

LOT 10
D.P: 22984
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

SITE AREA 559.3 m²

ROOF AREA 209.93 m²

LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 290.6 m²
(MIN. DIMENSION OF 2.0m) 52 %

MIN. REQUIRED BY COUNCIL: 40 %

PRIVATE OPEN SPACE

TOTAL OPEN SPACE AREA: 138.4 m²
(MIN. DIMENSION OF 5.0m)

MIN. REQUIRED BY COUNCIL: 60 m²

HEIGHT RESTRICTION

MAXIMUM RIDGE HEIGHT 8.5 m
MAXIMUM CEILING HEIGHT 7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)

BUILDING ENVELOPE

BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY


**SITE COVERAGE
STORMWATER CALCULATION**

ROOF FOOTPRINT: 210.1 m²
DRIVEWAY/ PAVED AREAS: 41 m²
TOTAL: 251.1 m²
44.9 %

MAX SITE COVERAGE FOR OSD: 40%

BASIX LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 317.2 m²
(EXCLUDES HARD SURFACES) 56.7 %

 **DENOTES TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION**

****B.A.S.****
(BUILDING ADJACENT TO SEWER)
ORDER SEWER PEGOUT

CLASSIFICATION		
WIND	SLAB	CLIMATE
N2	H1	ZONE 5

NOTE:
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC
RETAINING WALLS TO BE CONSTRUCTED WHOLLY WITHIN PROPERTY BOUNDARY INCLUDING DRAINAGE AND FOOTINGS

NOTE:
OWNER TO DEMOLISH & REMOVE FROM SITE EXISTING HOUSE, INCLUDING FOOTINGS & SERVICES ABOVE & BELOW GROUND, PATHS, DRIVE, TREES & FENCES ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

STORMWATER TO STREET VIA RAINWATER TANK AND O.S.D
REFER TO HYDRAULIC DETAILS

SITE PLAN
SCALE 1:200
GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



**REFER TO PAGE 7 FOR
DRIVEWAY PROFILE**

**LEVELS TO BE STRICTLY ADHERED
TO AS SHOWN ON SITE PLAN
NO + OR - 100mm
TOLERANCE TO LEVELS**

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING.

PRODUCT:
BROOKLYN 36
Southport
L/H Garage

LUXE

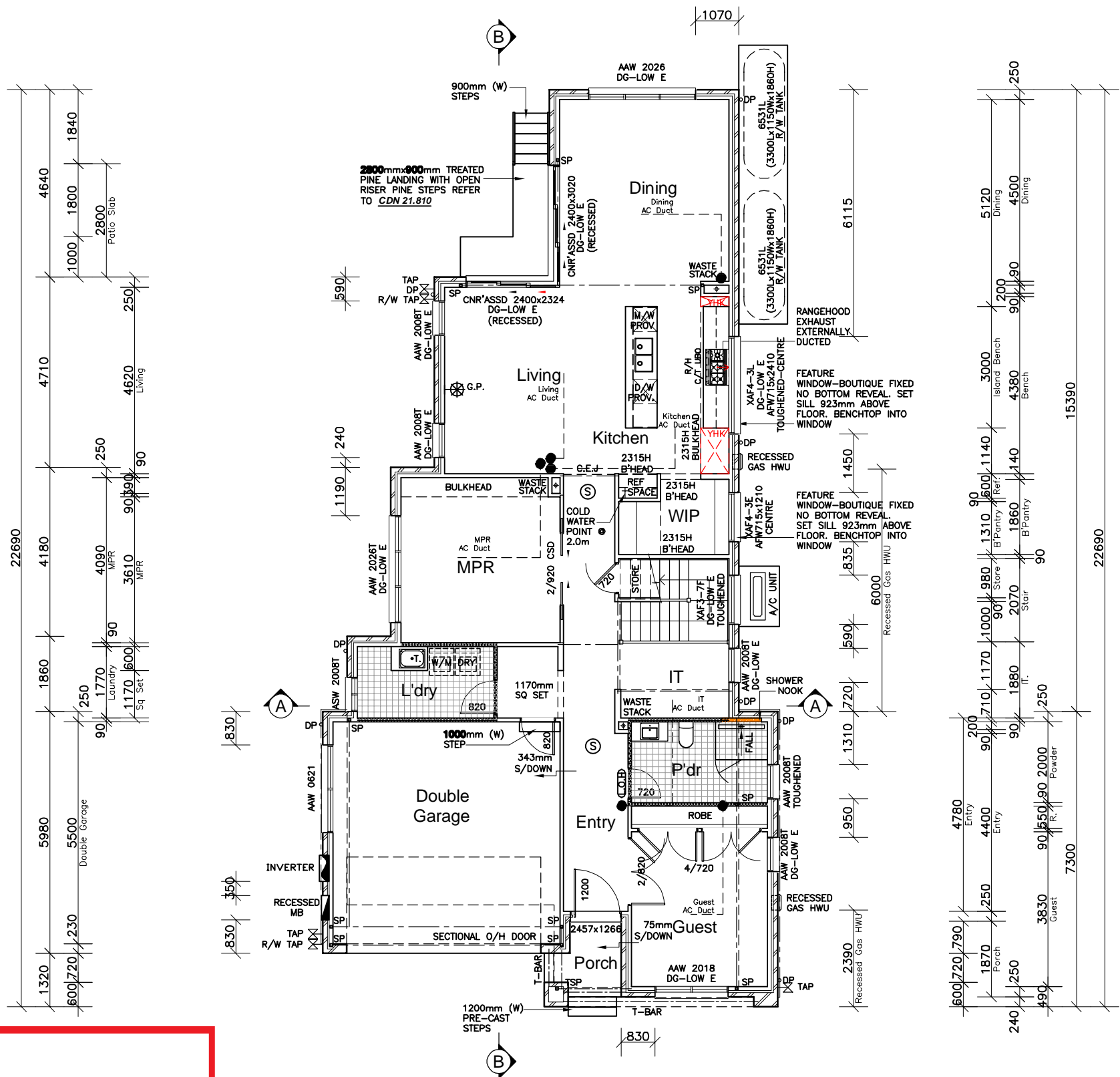
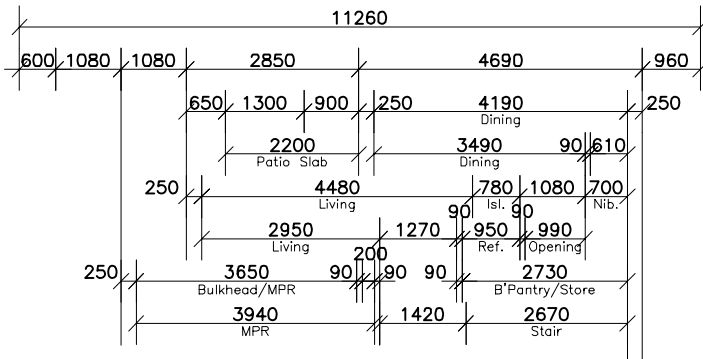
CLIENT:
**Mr HUANG
Ms JIANG**
SITE ADDRESS:
**Lot 10 No.8
Ryrie Avenue
Forestville 2087**

