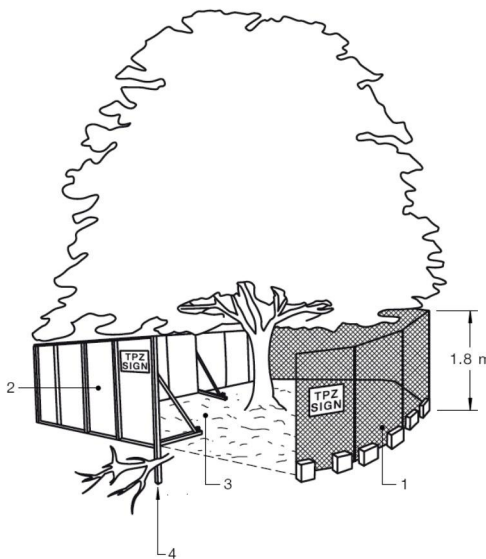
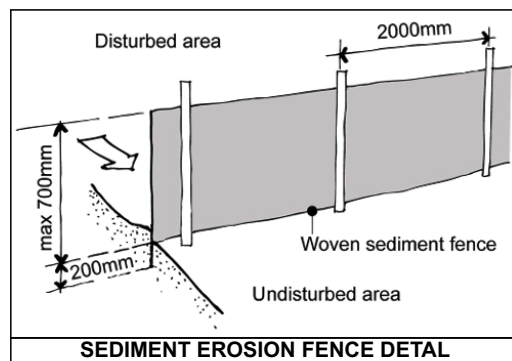
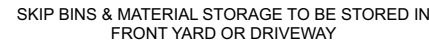
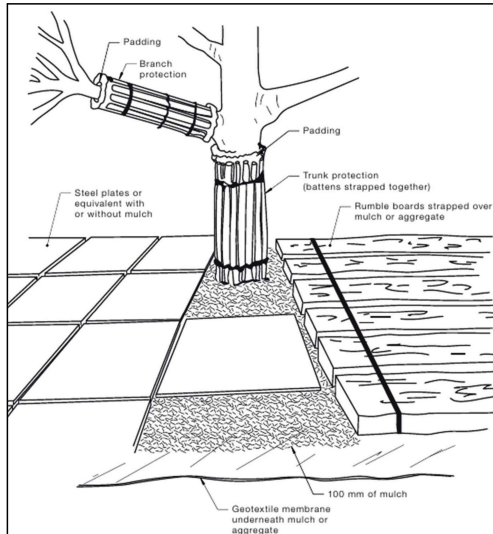
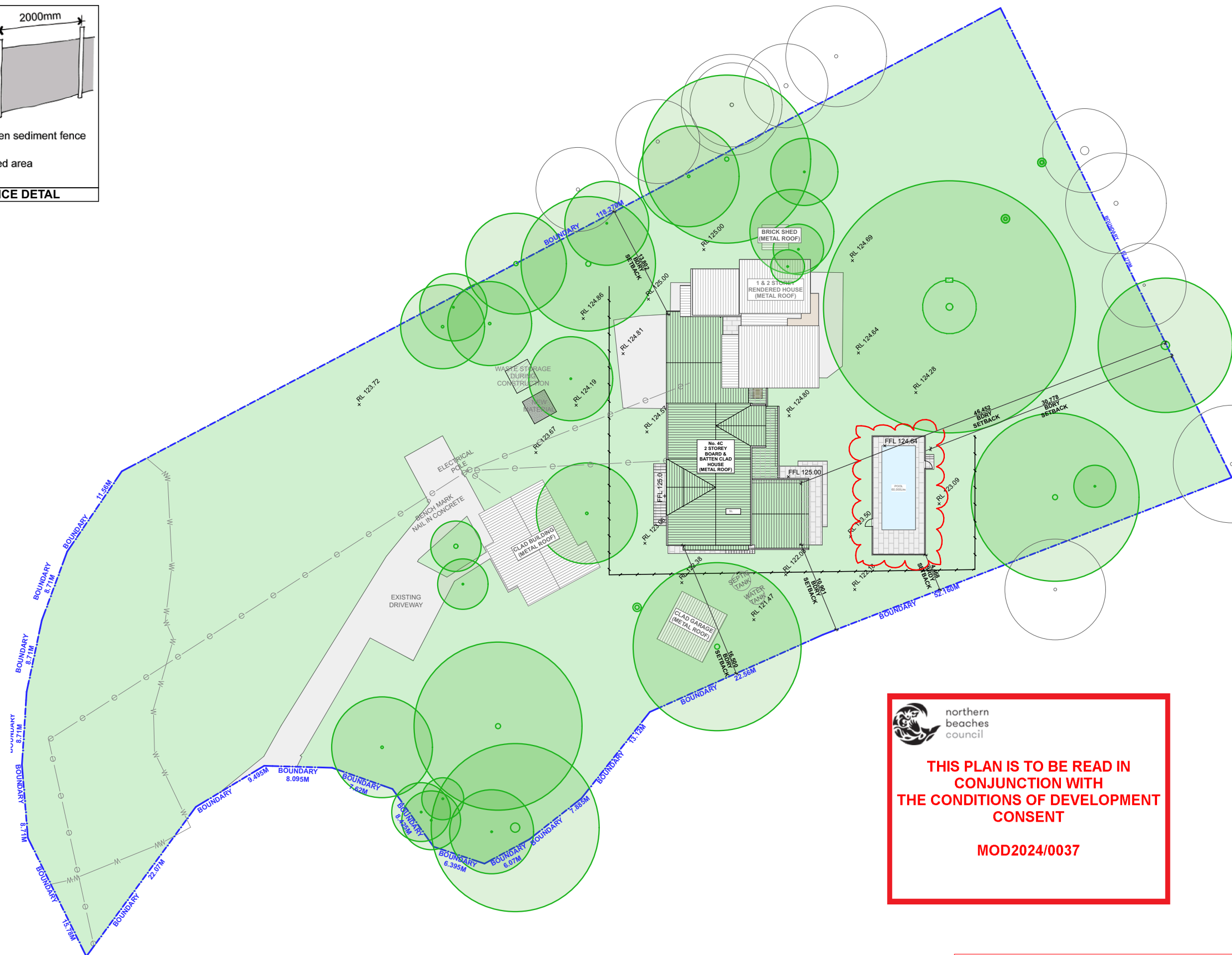




1. CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET.
2. ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ.
3. MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ.
4. BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS.



