

SCHEDULE OF KEY AMENDMENTS:

- 01

SOUTHERN ELEVATION WINDOW ARRANGEMENT & WALL SETBACK LOCATION. NUMBER OF WINDOWS ARE REDUCED AND THE WALL IS ALIGNED TO THE 1M SETBACK.
- 02

GALLERY LOCATION AND ROOF ORIENTATION. THE GALLERY IS MOVED TOWARDS THE SOUTH BOUNDARY.
- 03

PAVILION ROOF FLATTENED AND SIMPLIFIED.
- 04

DRIVEWAY AND ENTRY PATH CONFIGURATION IS ADJUSTED AND INCLUDES A NEW SCREEN.
- 05

BIN STORE LOCATION
- 06

LOWER GROUND FLOOR ARRANGEMENT & STAIR LOCATION
- 07

GENERAL DOOR & WINDOW RECONFIGURATIONS
- 08

POOL STORE IN THE SPACE BELOW THE SUN ROOM
- 09

PAVILION GROUND FLOOR ARRANGMENT & ENTRY RECONFIGURATION
- 10

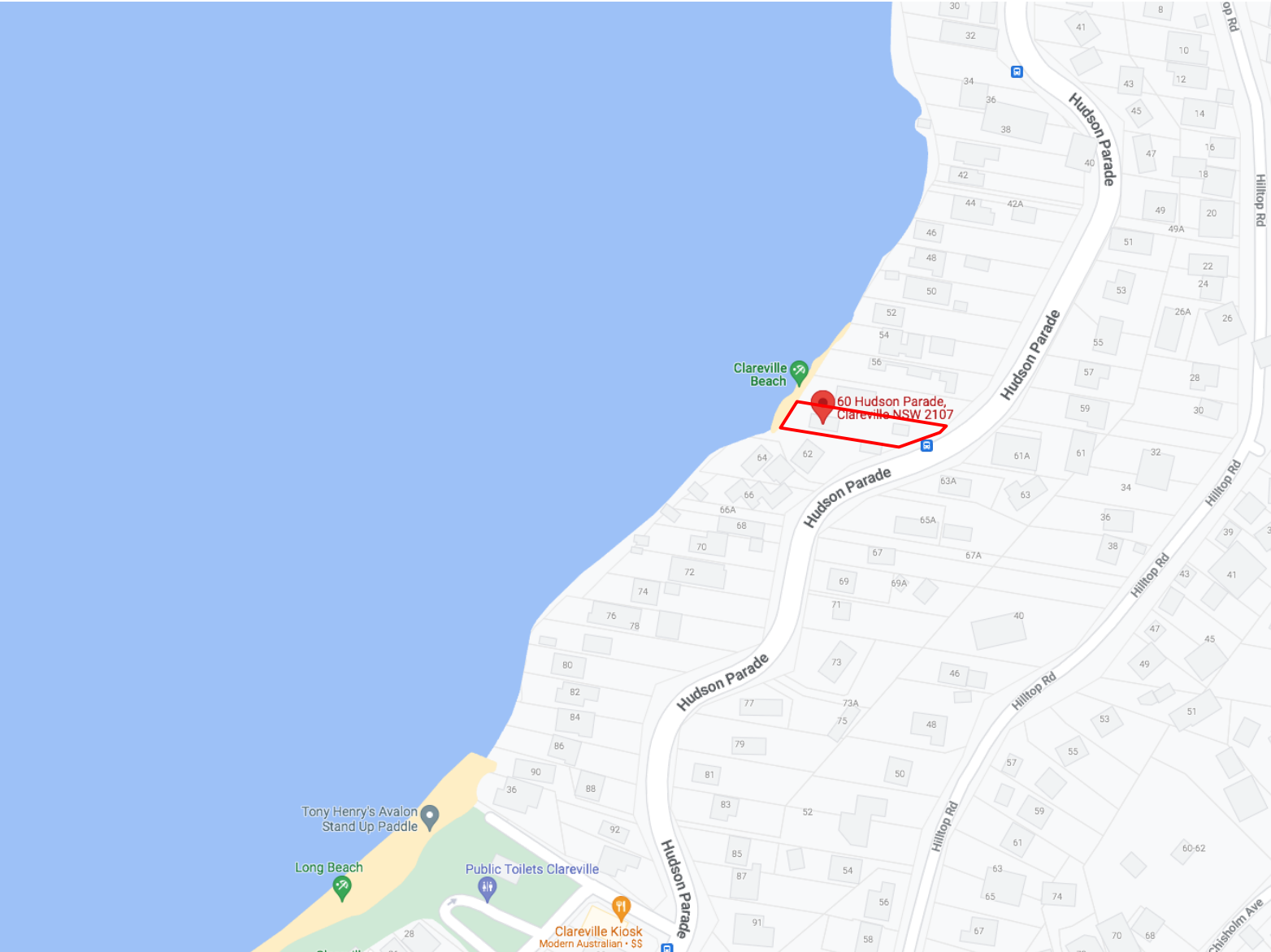
LANDSCAPE BETWEEN SUN ROOM & NORTHERN BOUNDARY REVERTED BACK TO APPROXIMATE EXISTING GROUND LEVEL
- 11

