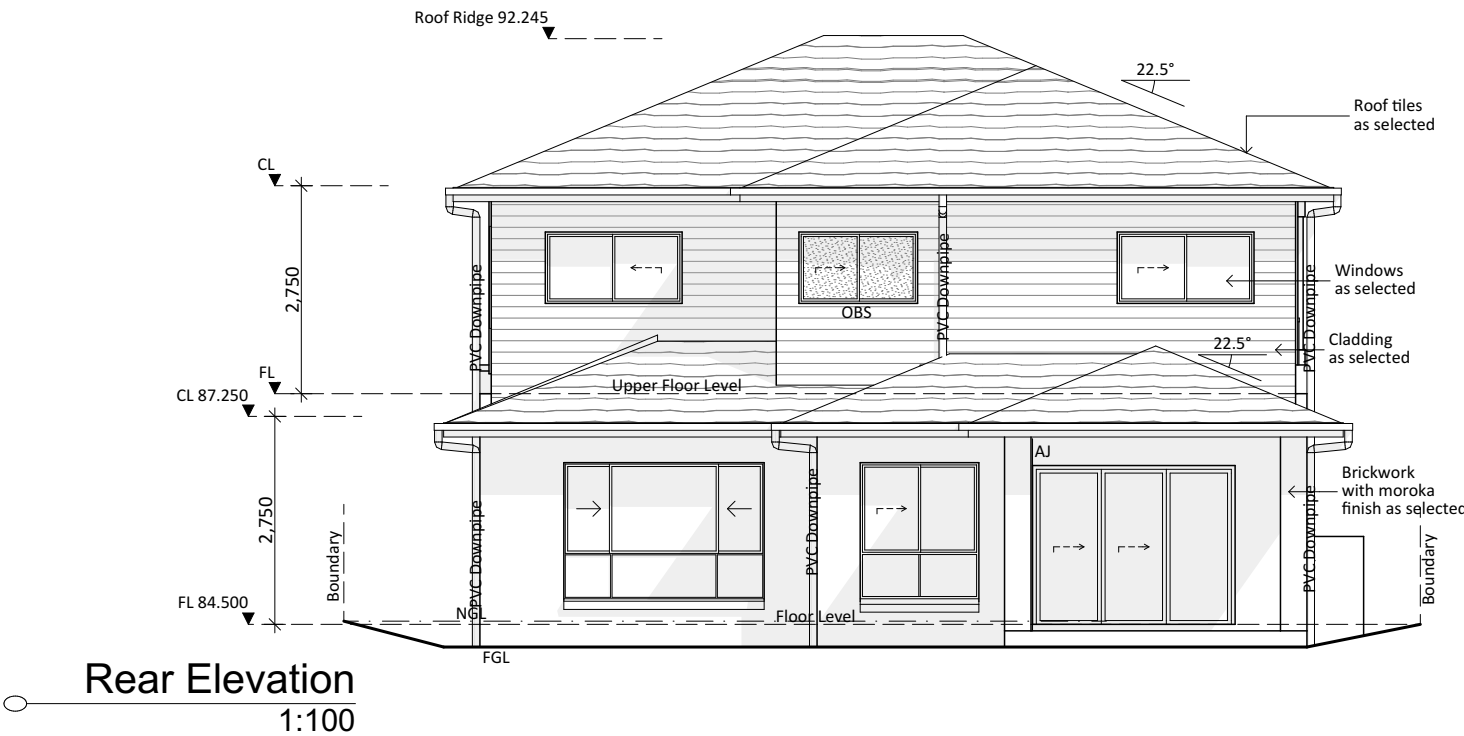
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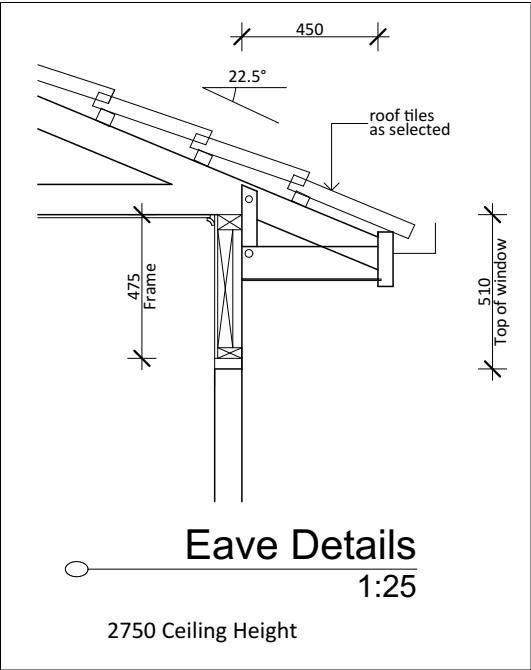