1. FOR TRUNK AND BRANCH PROTECTION USE BOARDS AND PADDING THAT WILL PREVENT DAMAGE TO BARK. BOARDS ARE TO BE STRAPPED TO TREES, NOT NAILED, OR SCREWED.
2. RUMBLE BOARDS SHOULD BE OF SUITABLE THICKNESS TO PREVENT SOIL COMPACTION AND ROOT DAMAGE.



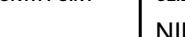
 northern
beaches
council

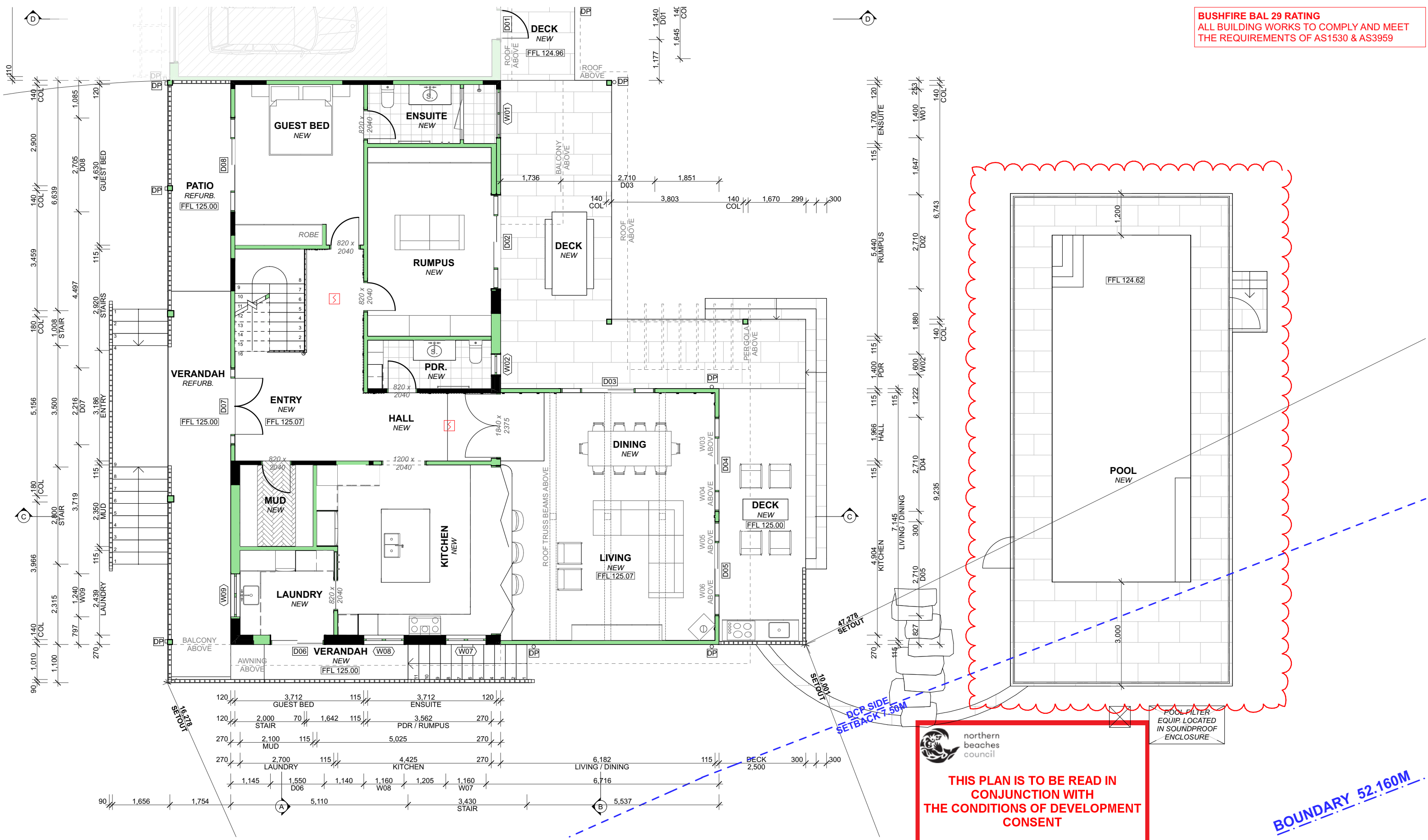
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2024/0037

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: TPZ AND SRZ TO ARBORIST'S DETAILS

 progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED EXISTING ROOF PROPOSED ROOF LANDSCAPE / GRASS CONCRETE / PAVERS TIMBER DECK POOL / WATER SEDIMENT EROSION FENCE	ABBREVIATIONS DP: DEPOSIT PLAN RL: REDUCED LEVEL SP: STRATA PLAN	NORTH POINT 	CLIENTS: NINA & KRISTIAN REYNOLDS SITE ADDRESS: 4C MINKARA ROAD BAYVIEW, NSW, 2104	DRAWING TITLE: SITE - WASTE - SEDIMENT PLAN	
		SCALE: 1:500 @A3		DATE: 21/2/24							
		PROJECT NO: 1010		DRAWING NO: DA05							



BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959



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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

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BOUNDARY 52.160M

1

PROPOSED GROUND FLOOR PLAN

1:100



progressive plans

0400 699 850
UNIT 4/40-42 AVALON PARADE
AVALON, NSW, 2107
HELLO@PROGRESSIVEPLANS.COM.AU
WWW.PROGRESSIVEPLANS.COM.AU

NOTES

THE BUILDER SHALL CHECK AND VERIFY ALL
DIMENSIONS AND VERIFY ALL ERRORS AND
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AND NOTED ON THE TITLE BLOCK.
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STRUCTURAL ENGINEER BEFORE WORK
COMMENCES.

REV.

NOTES.