D.A. DRAWING

DRAWN: MTK	DATE: 19.12.24	Rev: F
RATIO @ A3: 1:200	CHECKED: CY.	
SHEET: 2	JOB No: 29917225	NSW

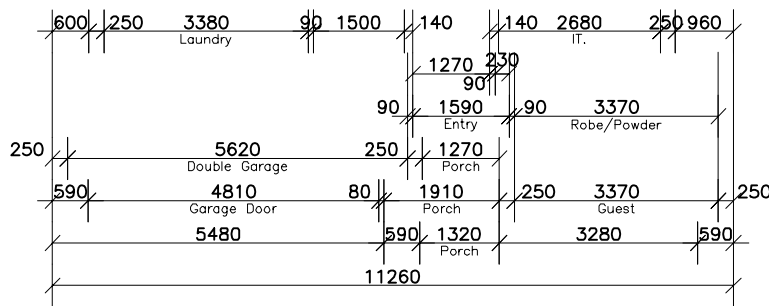
NOTE -
CLIENT TO INSTALL CEILING FANS TO LIVING,
MPR, GUEST, LEISURE, STUDY, BED 1, BED 2,
BED 3, and BED 4 AFTER HANDOVER TO
COMPLY WITH BASIX REQUIREMENTS
O.C WON'T BE ISSUED UNTIL CEILING FANS
INSTALLED

NOTES	
•	SHOWERS – ALL GROUND FLOOR SHOWERS TO HAVE RECESSED SLAB
•	WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS, (NCC 2022)
•	EXHAUST – AIR DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2, (NCC 2022)
•	PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.81 OF THE NCC
•	300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)
•	INTERNAL DOORS – LEAF HEIGHT OF GROUND FLOOR DOORS TO BE 2340mm(H)



DA2025/0403

SCALE: 1:125



EPOXY FLOOR
REFER TO SCHEDULE FOR
GARAGE FLOOR FINISH

NOTE:
SHOWER NOOK/RECESS REFER TO
CDN 54.260 & SHEET 9 FOR DETAILS

SOLAR INCLUSION
* 3.3 KW SMART SOLAR SYSTEM
* INVERTER

 PROVIDE R2.0 INSULATION WALL BATTS TO INTERNAL WALLS OF LAUNDRY, P'DR, and BATHROOM (ONLY)



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PRODUCT:
BROOKLYN 36
Southport
L/H Garage

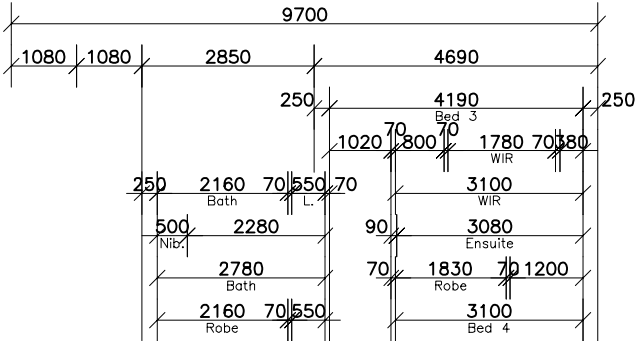
LUXE

CLIENT:
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Ms JIANG

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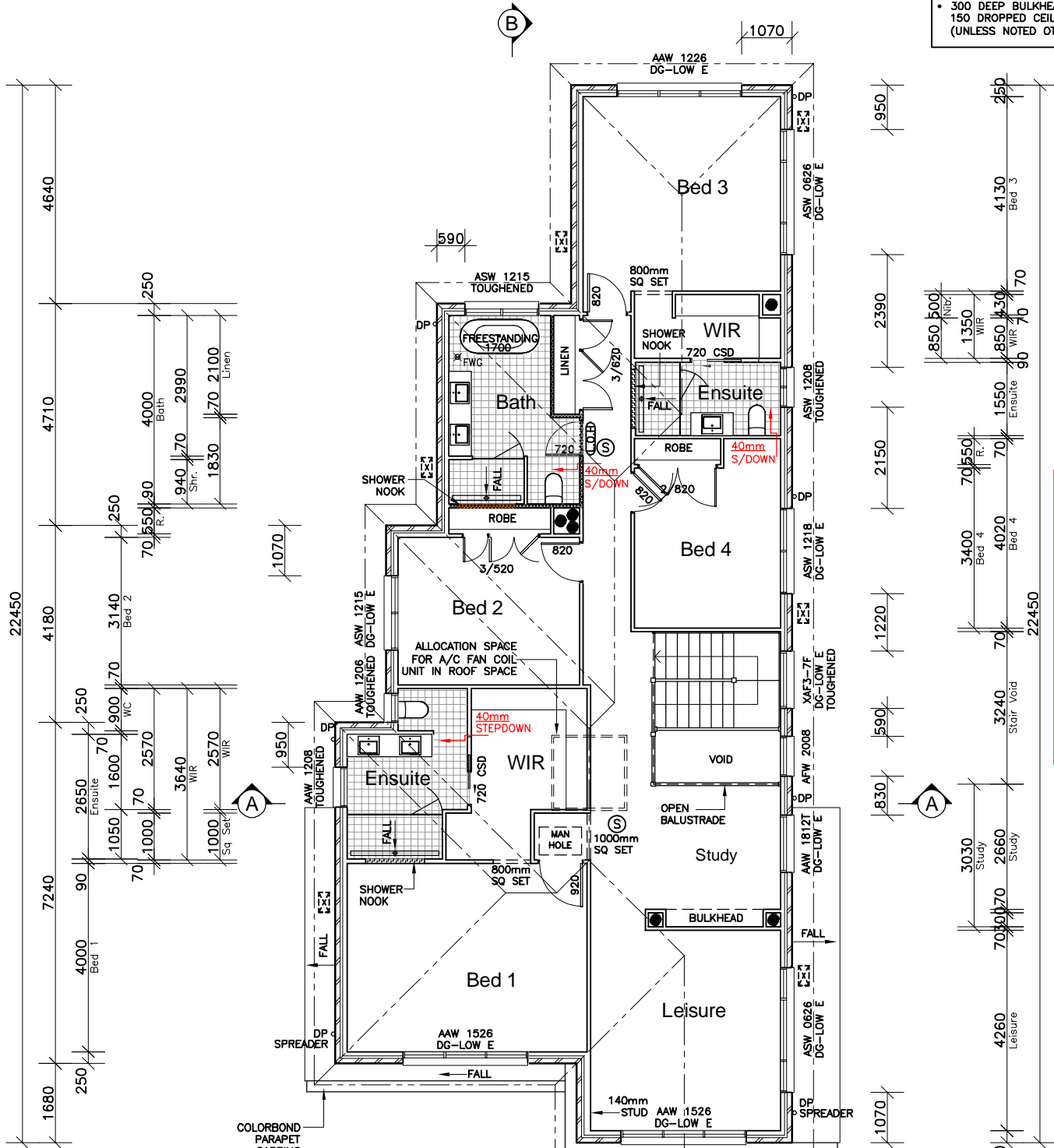
DRAWN: MTK	DATE: 19.12.24	Rev: F
RATIO @ A3: 1:125	CHECKED: CY.	
SHEET: 3	JOB No: 29917225	NSW

