

SITE AREA - 872.6m²

LEGEND FOR WORKING WITHIN THE SYDNEY WATER MAIN SEWER LINE

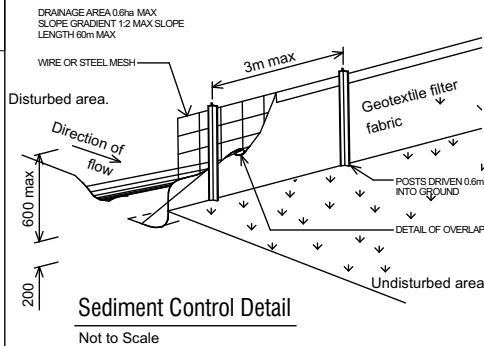
INTERNAL SEWER LINE
RUNNING FROM THE EXISTING RESIDENCE INTO THE MAINS

SYDNEY WATER MAINS SEWER LINE
TAKEN FROM SEWER PEGOUT REPORT (WHERE AVAILABLE)

ZONE OF INFLUENCE (ZOI)-
ANY WORKS WITHIN THE ZOI WILL REQUIRE ADDITIONAL PIERING OR
ENCASING, AS WELL AS ADDITIONAL APPROVALS & INSPECTIONS BY A
WATER SERVICES COORDINATOR

BOUNDARY LINE

FENCE LOCATION



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2023/1368

STORMWATER NOTE:

PLEASE NOTE THAT UNLESS INCLUDED IN OUR TENDER, GFS WILL
CONNECT ALL THE ROOF WATER FROM THE GRANNY FLAT ROOF ONLY AS
PER THE HYDRAULIC ENGINEERS PLANS.
IF THE OWNER IS UNDERTAKING THEIR OWN LANDSCAPING WORKS AFTER
HANDOVER, IT IS THE OWNER'S RESPONSIBILITY TO ENSURE ALL
SURROUNDING GROUND WATER IS COLLECTED AND DRAINED AWAY FROM
THE GRANNY FLAT.
IT IS HIGHLY RECOMMENDED TO ENGAGE A REPUTABLE LANDSCAPER AND
INSTALL ADEQUATE DRAINAGE AROUND THE PERIMETER OF THE BUILDING
TO AVOID ANY WARRANTY ISSUES.
FOR MORE INFORMATION, PLEASE ASK YOUR PROJECT MANAGER DURING
CONSTRUCTION.

SITE INDUCTION NOTE:

BEFORE ENTERING THE SITE, PLEASE REVIEW AND MAKE YOURSELF
FAMILIAR WITH THE EMERGENCY CONTACTS, AND SITE INDUCTION
INFORMATION. IF YOU HAVE ANY TROUBLES UNDERSTANDING THE
INSTRUCTIONS, PLEASE CONTACT YOUR SITE SUPERVISOR BEFORE
ENTERING THE SITE.

IMPORTANT SURVEY NOTE:

PARCEL BOUNDARY DIMENSIONS, BEARINGS AND AREAS HAVE BEEN
ADOPTED FROM THE SUBJECT DEPOSITED PLAN AND HAVE NOT BEEN
INVESTIGATED. ANY BEARING, DISTANCE, AREA, SETBACK OR OTHER
DIMENSION MAY BE SUBJECT TO CHANGE WITH FURTHER INVESTIGATION
AND LODGEMENT OF A PLAN AT THE LAND TITLES OFFICE.

THEREFORE, AT TIME OF SITE PEGOUT BEFORE CONSTRUCTION WORKS
COMMENCE, THERE MAY BE SOME MINOR DISCREPANCIES WITH THE
SETBACKS BETWEEN BUILDINGS AS SHOWN ON THE SITE PLAN.