POOL SHAPE AMENDED IN ACCORDANCE WITH CONDITION 19. OUTLINED IN DA2022/1715 APPROVAL. THIS INCLUDES A DIRECTIONAL PRIVACY SCREEN AT A 45 DEGREE ANGLE ON TOP OF THE POOL WALL.
- 12

MINOR INCIDENTAL PLANNING ARRANGEMENT CHANGES
- 13

PAVILION FIRST FLOOR RE ARRANGEMENT TO ALLOW FOR A LANDING AT THE TOP OF THE STAIRS

SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.



LOCATION MAP
NTS



LOCATION MAP
NTS

60 HUDSON PRD, AVALON BEACH, NSW 2170
ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE

ARCHITECTURAL DRAWING LIST	
DWG NO.	TITLE
DA_000	COVER SHEET
DA_001	BASIX COMMITMENTS
DA_002	SITE ANALYSIS PLAN
DA_003	SITE PLAN
DA_004	DEMOLITION PLANS _ LOWER GROUND + GROUND FLOOR
DA_005	DEMOLITION PLANS _ LEVEL 01 + ROOF
DA_100	PROPOSED LOWER GROUND FLOOR PLAN
DA_101	PROPOSED GROUND FLOOR PLAN
DA_102	PROPOSED FIRST FLOOR PLAN
DA_103	PROPOSED ROOF PLAN
DA_112	CUT AND FILL PLAN
DA_200	EAST + WEST ELEVATIONS
DA_201	NORTH + SOUTH ELEVATIONS
DA_210	LONGITUDINAL SECTION
DA_211	CROSS SECTIONS
DA_301	SHADOW DIAGRAMS - SUN'S EYE VIEW
DA_302	SHADOW DIAGRAMS - SUN'S EYE VIEW
DA_400	CALCULATIONS - LANDSCAPE AREAS
DA_500	SCHEDULE OF COLOURS AND MATERIALS

NOTES

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	29/7/24	SC	ISSUED FOR \$4.55

LEGEND / KEY



Project:
**ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107**

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
COVER SHEET

Job Number:
2130

Scale:
NTS

Plot Date:
28/8/23

Drawing Status:
DA

Drawing No:
DA_000

Drawn By:
LR

Revision:
1

nominated architect: Dominic Bennett 7365 (NSW)

BASIX INCLUSIONS FOR ALTERATIONS AND ADDITIONS TO EXISTING DWELLING AS PER CERTIFICATE 1421376S_04:

WATER COMMITMENTS

LANDSCAPE

THE APPLICANT MUST PLANT INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT 337 SQUARE METRES OF THE SITE.

ALTERNATIVE WATER

THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 38000 LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.

SWIMMING POOL

THE SWIMMING POOL MUST NOT HAVE A VOLUME GREATER THAN 75 KILOLITRES.
THE SWIMMING POOL MUST BE OUTDOORS.

THERMAL COMFORT COMMITMENTS

SIMULATION METHOD

THE APPLICANT MUST SHOW ON THE PLANS ACCOMPANYING THE DEVELOPMENT APPLICATION FOR THE PROPOSED DEVELOPMENT, ALL MATTERS WHICH THE ASSESSOR CERTIFICATE REQUIRES TO BE SHOWN ON THOSE PLANS. THOSE PLANS MUST BEAR A STAMP OF ENDORSEMENT FROM THE ACCREDITED ASSESSOR TO CERTIFY THAT THIS IS THE CASE. THE APPLICANT MUST SHOW ON THE PLANS ACCOMPANYING THE APPLICATION FOR A CONSTRUCTION CERTIFICATE (OR COMPLYING DEVELOPMENT CERTIFICATE, IF APPLICABLE), ALL THERMAL PERFORMANCE SPECIFICATIONS SET OUT IN THE ASSESSOR CERTIFICATE, AND ALL ASPECTS OF THE PROPOSED DEVELOPMENT WHICH WERE USED TO CALCULATE THOSE SPECIFICATIONS.