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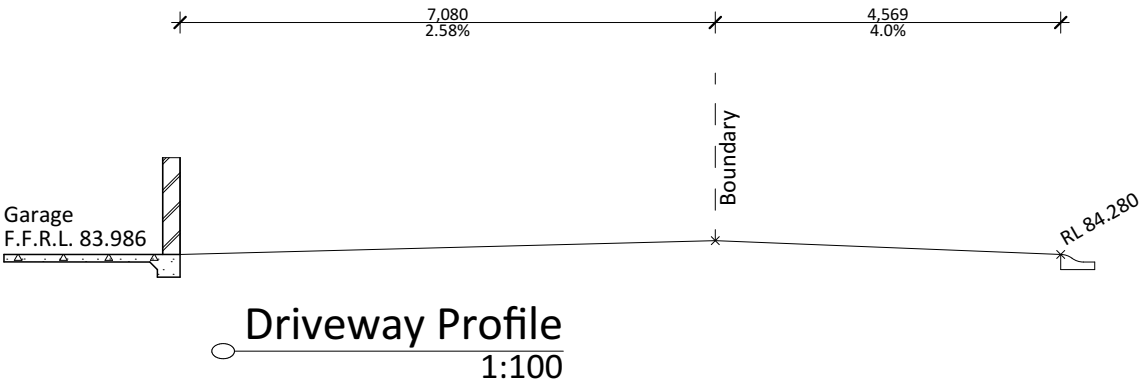
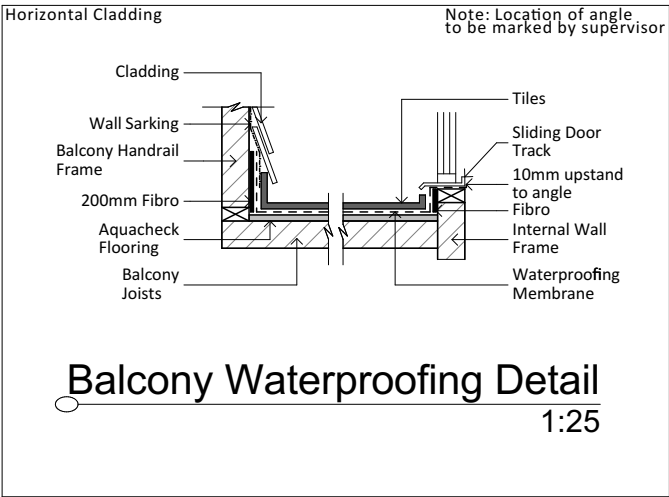