---	STRUCTURAL BEAM
Ⓢ	SMOKE ALARM
⊗	EXHAUST FAN
DP ○	DOWN PIPE
TAP ⊗	GARDEN TAP
⊔	LIFT OFF HINGES
MUA	MAKE-UP AIR VENT
↻	EAVE VENTS
⊗→	EXHAUST FAN WITH RUN-ON TIMER
FWG ⊗	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
⊕	LINEAR FLOOR WASTE
●	AIR CONDITIONING DUCT



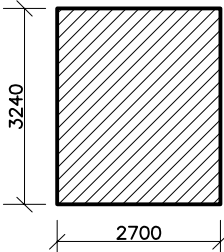
- NOTES**
- HEBEL FLOORING – ALL WET AREAS TO FIRST FLOOR – RECESS CREATED USING MARINE PLY
 - WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS (NCC 2022)
 - BALCONIES – FINISHES SURFACE TO ALL BALCONIES ARE TO HAVE A MIN. FALL OF 1 IN 100 TO THE BALCONY OUTLET.
 - WINDOWS – ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.7 OF THE NCC
 - WINDOWS – ALL OTHER FIRST FLOOR WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.8 OF THE NCC
 - EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
 - PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.8.1 OF THE NCC
 - 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)

NOTE - CLIENT TO INSTALL CEILING FANS TO LIVING, MPR, GUEST, LEISURE, STUDY, BED 1, BED 2, BED 3 and BED 4 AFTER HANDOVER TO COMPLY WITH BASIX REQUIREMENTS O.C WON'T BE ISSUED UNTIL CEILING FANS INSTALLED



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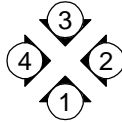
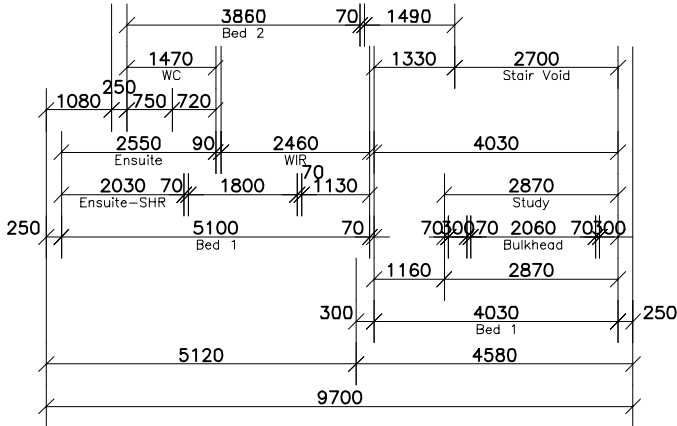
DA2025/0403



STAIR CUTOUT
SCALE 1:100

FIRST FLOOR PLAN

SCALE: 1:125



NOTE:
INTERNAL DOOR LEAF HEIGHTS TO FIRST FLOOR TO BE 2340mm(H)

NOTE:
SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 10 FOR DETAILS

SOLAR INCLUSION
* 3.3 KW SMART SOLAR SYSTEM
* INVERTER

PROVIDE R2.0 INSULATION WALL BATTS TO INTERNAL WALLS OF LAUNDRY, PDR, and BATHROOM (ONLY)



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DATE: _____

ClarendonHomes

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PRODUCT:
BROOKLYN 36
Southport
L/H Garage

LUXE

CLIENT:
Mr HUANG
Ms JIANG

SITE ADDRESS:
Lot 10 No.8
Ryrie Avenue
Forestville 2087

D.A. DRAWING

DRAWN: MTK	DATE: 19.12.24	Rev: F
RATIO @ A3: 1:125	CHECKED: CY.	
SHEET: 4	JOB No: 29917225	NSW

HEBEL FLOORING
CONSTRUCTION
(EXCLUDES WET AREAS)