CONSTRUCTION

THE APPLICANT MUST CONSTRUCT THE FLOORS AND WALLS OF THE DWELLING IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW.

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres

Energy Commitments

Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump.

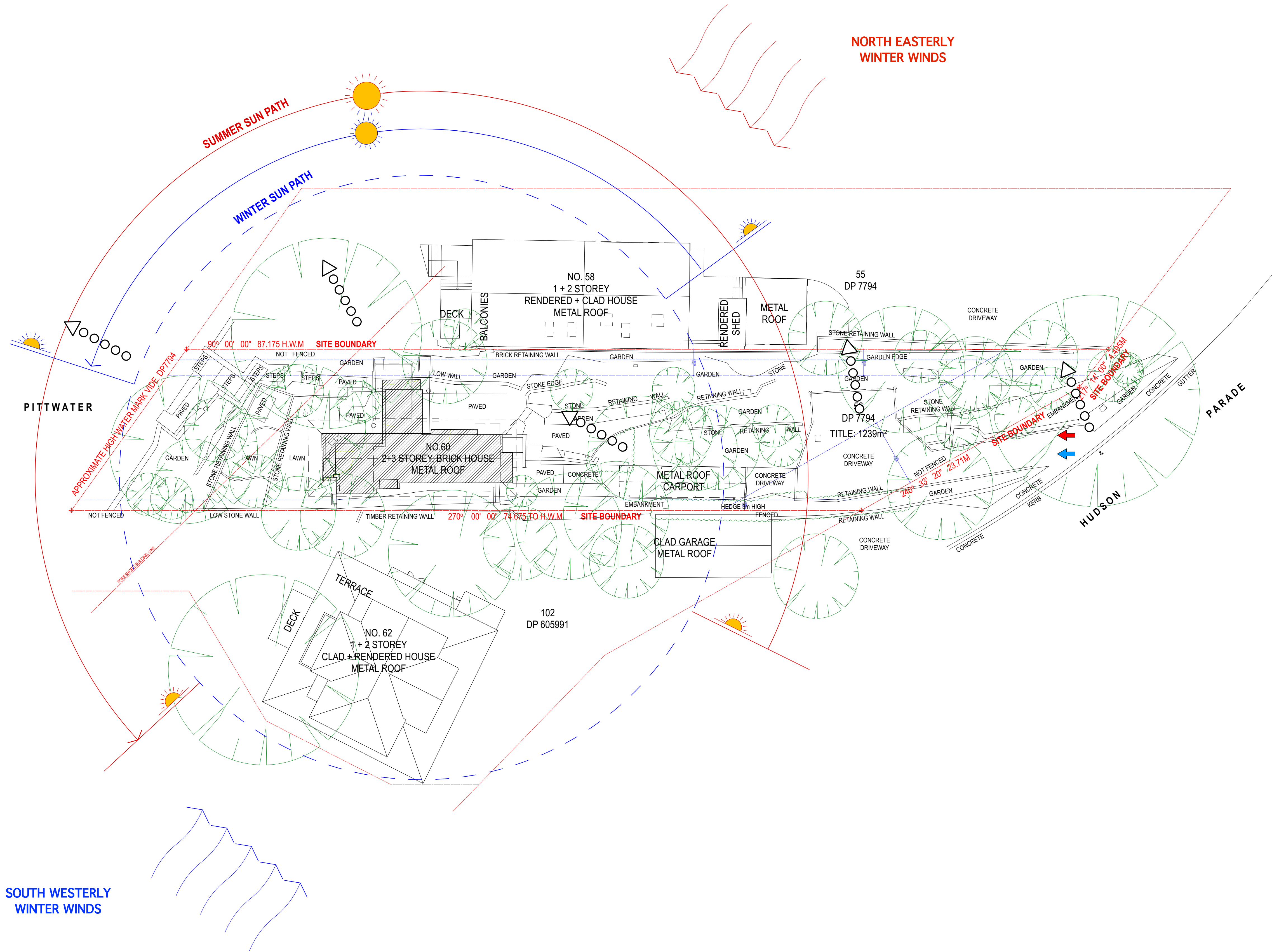
Natural lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting

Alternative energy

The applicant must install a photovoltaic system with the capacity to generate at least 10 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.