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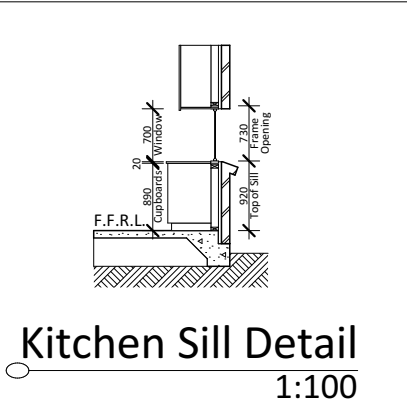
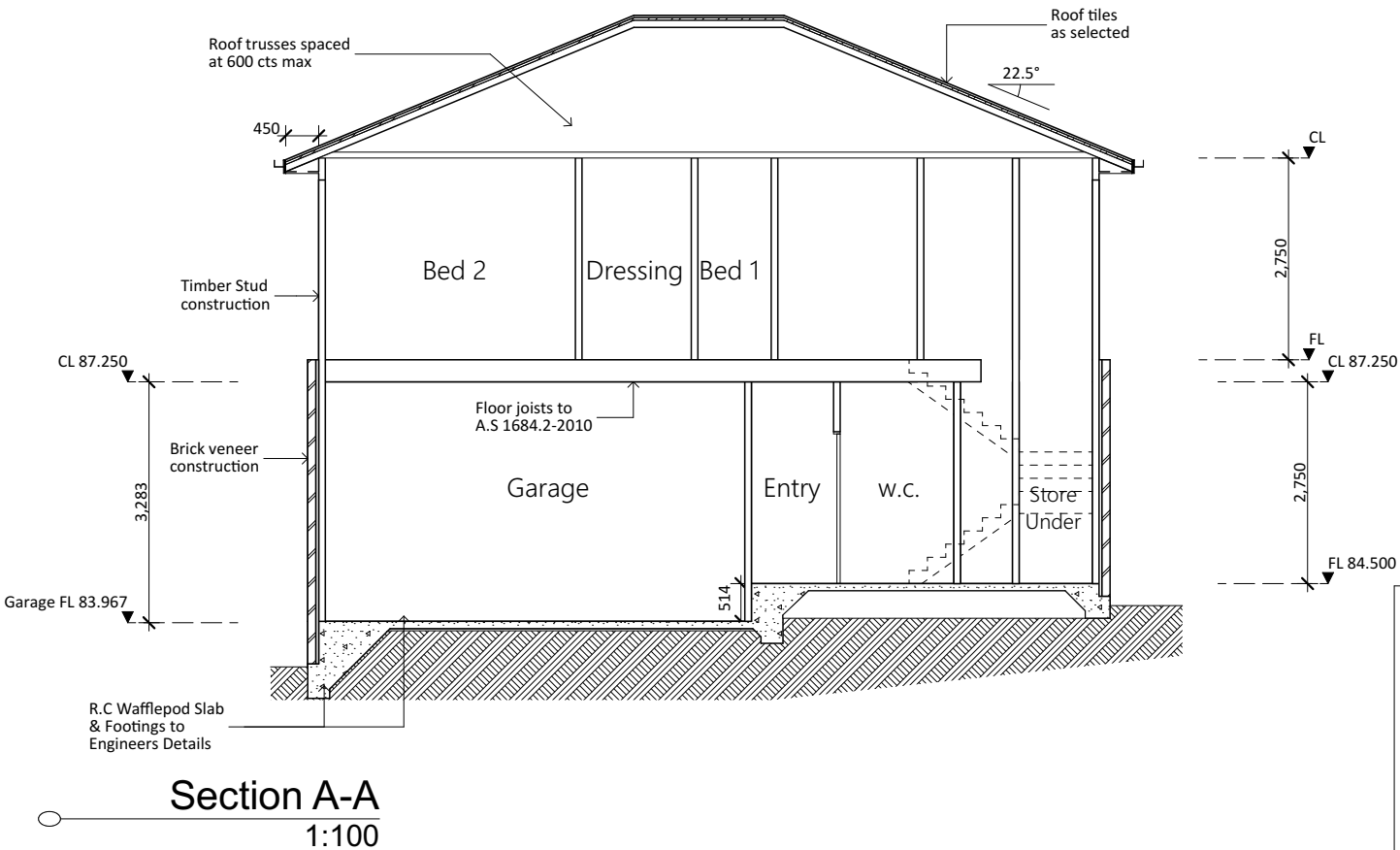