INITIAL

DATE

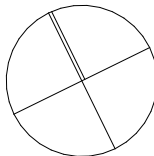
LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
FW: FLOOR WASTE
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL
SA: SMOKE ALARM

NORTH POINT



CLIENTS:

**NINA & KRISTIAN
REYNOLDS**

SITE ADDRESS:

**4C MINKARA ROAD
BAYVIEW, NSW, 2104**

DRAWING TITLE:

PROPOSED GROUND FLOOR PLAN

SCALE:

1:100 @A3

DATE:

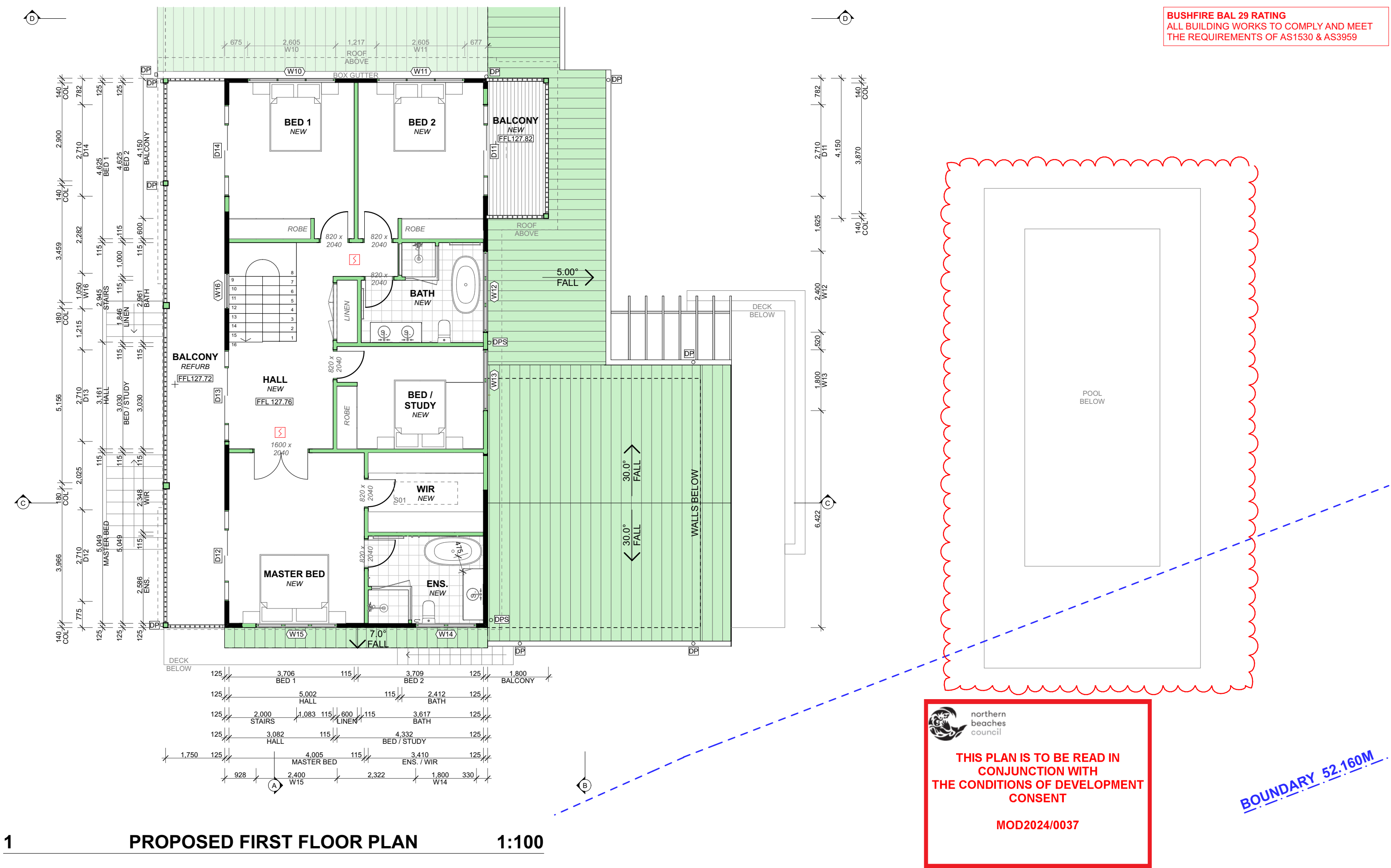
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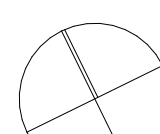
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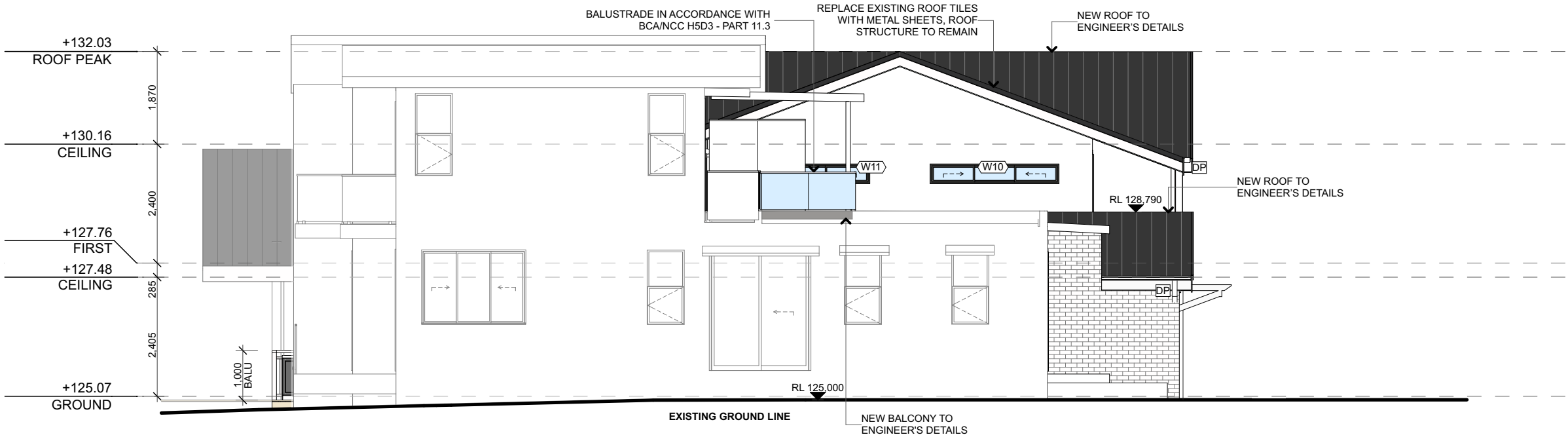