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LEGEND / KEY	
	EXISTING LANDSCAPED AREA
	EXISTING DEVELOPMENT
	BOUNDARY
	DRIVEWAY ACCESS
	PEDESTRIAN ACCESS
	VIEWS



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SITE ANALYSIS PLAN

Job Number:
2130

Scale:
1:200

Plot Date:
28/8/23

Drawing Status:
DA

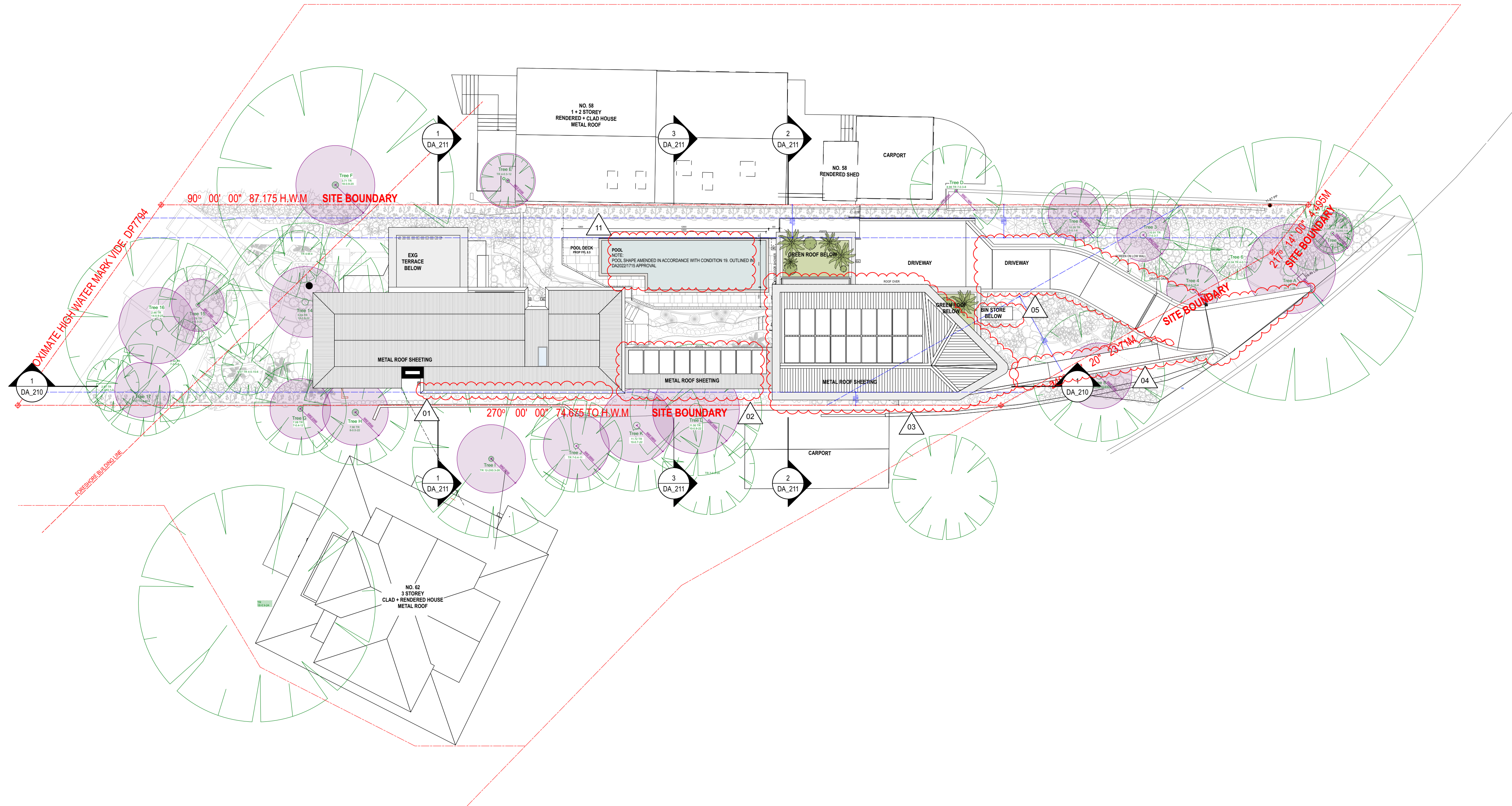
Drawing No:
DA_002

Drawn By:
LR

Revision:
1

nominated architect: Dominic Bennett 7365 (NSW)

- SCHEDULE OF KEY AMENDMENTS:**
- 01 SOUTHERN ELEVATION WINDOW ARRANGEMENT & WALL LOCATION
- 02 GALLERY LOCATION AND ROOF ORIENTATION
- 03 PAVILION ROOF FORM
- 04 DRIVEWAY AND ENTRY PATH CONFIGURATION, INCLUDING NEW SCREEN.
- 05 BIN STORE LOCATION
- 11 POOL SHAPE AMENDED IN ACCORDANCE WITH CONDITION 19, OUTLINED IN DA2022/1715 APPROVAL. THIS INCLUDES A DIRECTIONAL PRIVACY SCREEN AT A 45 DEGREE ANGLE ON TOP OF THE POOL WALL.