SOLAR INCLUSION
* 3.3 KW SMART SOLAR SYSTEM
* INVERTER

DENOTES WINDOWS AND
DOORS WITH DOUBLE
GLAZED ARGON FILLED
LOW 'E' GLAZING

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



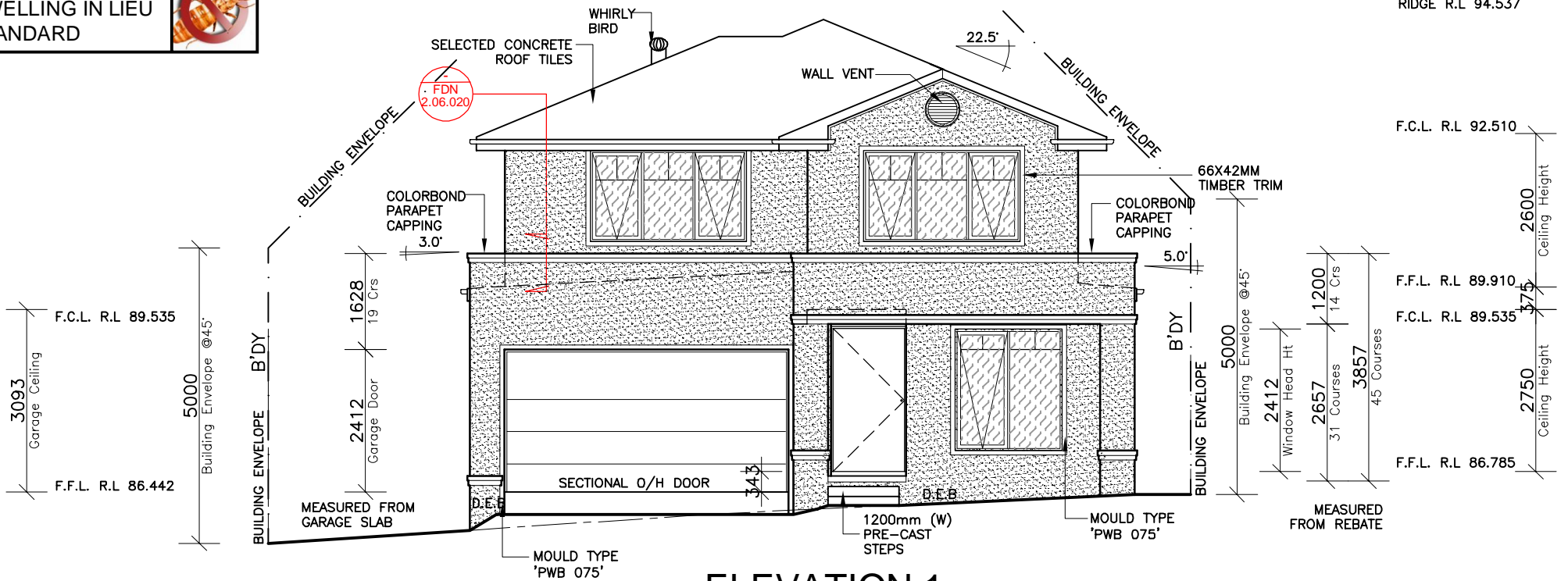
Selected Render Coating

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

RIDGE R.L 94.537

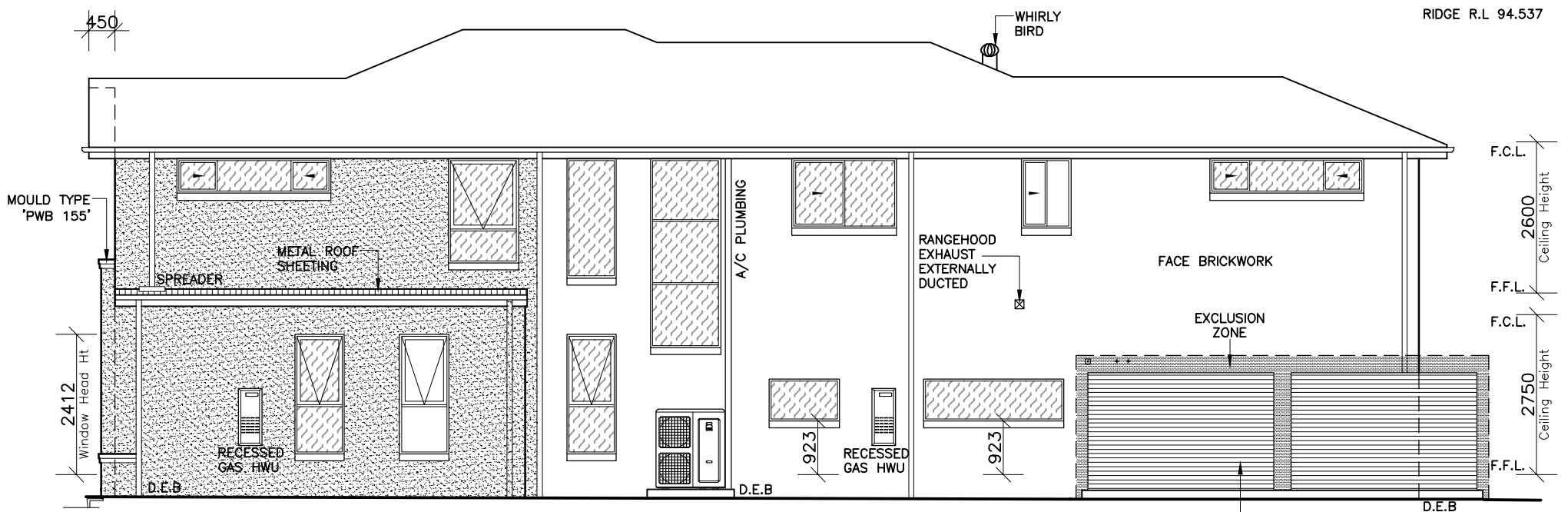


ELEVATION 1
-SOUTH-



THIS PLAN IS TO BE READ IN
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CONSENT

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ELEVATION 2
-EAST-



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SHEET: 5	JOB No: 29917225	NSW

DRAWN: MTK	DATE: 19.12.24	Rev: F
RATIO @ A3: 1:100	CHECKED: CY.	
SHEET: 6	JOB No: 29917225	
		NSW

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND & FIRST FLOOR TO BE
2340mm(H)

PROVIDE R5.0 INSULATION BATTS TO
CEILING JOISTS BETWEEN GARAGE
& FIRST FLOOR

PROVIDE R5.0 INSULATION BATTS
TO CEILING JOISTS BETWEEN PORCH
& FIRST FLOOR
(R3.5 INSULATION INSTALLED AS
PART OF CONSTRUCTION METHOD)