1 PROPOSED FIRST FLOOR PLAN 1:100

 progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	NORTH POINT 	CLIENTS: NINA & KRISTIAN REYNOLDS SITE ADDRESS: 4C MINKARA ROAD BAYVIEW, NSW, 2104	DRAWING TITLE: PROPOSED FIRST FLOOR PLAN		
		A	DA SUBMISSION	SS	13.06.23					SCALE: 1:100 @A3		DATE: 21/2/24
		B	WINDOW & COL. CHANGE	SS	01.09.23					PROJECT NO: 1010		DRAWING NO: DA09
		C	S4.55 SUBMISSION	IA	21.02.24							

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: SETBACKS HAVE NOT BEEN SHOWN DUE
TO SPLAYED LOT BOUNDARIES, WITH
SETBACKS BEST REPRESENTED ON SITE
PLANS



1 NORTH ELEVATION 1:100



2 SOUTH ELEVATION 1:100



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

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progressive plans

0400 699 850
UNIT 4/40-42 AVALON PARADE
AVALON, NSW, 2107
HELLO@PROGRESSIVEPLANS.COM.AU
WWW.PROGRESSIVEPLANS.COM.AU

NOTES

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REV.

NOTES.

INITIAL

DATE

A	DA SUBMISSION	SS	13.06.23
B	WINDOW & COL. CHANGE	SS	01.09.23
C	S4.55 SUBMISSION	IA	21.02.24

LEGEND

EXISTING
DEMOLISHED

BOARD AND BATTENS
SANDSTONE WALL
TIMBER POST
GLASS
ROOF SHEETS

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL

CLIENTS:

NINA & KRISTIAN
REYNOLDS

SITE ADDRESS:

4C MINKARA ROAD
BAYVIEW, NSW, 2104

DRAWING TITLE:

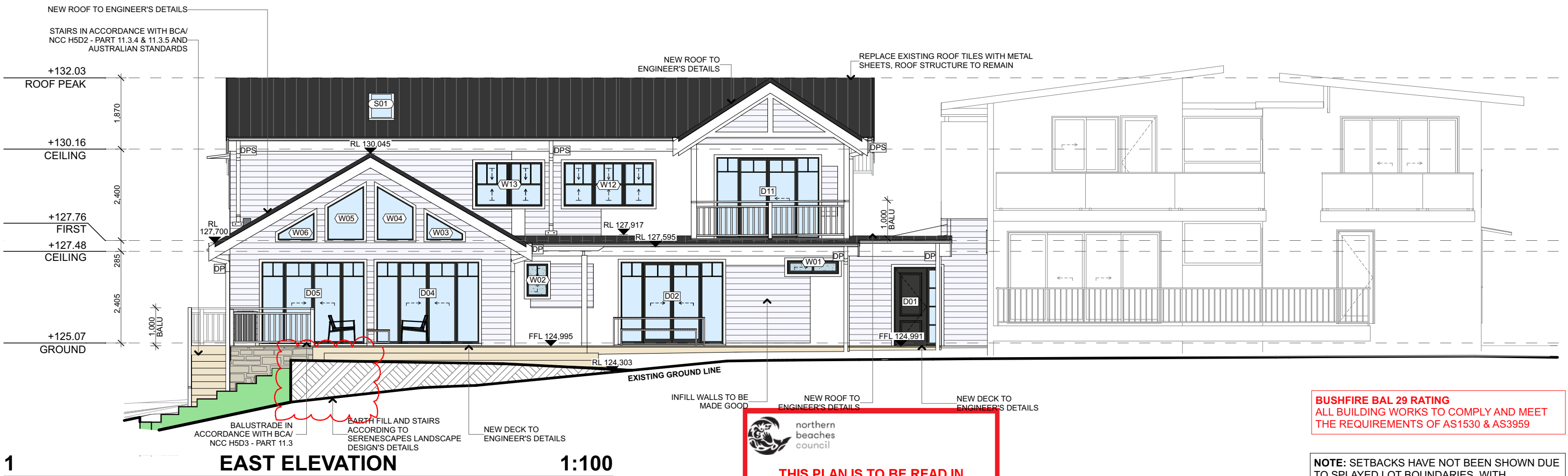
ELEVATIONS - NORTH & SOUTH

SCALE:
1:100 @A3

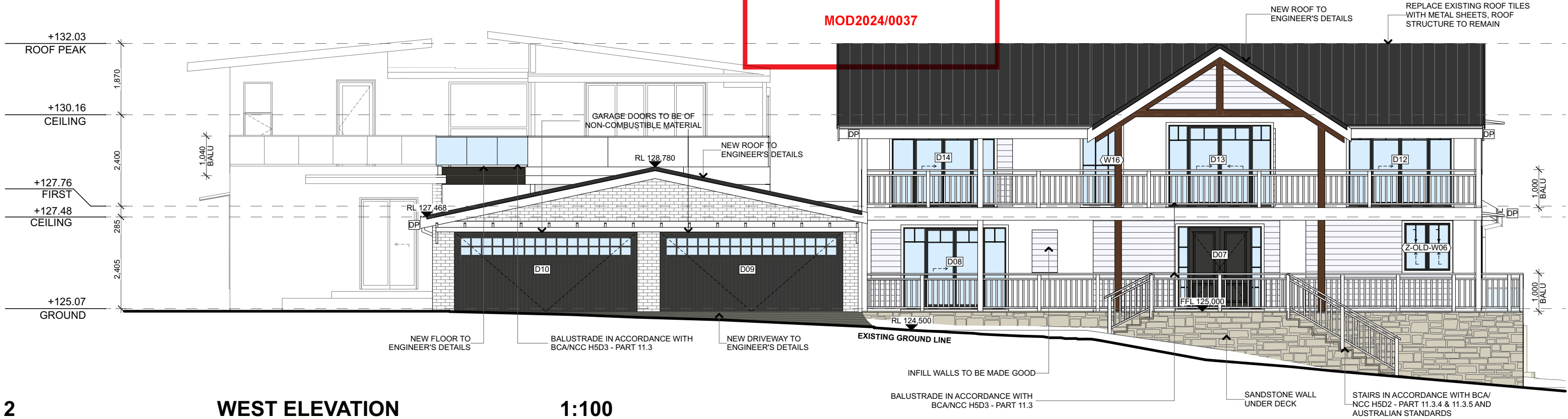
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21/2/24