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- LEGEND / KEY**
- DEMOLISHED
 - SETBACK
 - DEMOLISHED TREE
 - EXISTING TREE



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SITE PLAN

Job Number:
2130

Scale:
1:200

Plot Date:
28/8/23

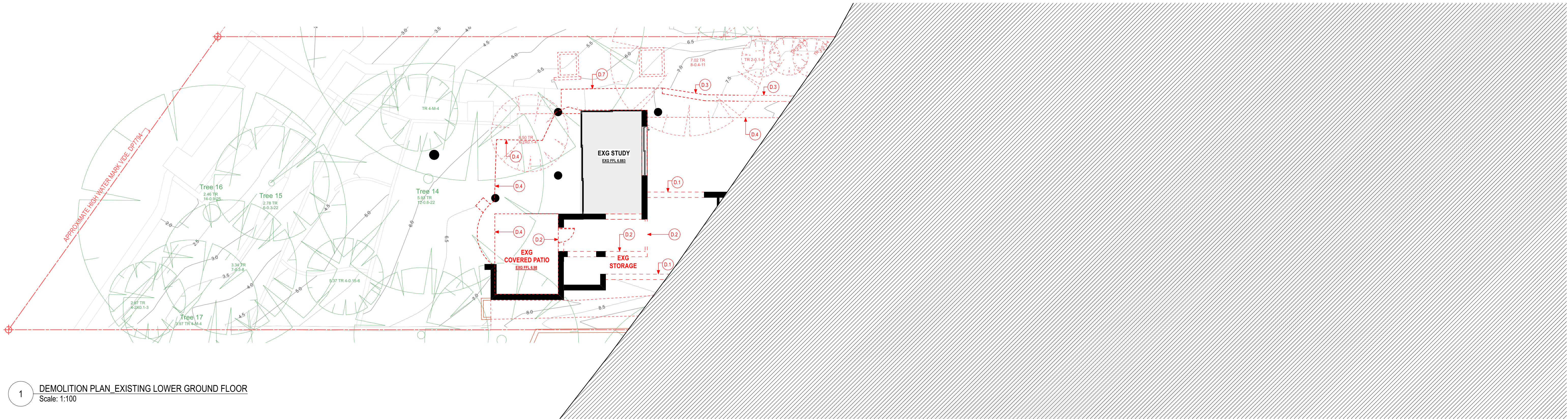
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DA

Drawing No:
DA_003

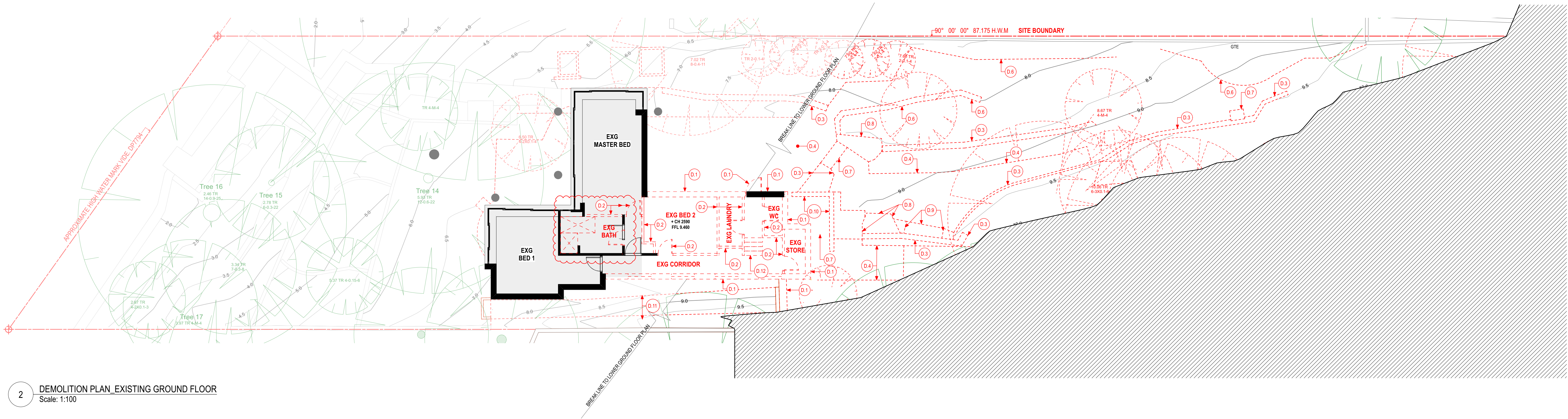
Drawn By:
LR

Revision:
1

nominated architect: Dominic Bennett 7365 (NSW)



1 DEMOLITION PLAN_EXISTING LOWER GROUND FLOOR
Scale: 1:100



2 DEMOLITION PLAN_EXISTING GROUND FLOOR
Scale: 1:100

DEMOLITION NOTES

SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.