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD

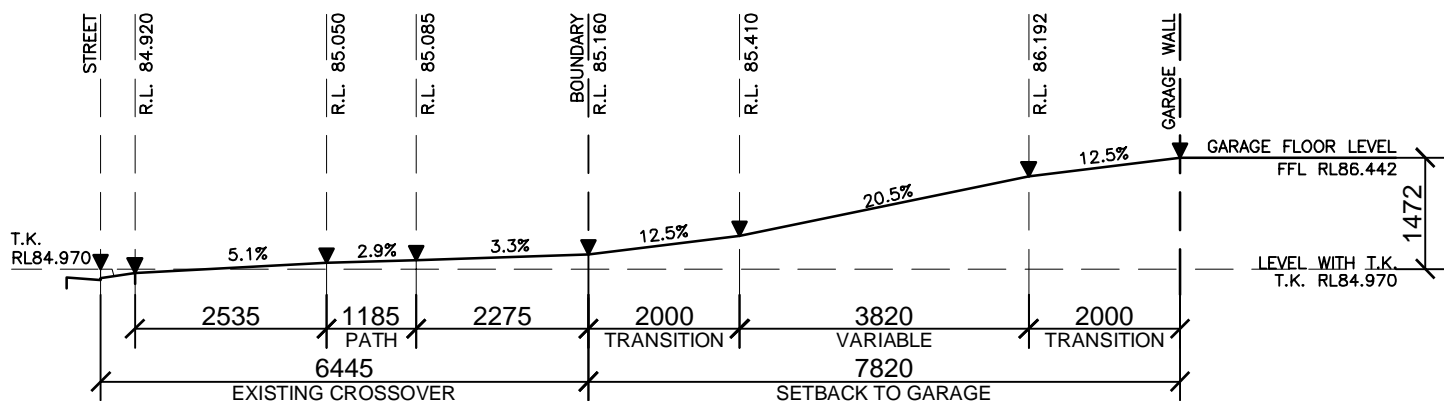
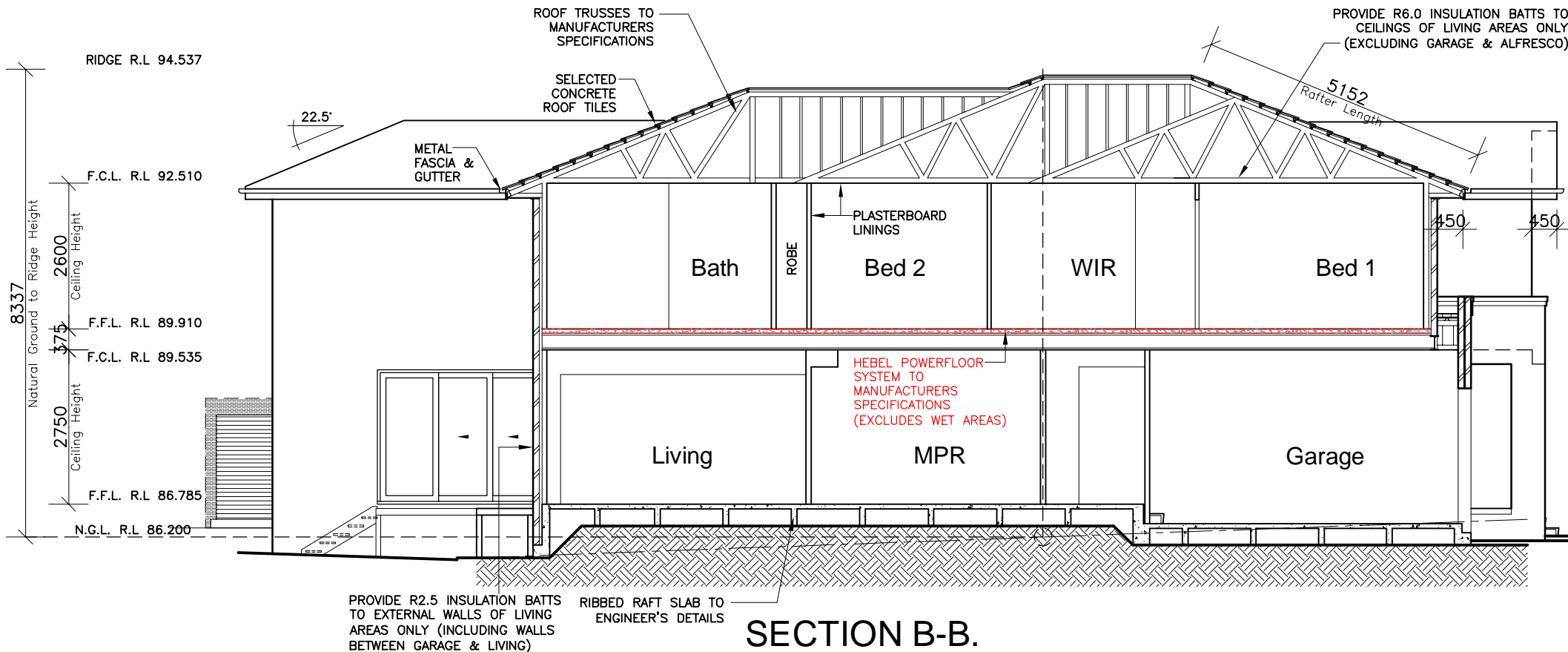
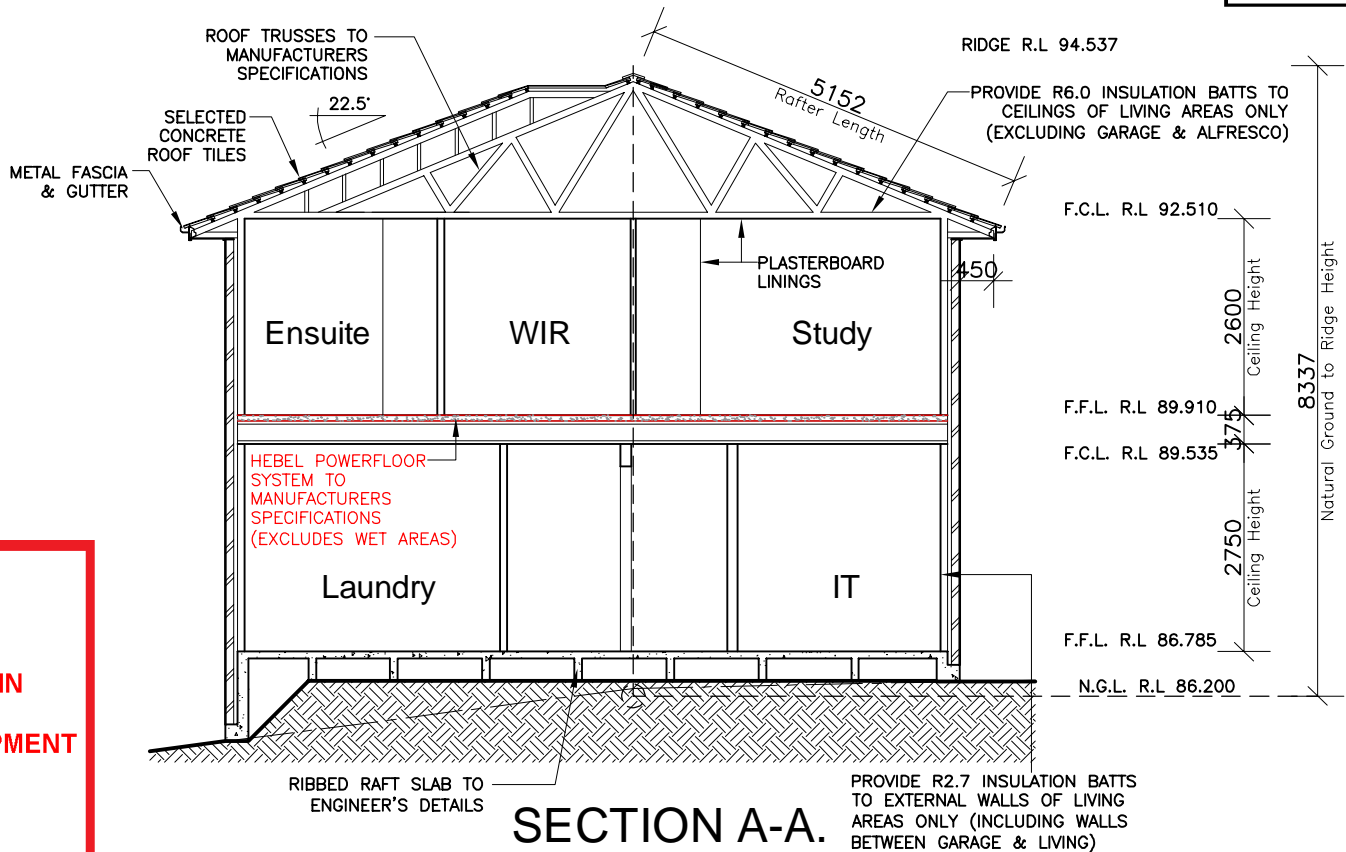