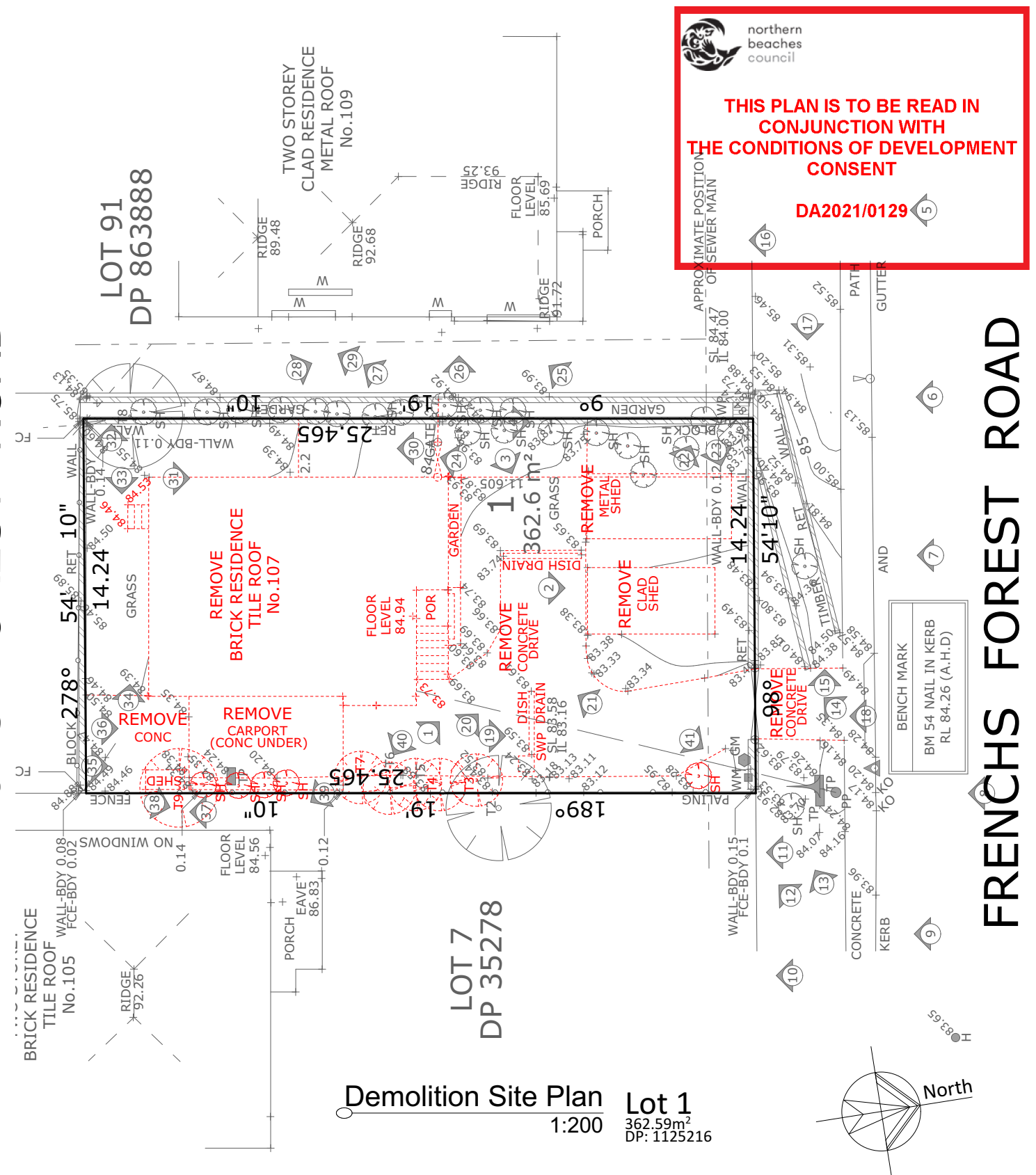