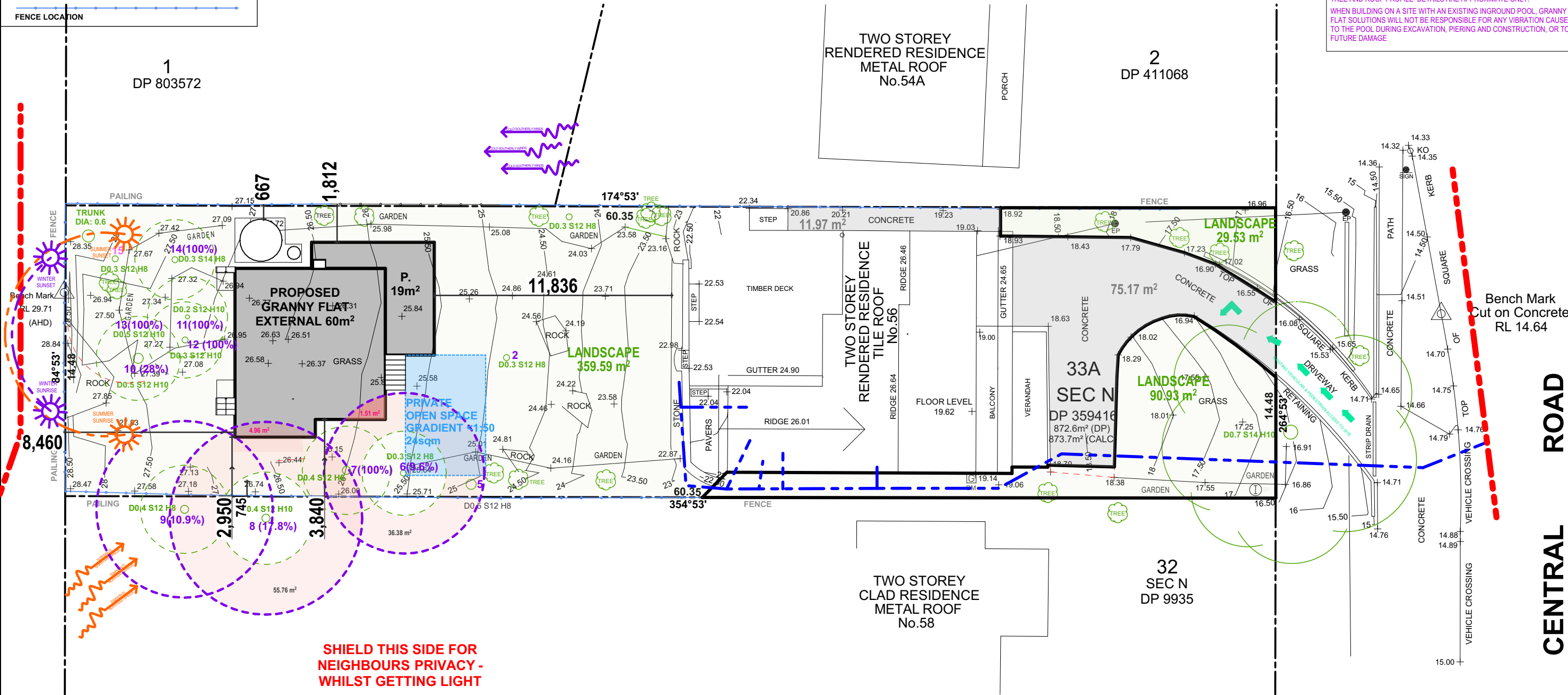
CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED
SPOT LEVELS ARE THE ONLY VALUES AT WHICH REDUCED LEVEL CAN BE
RELIED UPON. CONTOURS ARE DISPLAYED AT 1 METRE MAJOR AND 0.25
METRE MINOR INTERVALS.

SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE
APPARENT AT THE TIME OF SURVEY. IT IS STRONGLY ADVISED TO VISIT
'DIAL BEFORE YOU DIG' PRIOR TO ANY EXCAVATION OR CONSTRUCTION
AND VERIFY LOCATIONS WITH A SUITABLY QUALIFIED SERVICE LOCATOR
PRIOR TO ANY WORKS OR CRITICAL DESIGN.

IT IS STRONGLY ADVISED TO REVIEW AN UP TO DATE TITLE SEARCH AND
GIVE CAREFUL CONSIDERATION TO ALL ITEMS PRIOR TO ANY PLANNING OR
CONSTRUCTION.

TREE AND ROOF PROFILE DETAILS ARE APPROXIMATE ONLY.