PROJECT NO:
1010

DRAWING NO:
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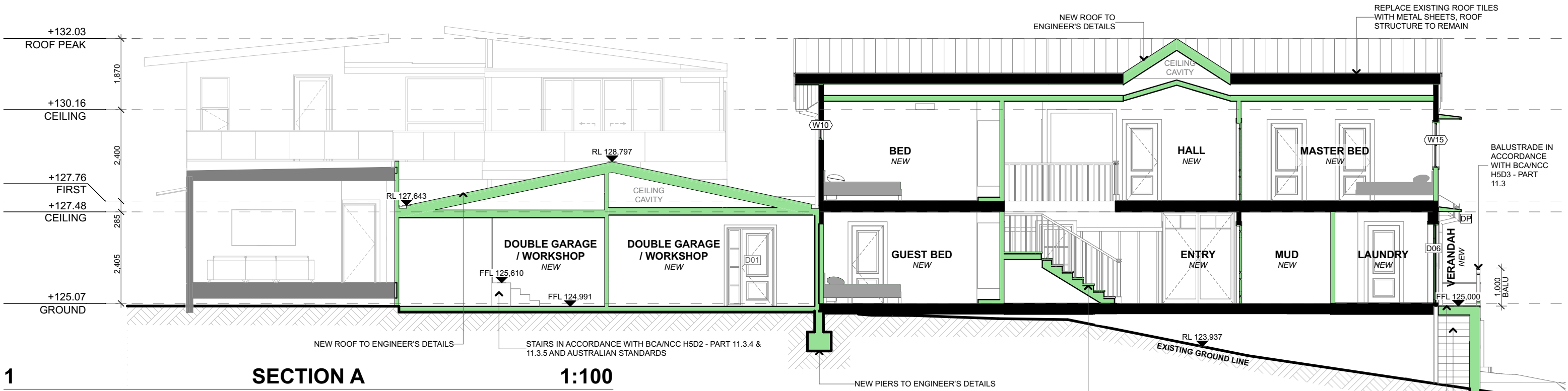


1 EAST ELEVATION 1:100



2 WEST ELEVATION 1:100

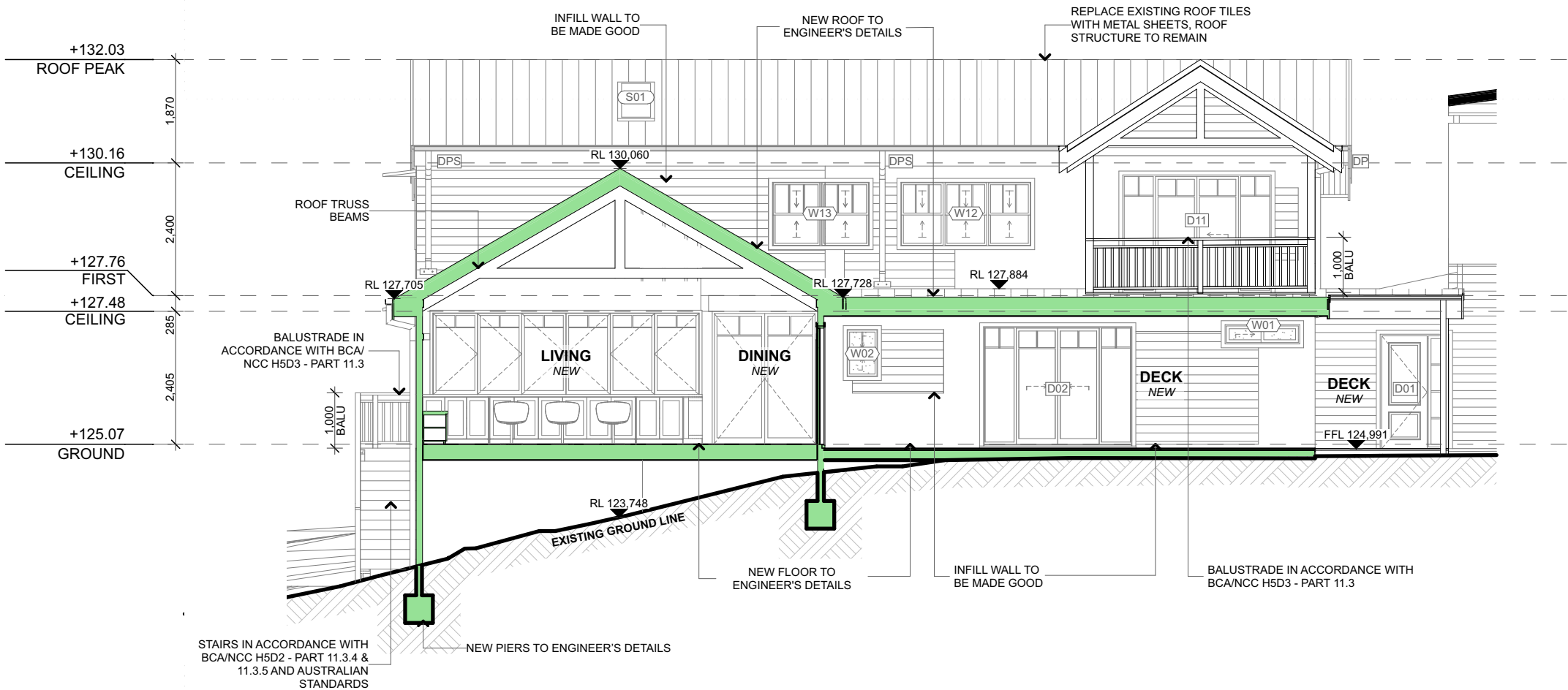
 progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED BOARD AND BATTENS SANDSTONE WALL TIMBER POST GLASS ROOF SHEETS	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL	CLIENTS: NINA & KRISTIAN REYNOLDS SITE ADDRESS: 4C MINKARA ROAD BAYVIEW, NSW, 2104	DRAWING TITLE: ELEVATIONS - EAST & WEST	
		A	DA SUBMISSION	SS	13.06.23				SCALE: 1:100 @A3	DATE: 21/2/24
		B	WINDOW & COL. CHANGE	SS	01.09.23				PROJECT NO: 1010	DRAWING NO: DA17
		C	S4.55 SUBMISSION	IA	21.02.24					