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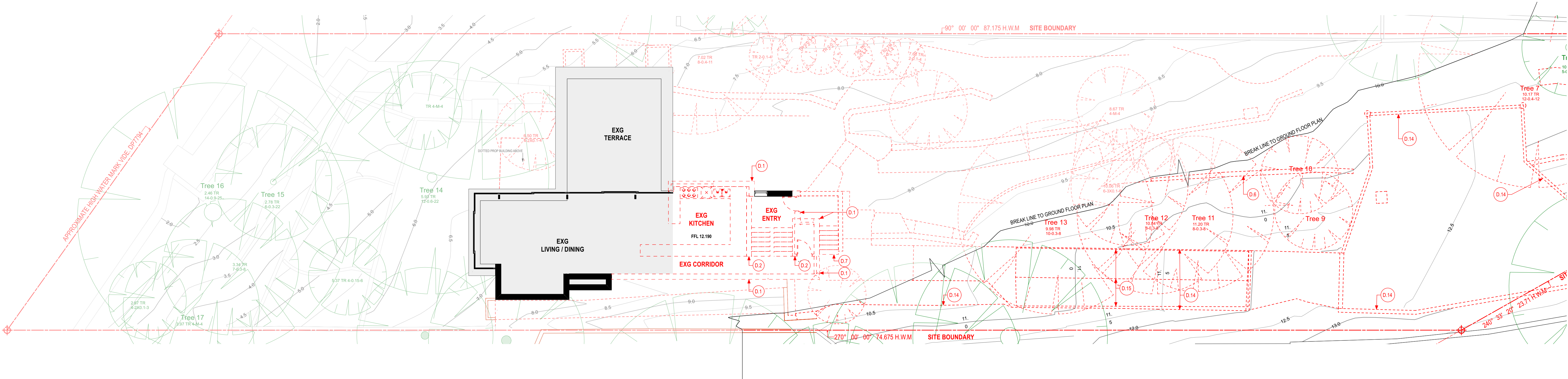
LEGEND / KEY
EXISTING WALL
DEMOLISHED WALL



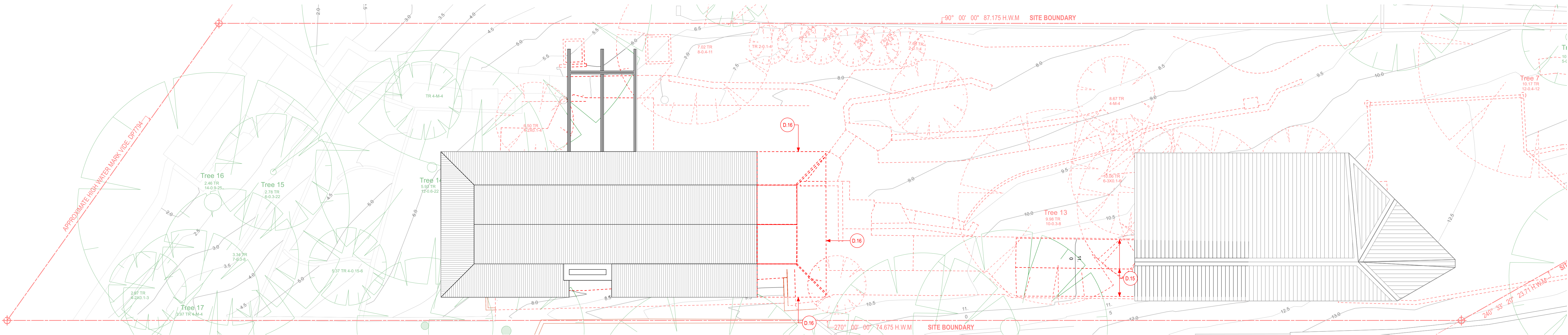
Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107
Client:
OLIVER & NICOLA HARTLEY
Drawing Name:
DEMOLITION PLANS - LOWER GROUND + GROUND

Job Number:
2130
Scale:
1:100
Plot Date:
28/8/23
Drawing Status:
DA
Drawing No:
DA_004
Drawn By:
LR
Revision:
1
nominated architect: Dominic Bennett 7365 (NSW)