WHEN BUILDING ON A SITE WITH AN EXISTING INGROUND POOL, GRANNY
FLAT SOLUTIONS WILL NOT BE RESPONSIBLE FOR ANY VIBRATION CAUSED
TO THE POOL DURING EXCAVATION, PIERING AND CONSTRUCTION, OR TO
FUTURE DAMAGE



SERVICES NOTE:

SERVICES/EXTERNAL CONDUITS WILL MOST LIKELY BE LOCATED NEAR THE
WATER FLOW READER. CONDUITS PROTRUDING FROM THE GROUND IS
COMMON AND MAY BE VISIBLE.
THE PROJECT MANAGER WILL ADVISE IF SERVICES/EXTERNAL CONDUITS
WILL NEED TO BE LOCATED ELSEWHERE.

www.dialbeforeyoudig.com.au



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PRIOR TO WORKS COMMENCING.

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4/10/2023	AM	k	PRELIMINARY CONCEPT		220296
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CLIENT DETAILS

56 Central Road, Avalon Beach

Rob Raine & Jennifer Sharleen Raine

LOT 33A Sec N - DP 359416

SITE ANALYSIS PLAN

DESIGN BY



90 PACIFIC HIGHWAY, WAITARA NSW 2077 // Ph: (02) 9481 7443

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STUD OPENING SIZE

ADD 60mm TO HEIGHT AND 50mm TO WIDTH OF ALL WINDOWS

FLYSCREEN NOTES

ALL FLYSCREEN FOR SLIDING DOORS TO HAVE MID BARS

GLAZING NOTES

ALL GLAZING TO COMPLY WITH AS1288 & BASIX CERTIFICATE.
ALL WINDOWS WILL HAVE A FIXED PANEL ON THE RIGHT AND OPENING PANEL ON THE LEFT, WHEN VIEWED FROM THE OUTSIDE, UNLESS REQUESTED OTHERWISE. SLIDING DOORS WILL OPEN IN DIRECTION AS SHOWN ON PLAN.

DIVIDING MULLIONS WILL BE REQUIRED ON LARGE WINDOWS, AND LOCATIONS ARE SUBJECT TO MANUFACTURERS SPECIFICATIONS.
PROVIDE MULLION LOCKS TO ALL WET AREA WINDOWS.

WINDOW FLASHING NOTES

ALL WINDOWS ON CLADDED WALLS, INCLUDING ACRYLIC RENDERED WALLS TO HAVE FLASHINGS ON ALL SIDES.

WINDOW SCHEDULE

W#	HEIGHT	WIDTH	FRAME	GLAZING	TYPE	REVEAL	OFFSET
W01	2,100	2,688	ALUMINIUM	CLEAR	STACKING DOOR	100mm	0
W02	2,100	1,810	ALUMINIUM	CLEAR	SLIDING DOOR	100mm	0
W03	600	1,810	ALUMINIUM	CLEAR	SLIDING	100mm	0
W04	2,100	1,810	ALUMINIUM	CLEAR	SLIDING DOOR	100mm	0
W05	600	610	ALUMINIUM	OBSCURE	SLIDING	100mm	0
W06	2,100	1,810	ALUMINIUM	CLEAR	SLIDING DOOR	100mm	0
W07	600	2,050	ALUMINIUM	CLEAR	SLIDING	100mm	0
W08	400	1,810	ALUMINIUM	CLEAR	SLIDING	100mm	0
W09	1,200	1,450	ALUMINIUM	CLEAR	SLIDING	100mm	0
W10	600	1,450	ALUMINIUM	CLEAR	FIXED	100mm	0
W11	600	2,050	ALUMINIUM	CLEAR	FIXED	100mm	0