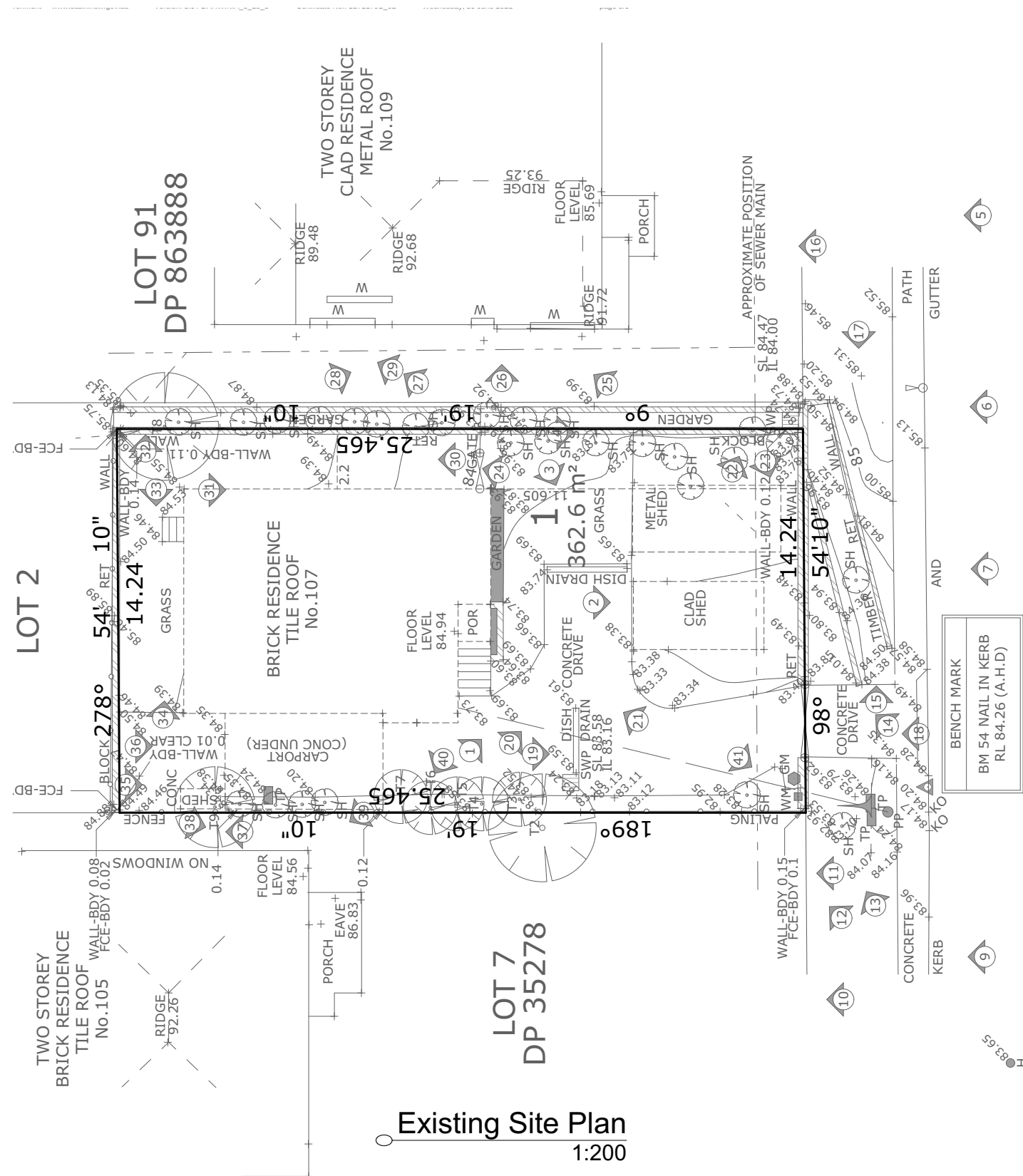