1

SECTION A

1:100



2

SECTION B

1:100

 **northern beaches council**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

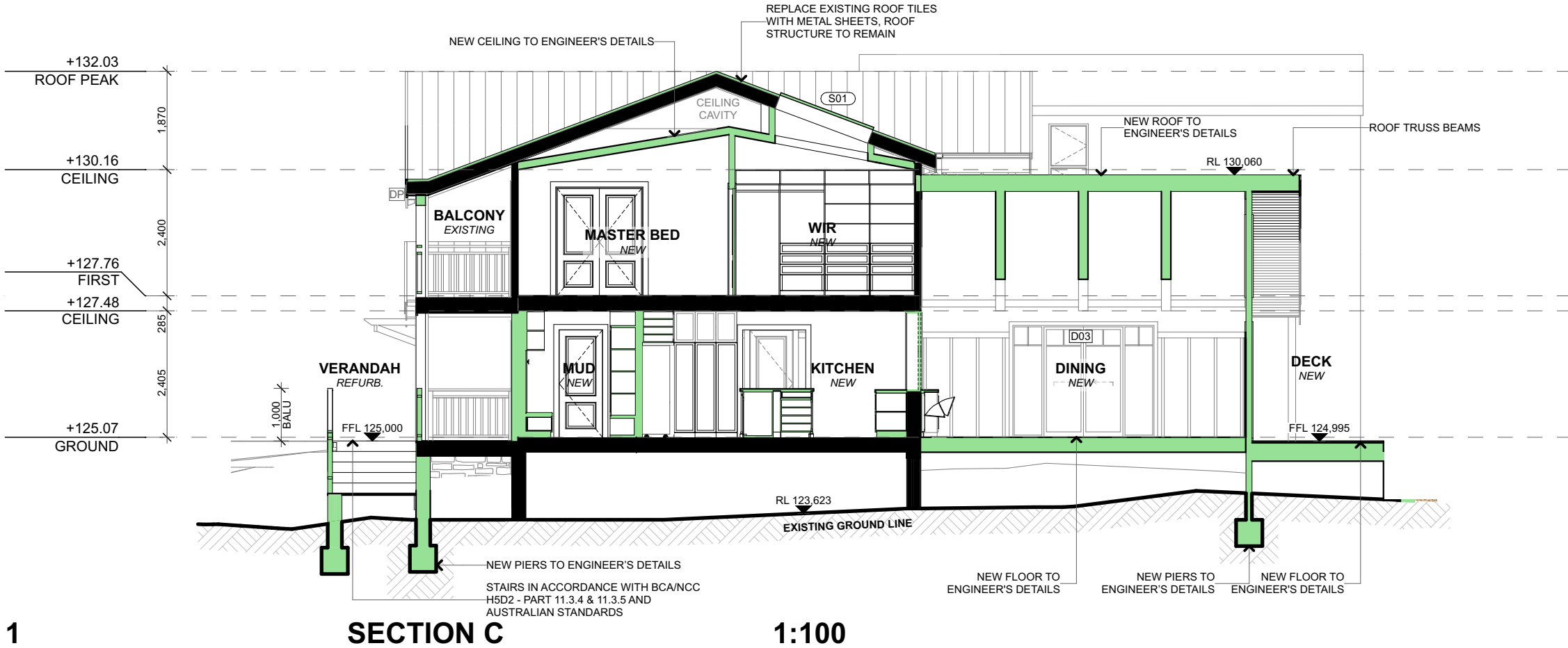
MOD2024/0037

THIS SHEET HAS BEEN APPROVED AS A PART OF DA2023/0900

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET THE REQUIREMENTS OF AS1530 & AS3959