← HI-LIGHT WINDOW

← HI-LIGHT WINDOW



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BAL RATING ON PAGE 1

MANHOLE NOTE

MANHOLE LOCATION IS APPROXIMATE AND SUBJECT TO CHANGE ON SITE

FLOOR FINISHES NOTES

PLEASE NOTE THAT THERE MAY BE A SMALL STEP WHEN THERE IS A CHANGE IN FLOOR FINISHES BETWEEN ROOMS

EXTERNAL DOOR WARRANTY

GRANNY FLAT SOLUTIONS CANNOT PROVIDE WARRANTY ON ENTRANCE DOORS IF THE COLOUR CHOSEN HAS A LIGHT REFLECTIVE VALUE (LRV) OF 50 OR BELOW (THESE COLOURS REPRESENT THE DARKER COLOURS IN THE PAINT SPECTRUM). THE MANUFACTURERS DO NOT WARRANT DOORS PAINTED IN DARK COLOURS AS THEY ABSORB MORE HEAT THAN COLOURS GREATER THAN 50 LRV RATING, CAUSING THEM TO WARP OR BEND. FURTHERMORE, THE MANUFACTURER'S WARRANTY IS ALSO VOID IF THE EXTERNAL DOOR IS NOT COVERED BY AT LEAST 1 METER WIDE ROOF / EAVE OVERHANG / PATIO, DUE TO THE DOOR HAVING DIRECT EXPOSURE TO WEATHER ELEMENTS (WIND, RAIN, SUN ETC.) WHICH MAY CAUSE THE DOOR TO SWELL, WARP OR BEND.