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beaches
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CONSENT

DA2025/0403

HEBEL FLOORING
CONSTRUCTION
(EXCLUDES WET AREAS)



SCALE-1:100



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L/H Garage

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Forestville 2087

D.A. DRAWING

DRAWN:
MTK

RATIO @ A3:
1:100

SHEET:
7

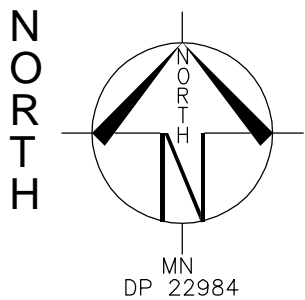
DATE:
19.12.24

CHECKED:
CY.

JOB No:
29917225

Rev:
F

NSW



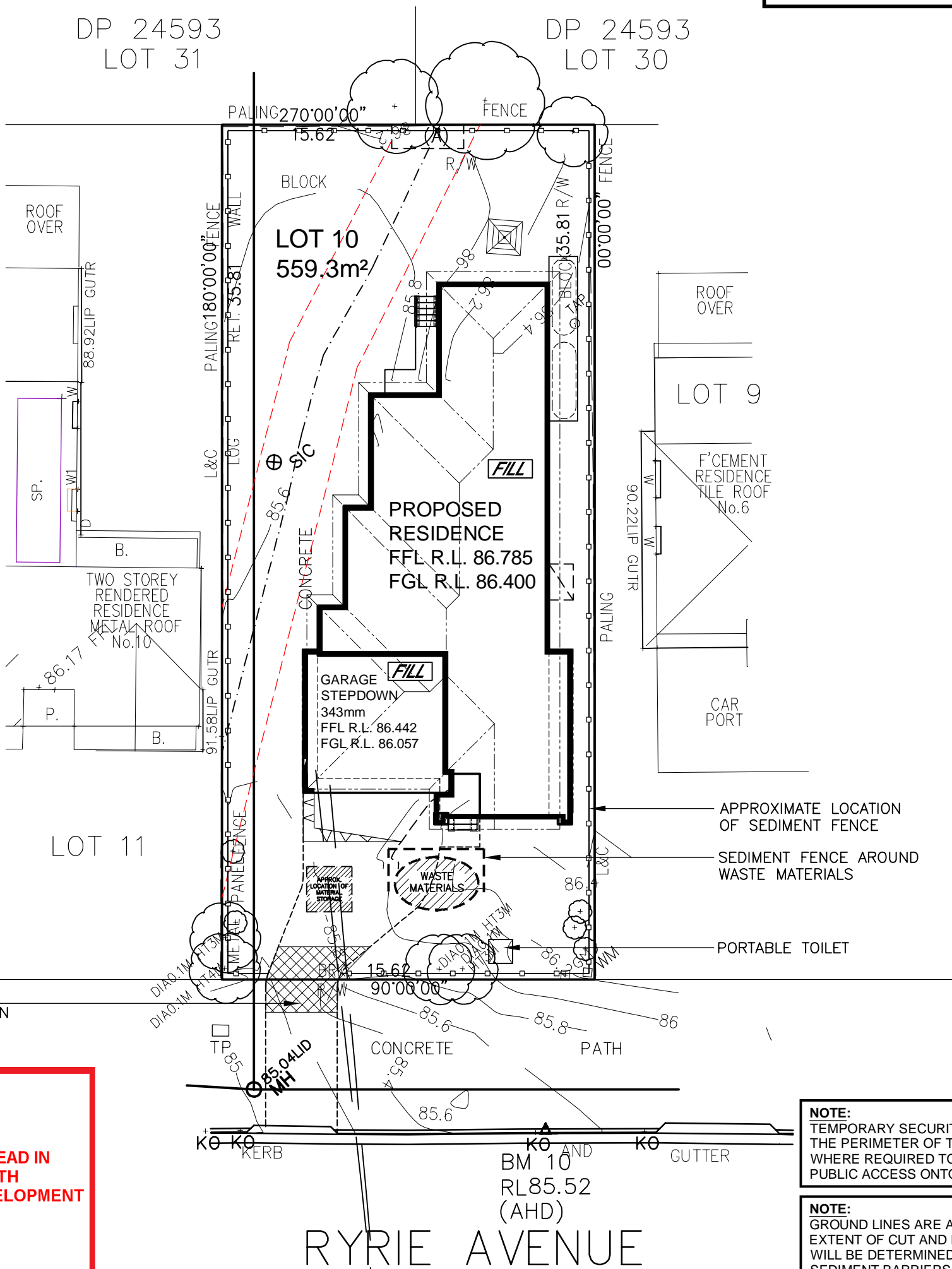
(A) EASEMENT TO DRAIN WATER 1 WIDE CREATED BY DEALING AM884209

LOT 10
D.P: 22984
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

DP 24593
LOT 31

DP 24593
LOT 30



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

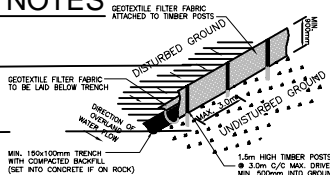
DA2025/0403

NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