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**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
**DA2021/0129**



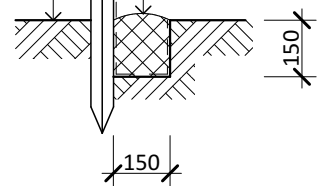


Steel star pickets or hardwood stakes driven into solid earth at 3m cntrs

Geotextile filter fabric fixed to post to manufact. specifications

Undisturbed area

Back fill and compact



#### Soil Erosion and Sediment Control Fence

1. Siltation fencing is to be placed as shown on the site plan as so to prevent silt run off to any adjoining property or to the street. This measure is to be placed prior to any excavation work beginning and is to be removed only when the sites surface as been stabalized, i.e. paved, landscaped or turfed

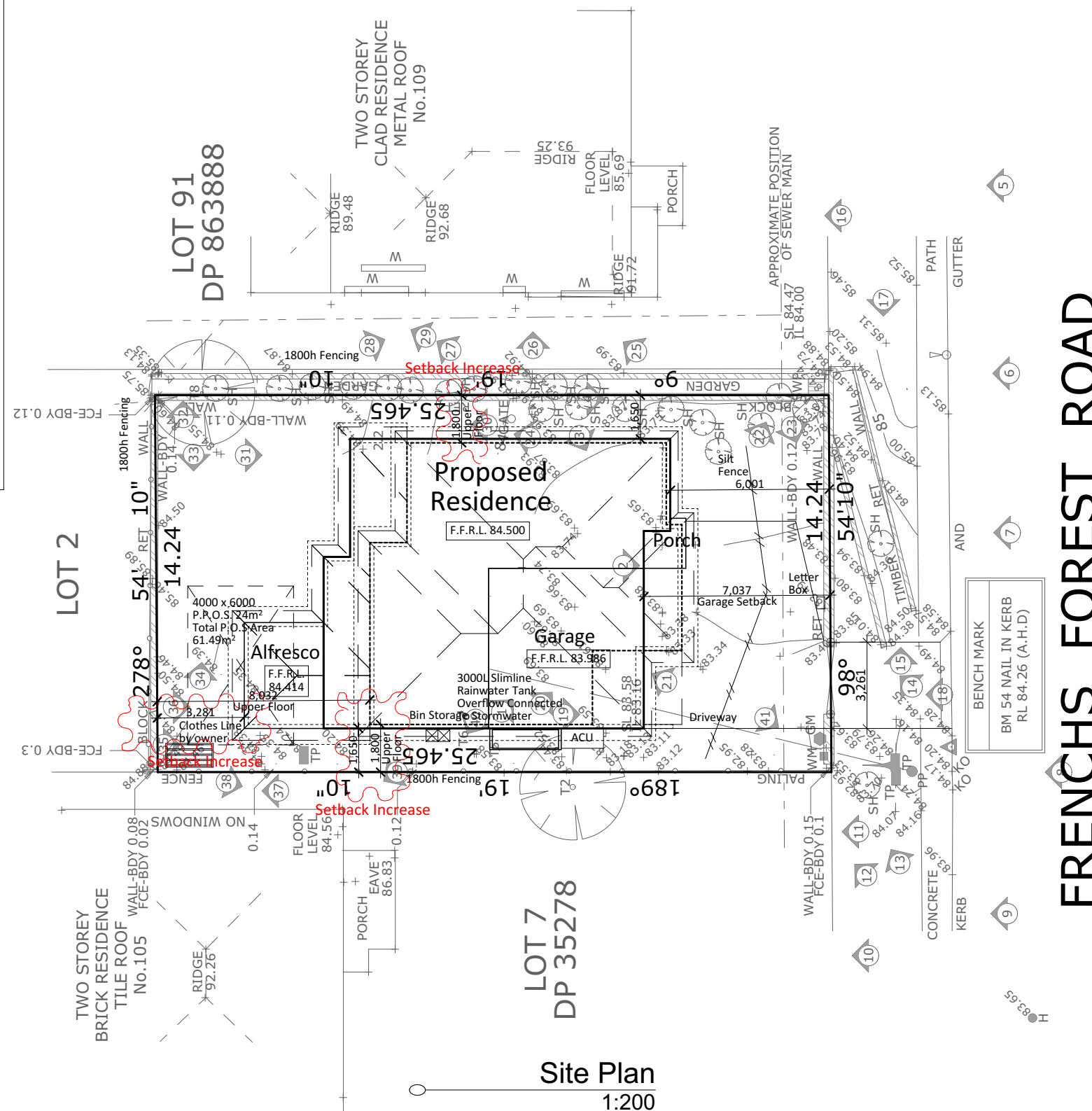
2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction.

Typical Silt Fence  
1:20

#### Note:

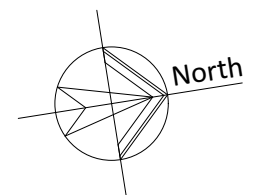
Landscape Area: 139.86m<sup>2</sup> - 38.57%  
Private Open Space: 61.49m<sup>2</sup>  
Open Space: 191.49m<sup>2</sup> - 52.81%  
Floor Space Ratio: 184.92m<sup>2</sup> - 50.99%

FSR Reduced



FRENCHS FOREST ROAD

Lot 1  
362.59m<sup>2</sup>  
DP: 1125216



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