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SHEET DA 03

FLOOR PLAN

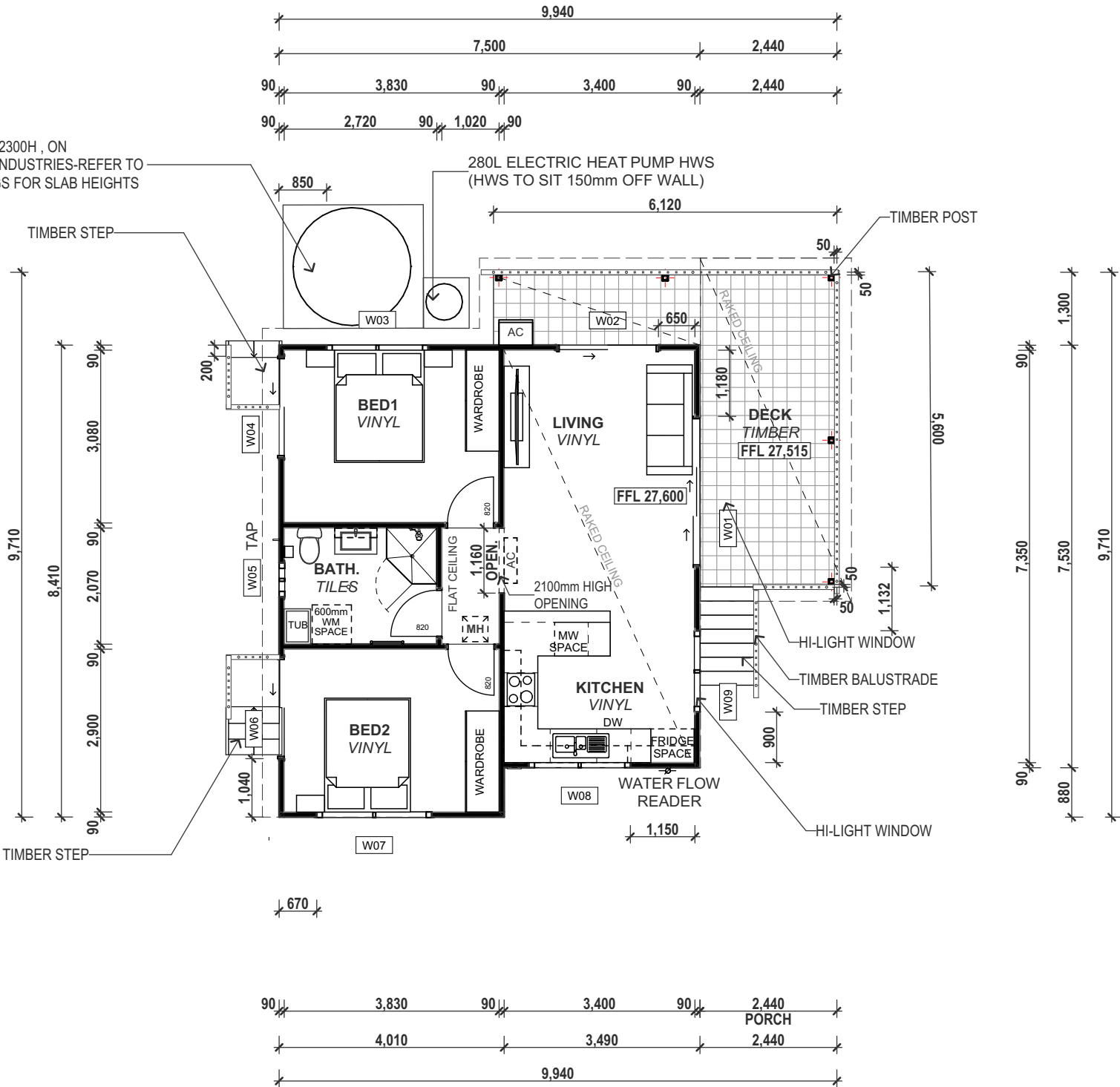
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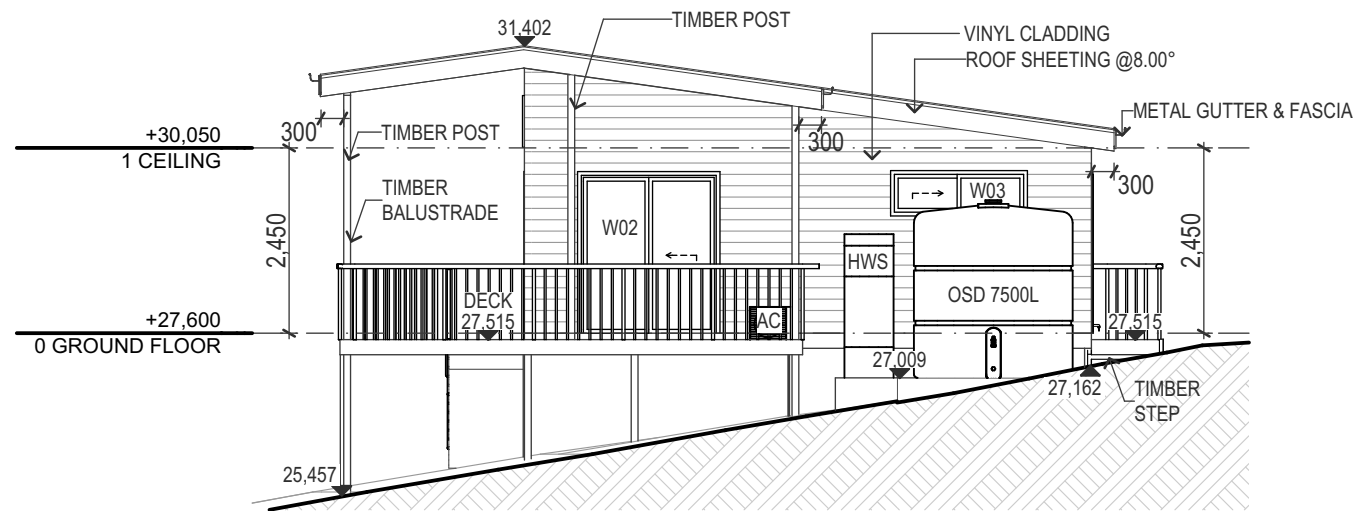