1 DEMOLITION PLAN_EXISTING FIRST FLOOR
Scale: 1:100



2 DEMOLITION PLAN_EXISTING ROOF PLAN
Scale: 1:100

DEMOLITION NOTES

SECTION 4.55 (\$4.55) AMENDMENTS TO DA
APPROVAL DA2022/1715 SHOWN BUBBLED IN
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LEGEND / KEY
EXISTING WALL
DEMOLISHED WALL

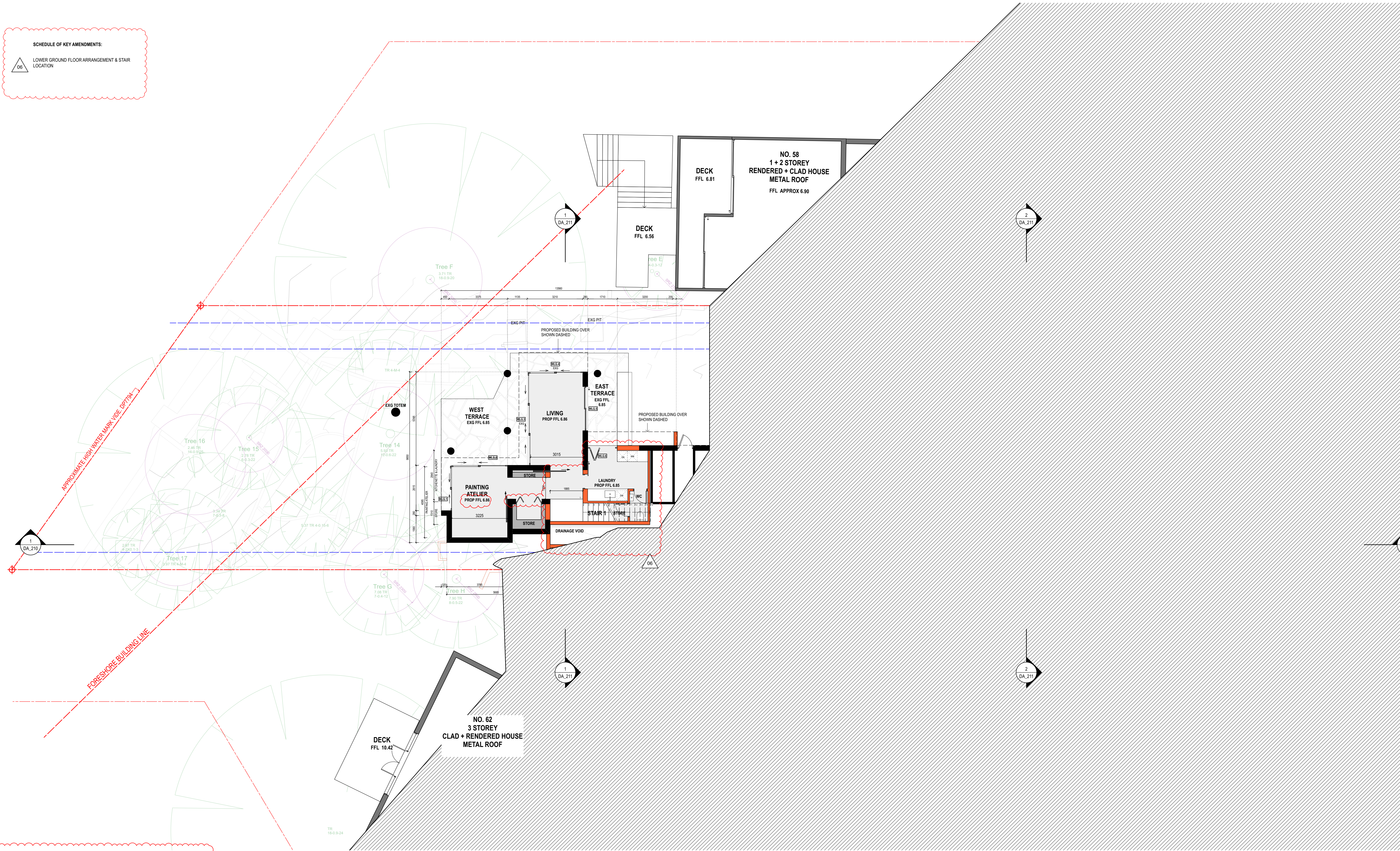


Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107
Client:
OLIVER & NICOLA HARTLEY
Drawing Name:
DEMOLITION PLANS - LEVEL 01 + ROOF

Job Number:
2130
Scale:
1:100
Plot Date:
28/8/23
Drawing Status:
DA
Drawing No:
DA_005
Drawn By:
LR
Revision:
1
nominated architect: Dominic Bennett 7365 (NSW)