NOTE: SETBACKS HAVE NOT BEEN SHOWN DUE TO SPLAYED LOT BOUNDARIES, WITH SETBACKS BEST REPRESENTED ON SITE PLANS

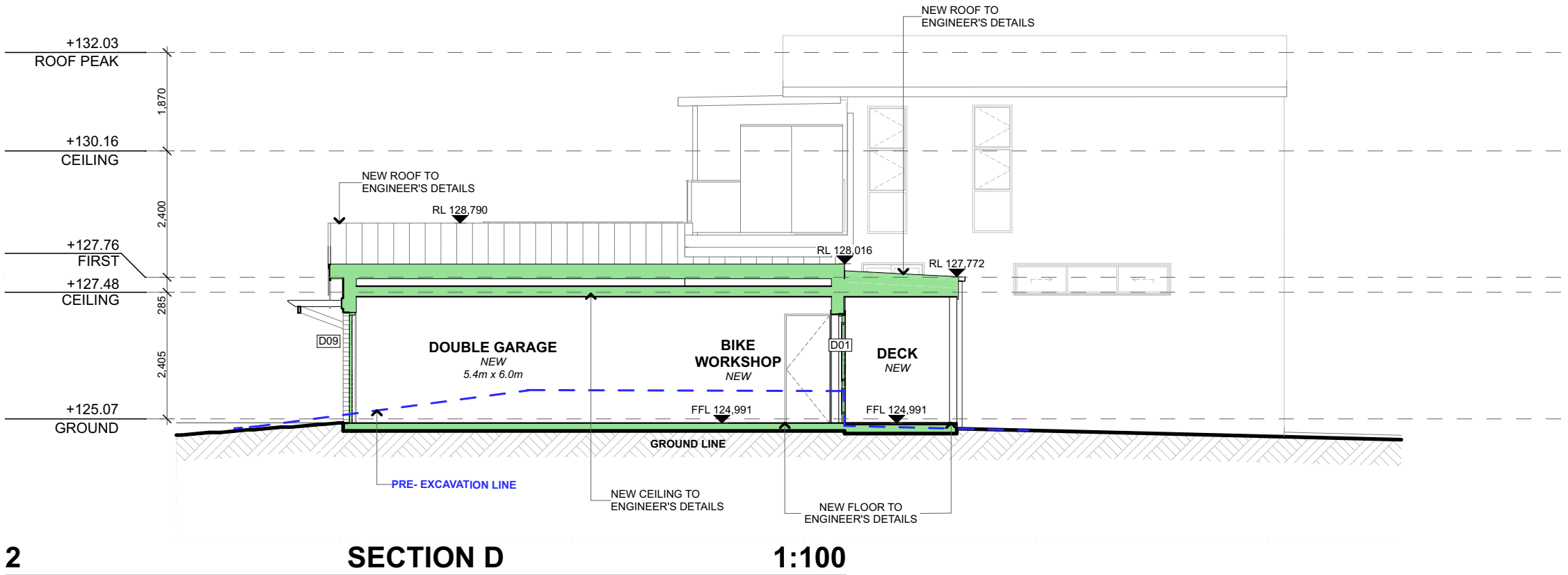
 progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL	CLIENTS: NINA & KRISTIAN REYNOLDS SITE ADDRESS: 4C MINKARA ROAD BAYVIEW, NSW, 2104	DRAWING TITLE: SECTIONS - A & B	
		SCALE:	DATE:							
		PROJECT NO:	DRAWING NO:							
		1010	DA18							



 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2024/0037



THIS SHEET HAS BEEN APPROVED AS A PART OF DA2023/0900

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET THE REQUIREMENTS OF AS1530 & AS3959

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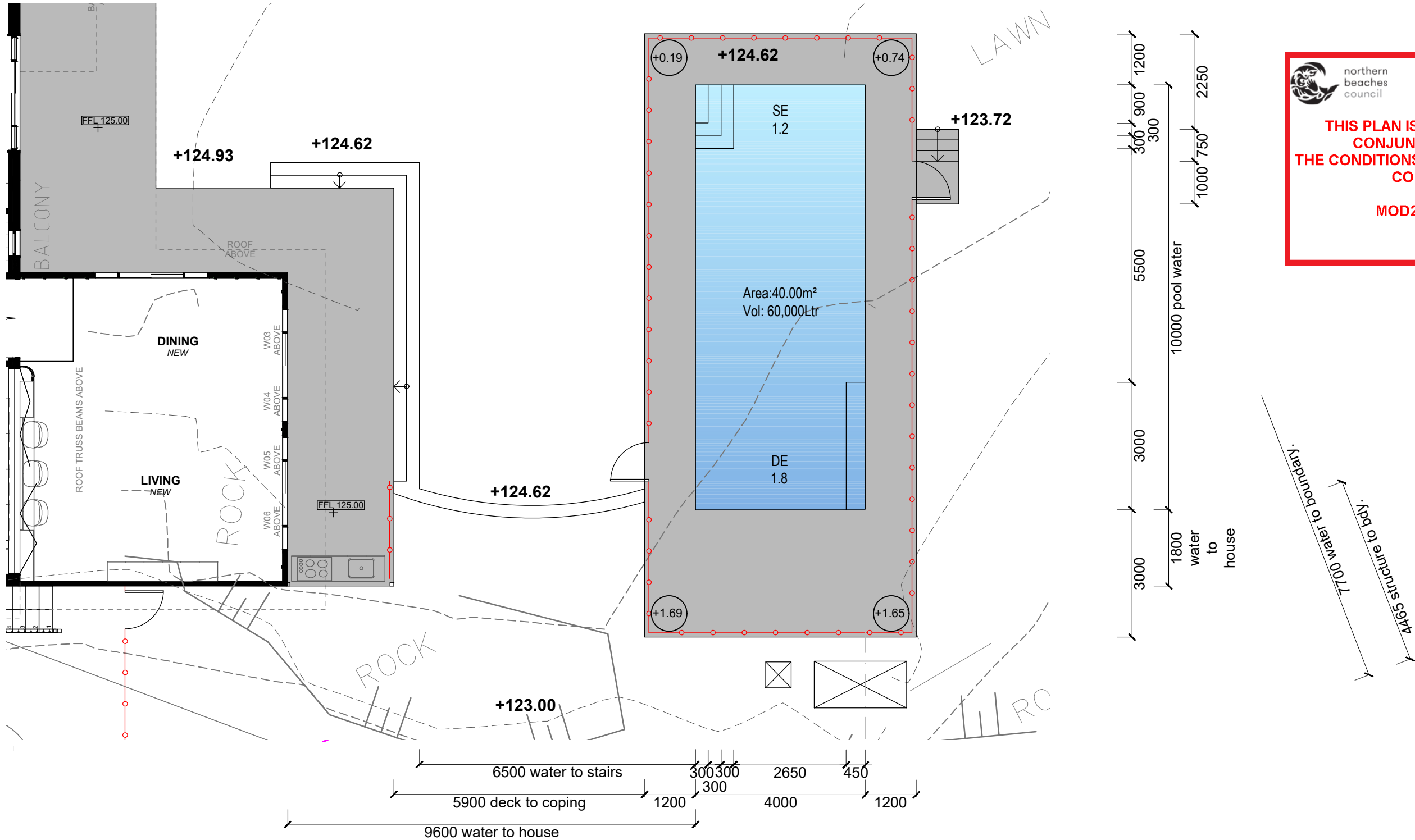
 progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL	CLIENTS: NINA & KRISTIAN REYNOLDS SITE ADDRESS: 4C MINKARA ROAD BAYVIEW, NSW, 2104	DRAWING TITLE: SECTIONS - C & D	
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		B	WINDOW & COL. CHANGE	SS	01.09.23				1:100 @A3	21/2/24
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									1010	DA19



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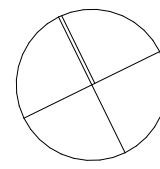
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