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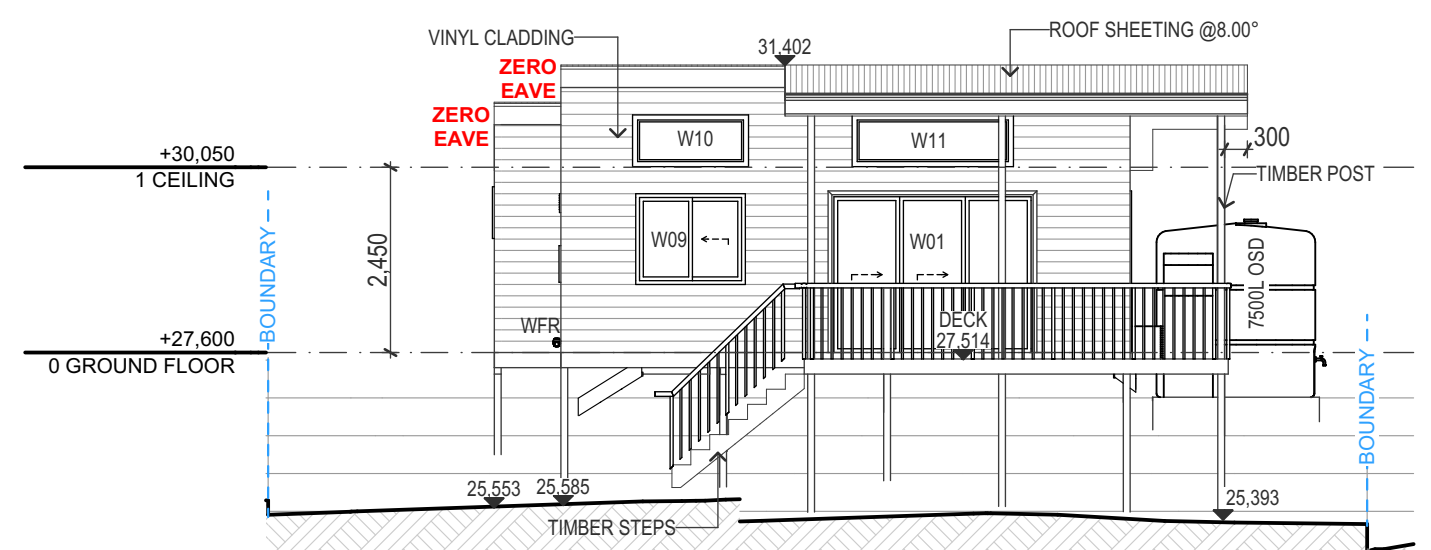
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7,500L ROUND OSD TANK 2100D X 2300H , ON
2200 X 3500 CONC SLAB BY POLY INDUSTRIES-REFER TO
HYDRAULIC ENGINEERS DRAWINGS FOR SLAB HEIGHTS