**CONSTRUCTION MANAGEMENT PLAN
EROSION AND SEDIMENT CONTROL PLAN**

CLIENT'S SIGNATURE: _____ DATE: _____

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Southport
L/H Garage

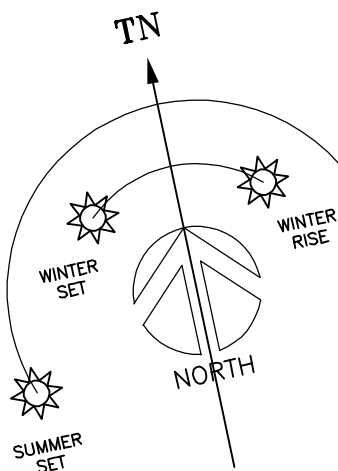
LUXE

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D.A. DRAWING

DRAWN: MTK	DATE: 19.12.24	Rev: F
RATIO @ A3: 1:100	CHECKED: CY.	
SHEET: 2.1	JOB No: 29917225	NSW

NORTH



DP 24593
LOT 31

DP 24593
LOT 30

LOT 10
D.P: 22984
L.G.A: NORTHERN BEACHES

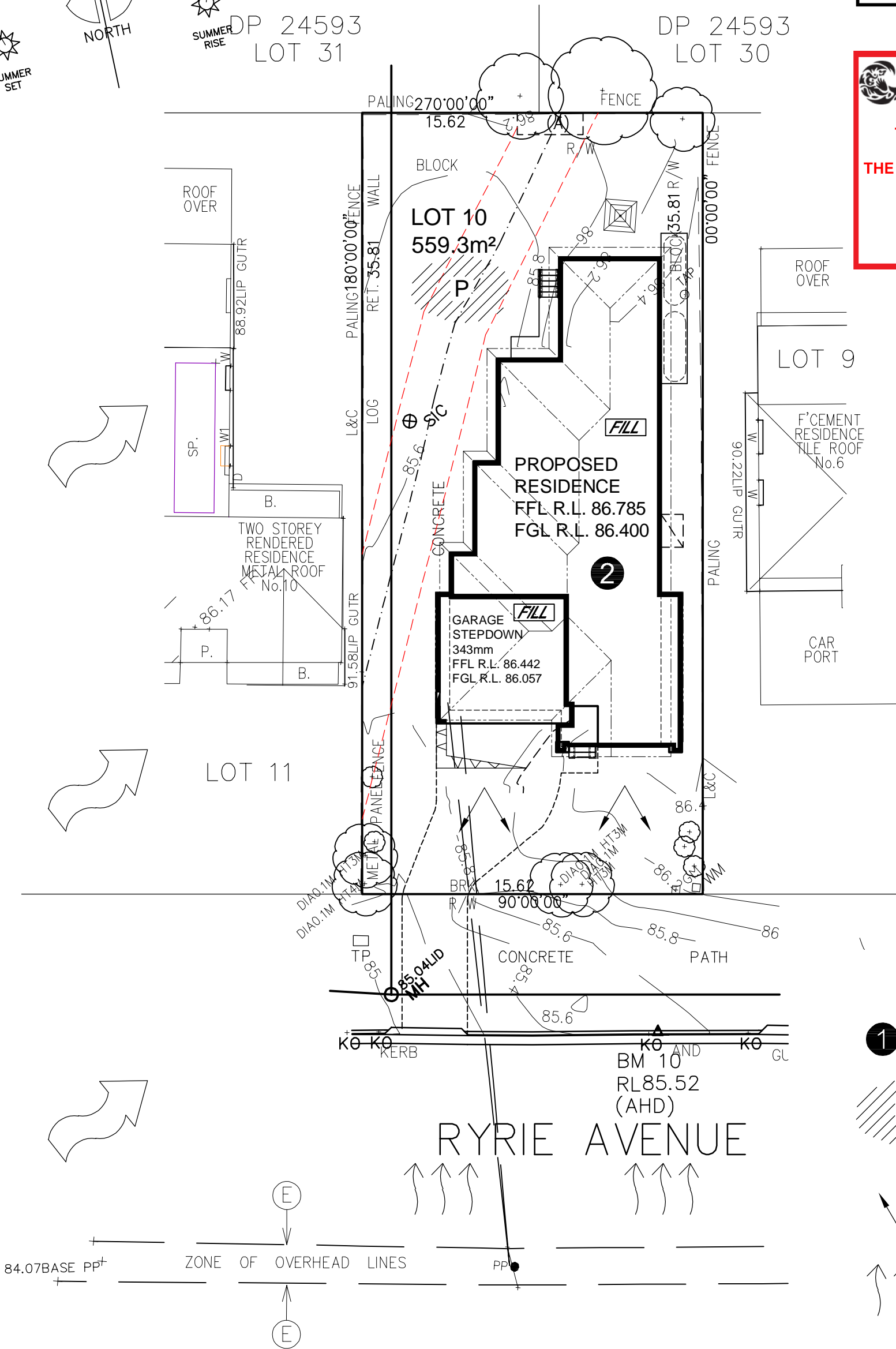
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northern
beaches
council

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DA2025/0403



1/2

NUMBER OF STOREYS



PRINCIPAL PRIVATE
OPEN SPACE



MAIN VIEWS



NOISE IMPACT



PREVAILING WINDS

SITE ANALYSIS PLAN

CLIENT'S SIGNATURE:

DATE:

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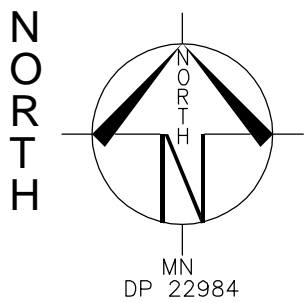
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D.A. DRAWING

DRAWN:
MTK
RATIO @ A3:
1:100
SHEET:
2.2

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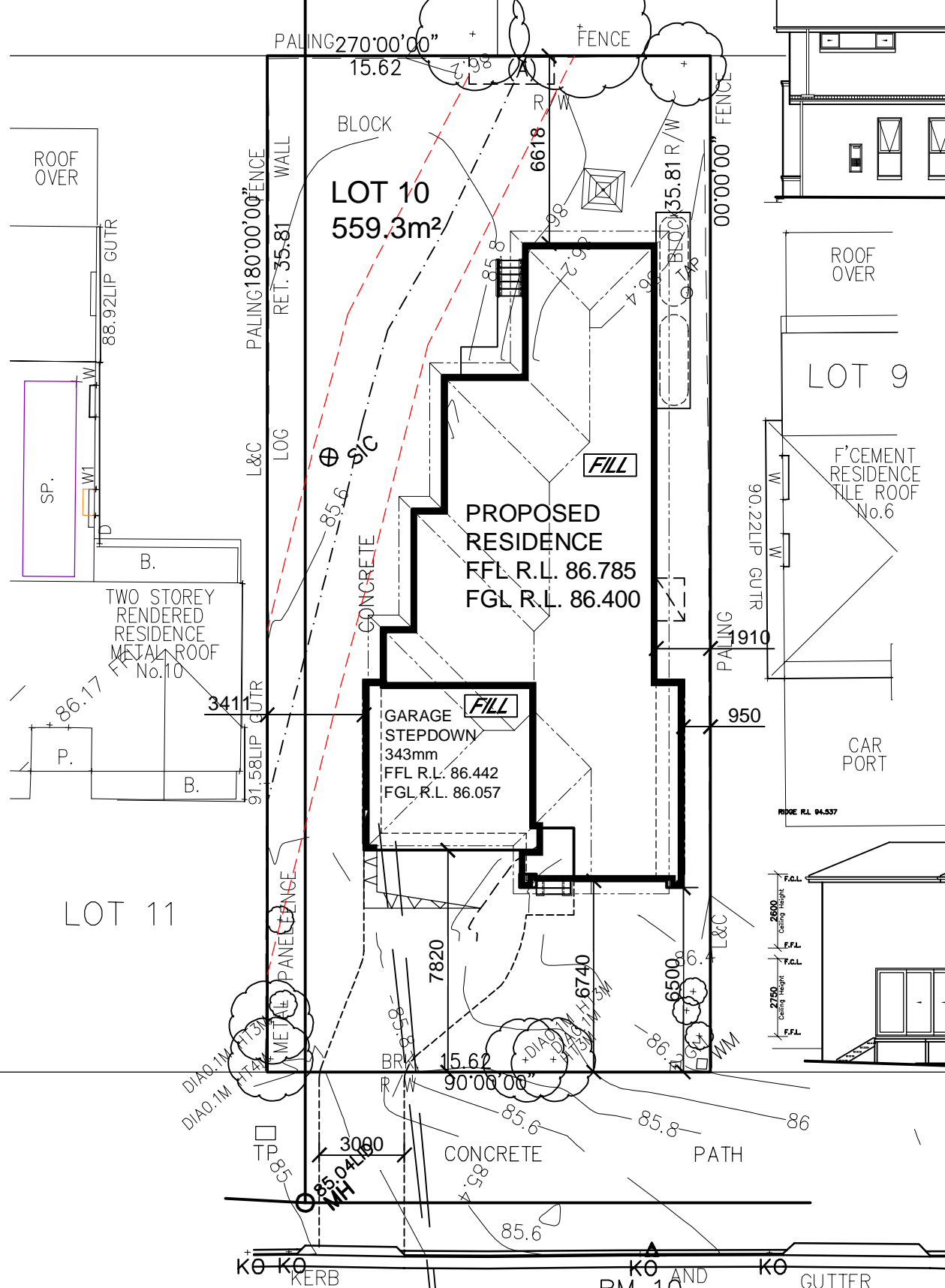
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L.G.A: NORTHERN BEACHES

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DP 24593 LOT 31

ELEVATION 1 -SOUTH-

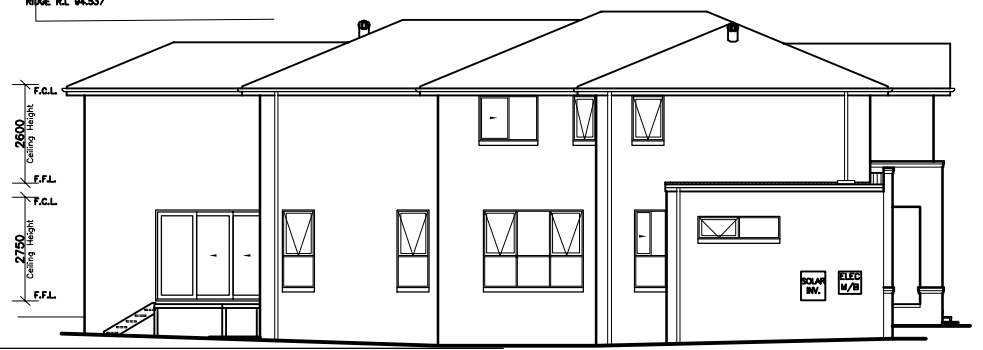
DP 24593 LOT 30



ELEVATION 2
-EAST-



ELEVATION 3
-NORTH-



ELEVATION 4
-WEST-

 **northern beaches council**

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CONSENT**

DA2025/0403

RYRIE AVENUE

NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: _____		DATE: _____		PRODUCT:		CLIENT:		D.A. DRAWING				
<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div>		<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div>		<div>BROOKLYN 36 Southport L/H Garage</div> <div>LUXE</div>		<div>Mr HUANG Ms JIANG</div> <div>SITE ADDRESS: Lot 10 No.8 Ryrie Avenue Forestville 2087</div>		DRAWN:		DATE:	Rev:	
								MTK	19.12.24	F		
								RATIO @ A3:			CHECKED:	NSW
								1:100			CY.	
SHEET:		JOB No:		2.3		29917225						