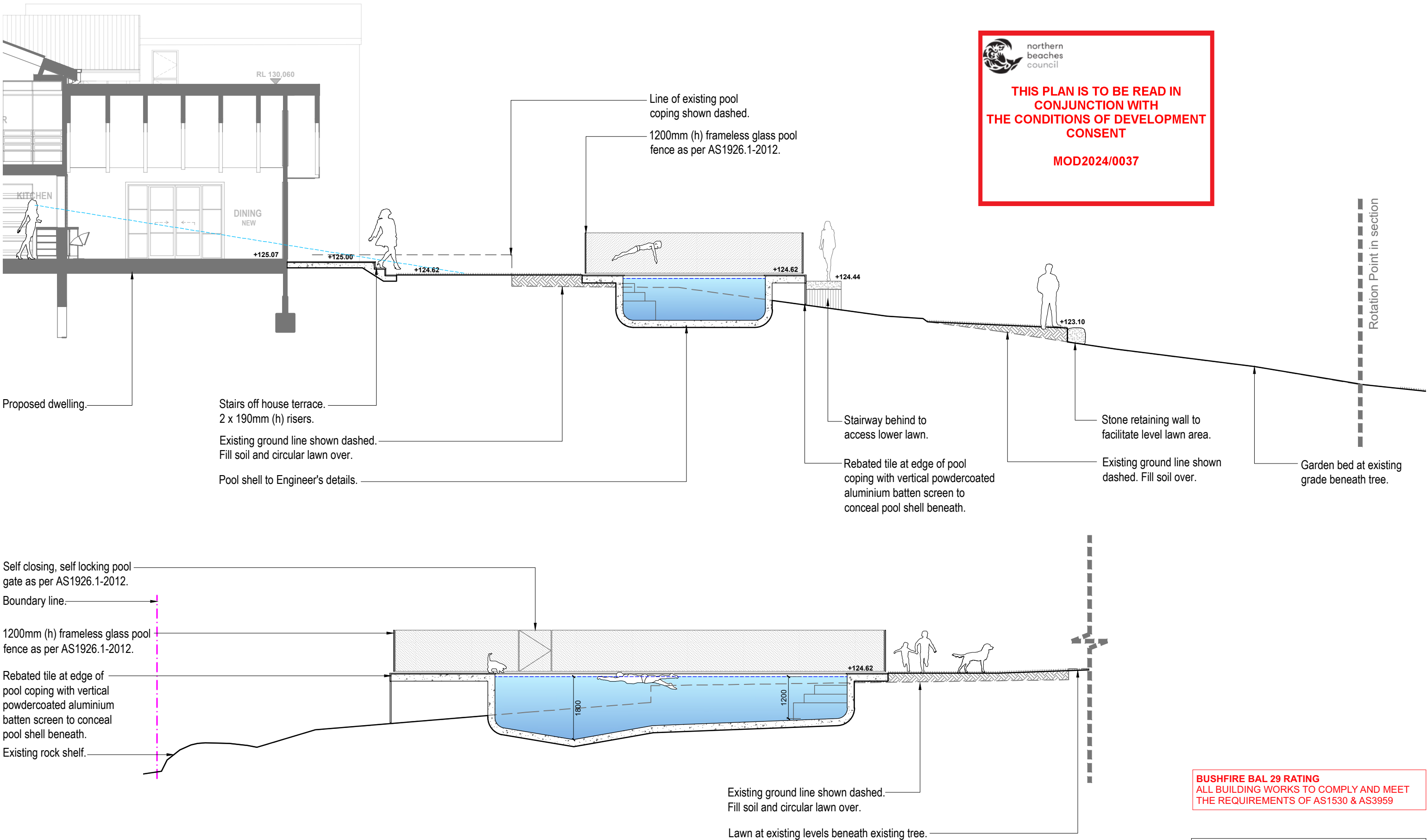
MOD2024/0037



BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: POOL PLAN TO SERENESCAPES
LANDSCAPE DESIGNS DETAILS

 progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	NORTH POINT 	CLIENTS: NINA & KRISTIAN REYNOLDS SITE ADDRESS: 4C MINKARA ROAD BAYVIEW, NSW, 2104	DRAWING TITLE: POOL PLANS	
		A	DA SUBMISSION	SS	13.06.23					SCALE: 1:100, 1:1 @A3	DATE: 21/2/24
		B	WINDOW & COL. CHANGE	SS	01.09.23					PROJECT NO: 1010	DRAWING NO: DA20
		C	S4.55 SUBMISSION	IA	21.02.24						



 progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES	THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	<table><tr><th>REV.</th><th>NOTES.</th><th>INITIAL</th><th>DATE</th></tr><tr><td>A</td><td>DA SUBMISSION</td><td>SS</td><td>13.06.23</td></tr><tr><td>B</td><td>WINDOW & COL. CHANGE</td><td>SS</td><td>01.09.23</td></tr><tr><td>C</td><td>S4.55 SUBMISSION</td><td>IA</td><td>21.02.24</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></table>	REV.	NOTES.	INITIAL	DATE	A	DA SUBMISSION	SS	13.06.23	B	WINDOW & COL. CHANGE	SS	01.09.23	C	S4.55 SUBMISSION	IA	21.02.24													LEGEND  EXISTING  DEMOLISHED  BOARD AND BATTENS  SANDSTONE WALL  TIMBER POST  GLASS  ROOF SHEETS	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL	CLIENTS: NINA & KRISTIAN REYNOLDS SITE ADDRESS: 4C MINKARA ROAD BAYVIEW, NSW, 2104	DRAWING TITLE: POOL SECTIONS <table><tr><td>SCALE: 1:100, 1:1 @A3</td><td>DATE: 21/2/24</td></tr><tr><td>PROJECT NO: 1010</td><td>DRAWING NO: DA21</td></tr></table>	SCALE: 1:100, 1:1 @A3	DATE: 21/2/24	PROJECT NO: 1010	DRAWING NO: DA21
	REV.	NOTES.	INITIAL	DATE																																			
	A	DA SUBMISSION	SS	13.06.23																																			
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SCALE: 1:100, 1:1 @A3	DATE: 21/2/24																																						
PROJECT NO: 1010	DRAWING NO: DA21																																						