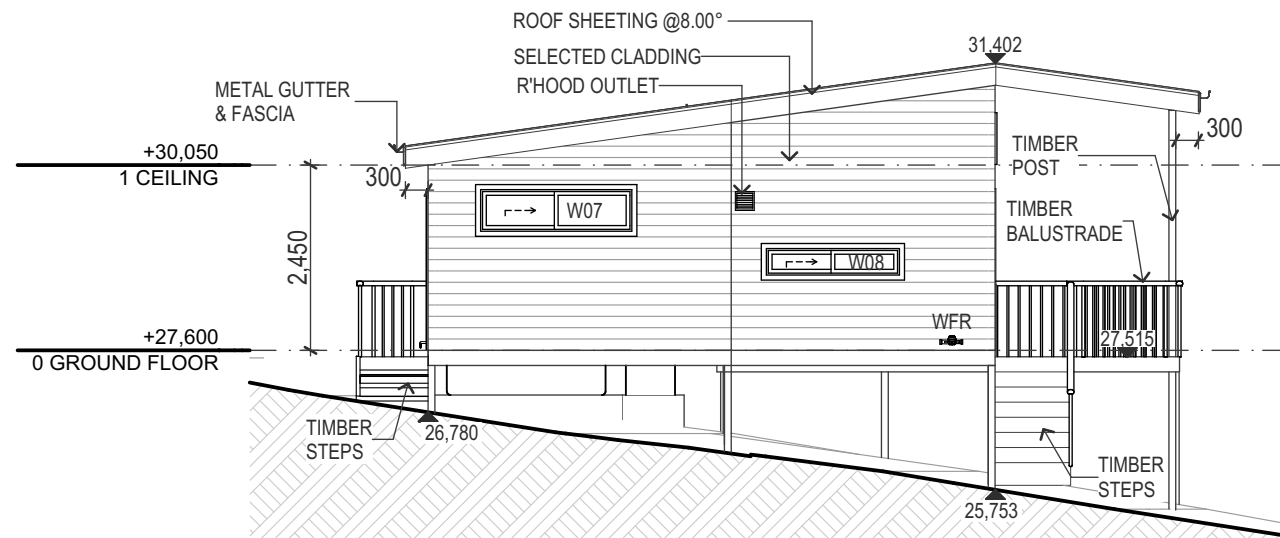




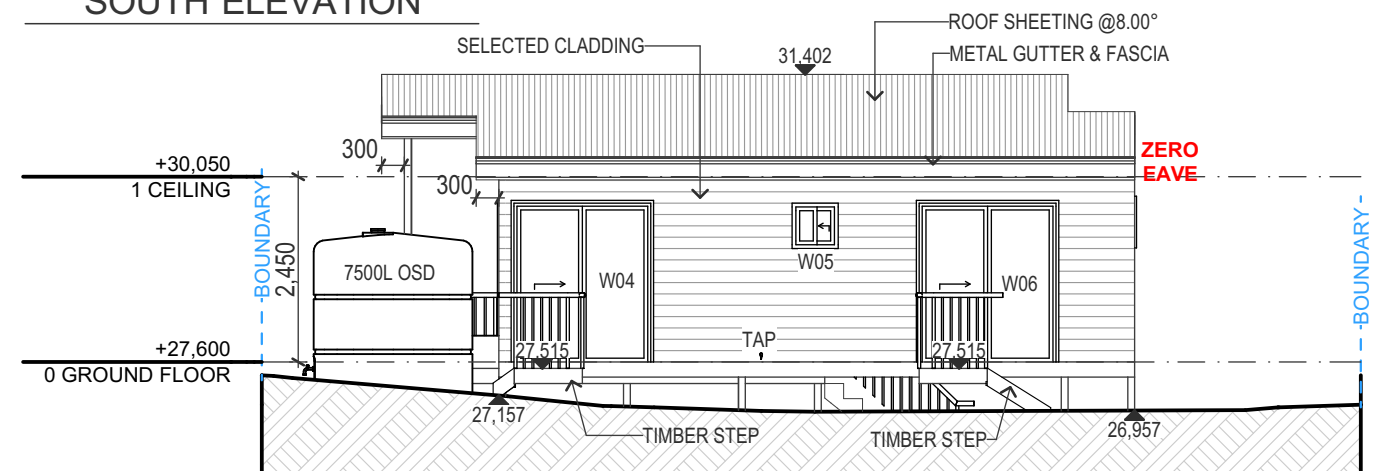
EAST ELEVATION



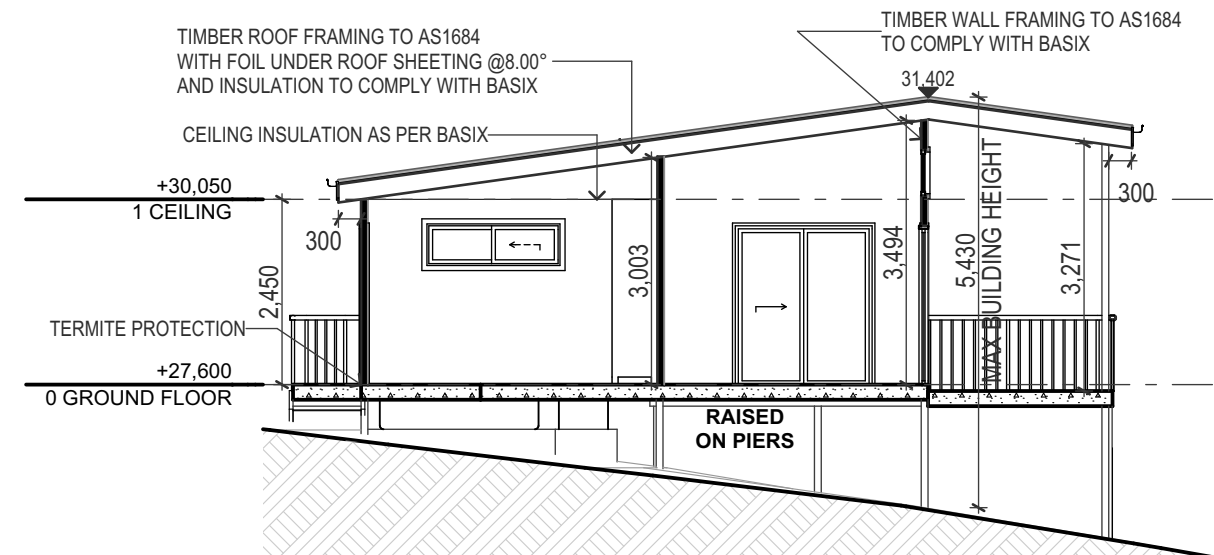
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



CROSS SECTION

 **northern beaches council**

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SITE BENCHING NOTES:

WHERE POSSIBLE/APPROPRIATE, EXISTING SOIL TO BE REUSED AS COMPACTED FILL TO AVOID ANY DROP EDGE BEAMS. IF EXCAVATED SOIL IS NOT APPROPRIATE FOR USE, DROP EDGE BEAMS OR ADDITIONAL IMPORTED SOIL MAY BE REQUIRED. PLEASE REFER TO YOUR TENDER VARIATION FOR ANY RELEVANT ALLOWANCES.

LANDSCAPING NOTE

UNLESS SPECIFIED IN YOUR CONTRACT, NO LANDSCAPING WORKS HAVE BEEN ALLOWED FOR AROUND THE BUILDING. AT COMPLETION OF LANDSCAPE WORKS, THE SLAB HEIGHT MUST REMAIN A MIN. OF 75mm ABOVE THE FINISHED LANDSCAPED LEVEL.

GUTTER & VALLEY NOTE

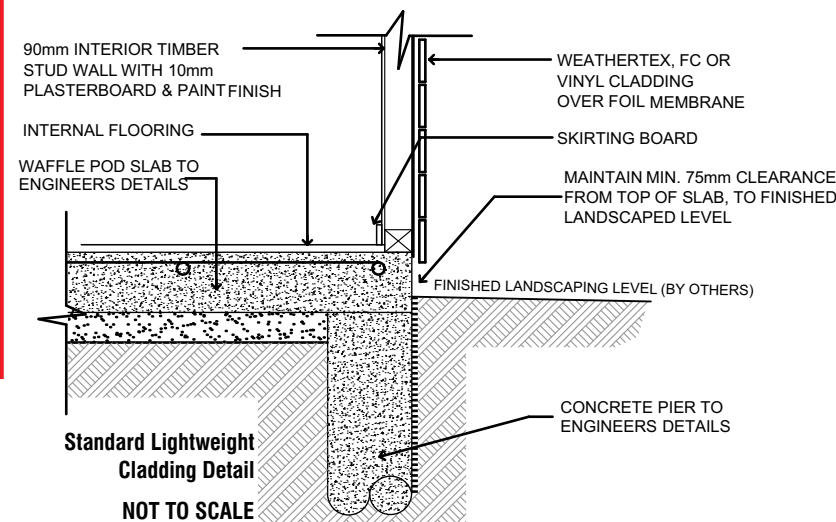
WHEN BUILDING NEAR TREES, WE STRONGLY RECOMMEND YOU INSTALL GUTTER-GUARD OR A SIMILAR PRODUCT IN ALL GUTTERS AND VALLEYS, TO PREVENT LEAF BUILD-UP AND WATER OVERFLOW UNDER THE ROOF TILES OR SHEETING

FLOOR LEVEL NOTE

THE FLOOR LEVEL SHOWN ON THE ELEVATIONS MAY VARY SLIGHTLY ON SITE, DUE TO SITE CONDITIONS AND FINAL LEVELS AFTER EXCAVATION AND REMOVAL OF SOIL.

UNLESS SPECIFIED IN YOUR TENDER AND BUILDING CONTRACT, NO DIRT REMOVAL HAS BEEN ALLOWED FOR WHEN LEVELLING THE SITE FOR A CONCRETE SLAB. WHEN ACCESS IS TIGHT, A DECISION WOULD NEED TO BE MADE AS TO WHERE TO STOCKPILE ON SITE TO AVOID ACCESS INTERRUPTIONS OR A COST TO REMOVE THE SOIL CAN BE ARRANGED OR YOU.

FURTHERMORE, NO EXTERNAL STEPS TO PORCHES, DROP EDGE BEAMS OR RETAINING WALLS HAVE BEEN ALLOWED FOR, UNLESS SPECIFIED IN YOUR TENDER.



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ELEVATIONS & SECTION

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