SCHEDULE OF KEY AMENDMENTS:

06 LOWER GROUND FLOOR ARRANGEMENT & STAIR LOCATION



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LEGEND / KEY

EXISTING WALL

NEW WALL

EXISTING TREE

AWN AWINING
BDY BOUNDARY
BAL 1.2... BALUSTRADE TYPE 1.2...
BLK 1.2... BLOCKWORK TYPE 1.2...
BRK 1.2... BRICKWORK TYPE 1.2...
BG BOX GUTTER
BR BRICK
BRF BRICK FINISH
BY BALCONY
CLK 1.2... CLADDING TYPE 1.2...
CONC 1.2... CONCRETE FINISH TYPE 1.2...
DP DOWNPIPE
EXG EXISTING

EG FAC
FAC FASCIA
FBL 1.2... FIBRE CEMENT CLADDING
FBL 1.2... FINISHED FLOOR LEVEL
FNC 1.2... FENCE TYPE 1.2...
FNC 1.2... FENCE PANEL
GDR GARAGE DOOR
GTP GARAGE DOOR
HP HIGH POINT
HR1.2... HANDRAIL TYPE 1.2...
LP LOW POINT

MB MAILBOX
MRS METAL ROOF SHEETING
PAR PARAPET
PF PAINT FINISH
PT PLANTER
RWH RAINWATER HEAD
RWT RAINWATER TANK
SCM 1.2... SKYLIGHT
SL SLIDING
SS STAINLESS STEEL
STC STONE CLADDING
ST SOLAR TUBE SKYLIGHT



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED LOWER GROUND FLOOR PLAN_OP2

Job Number:
2130

Scale:
1:100

Plot Date:
19/4/24

Drawing Status:
\$4.55

Drawing No:
DA_100

Drawn By:
SC

Revision:
1

nominated architect: Dominic Bennett 7365 (NSW)

- SCHEDULE OF KEY AMENDMENTS:**
- 01 SOUTHERN ELEVATION WINDOW ARRANGEMENT & WALL LOCATION
 - 02 GALLERY LOCATION AND ROOF ORIENTATION. THE GALLERY IS MOVED TOWARDS THE SOUTH BOUNDARY
 - 04 DRIVEWAY AND ENTRY PATH CONFIGURATION INCLUDING NEW SCREEN.
 - 05 BIN STORE LOCATION
 - 06 LOWER GROUND FLOOR ARRANGEMENT & STAIR LOCATION
 - 07 GENERAL DOOR & WINDOW RECONFIGURATIONS
 - 08 POOL STORE
 - 09 PAVILION GROUND FLOOR ARRANGEMENT & ENTRY RECONFIGURATION
 - 10 LANDSCAPE BETWEEN SUN ROOM & NORTHERN BOUNDARY REVERTED BACK TO APPROXIMATE EXISTING GROUND LEVEL
 - 11 POOL SHAPE AMENDED IN ACCORDANCE WITH CONDITION 19. OUTLINED IN DA2022/1715 APPROVAL. THIS INCLUDES A DIRECTIONAL PRIVACY SCREEN IN LIEU OF A SOLID WALL.
 - 12 MINOR INCIDENTAL PLANNING ARRANGEMENT CHANGES

1 DA 210

2 DA 211

3 DA 211

4 DA 211

5 DA 211

6 DA 211

7 DA 211

8 DA 211

9 DA 211

10 DA 211

11 DA 211

12 DA 211

13 DA 211

14 DA 211

15 DA 211

16 DA 211

17 DA 211

18 DA 211

19 DA 211

20 DA 211

21 DA 211

22 DA 211

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0m 1m 2m 5m 10m

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LEGEND / KEY



AWN
BDY
BAL 1.2...
BLK 1.2...
BRK 1.2...
BG
BF
BR
BY
CLA 1.2...
CONC 1.2...
DP
EXG

AWNING
BOUNDARY
BALUSTRADE TYPE 1.2...
BLOCKWORK TYPE 1.2...
BRICKWORK TYPE 1.2...
BOX GUTTER
BIFOLDING
BRICK FINISH
BALCONY
CLADDING TYPE 1.2...
CONCRETE FINISH TYPE 1.2...
DOWNPIPE
EXISTING

EG
FAC
FB1.2...
FC
FFL
FNC1.2...
FNCIP
FP
GDR
GTP
HP
HR1.2...
LP

EAVES GUTTER
FASCIA
FACE BRICK TYPE 1.2...
FIBRE CEMENT CLADDING
FINISHED FLOOR LEVEL
FENCE TYPE 1.2...
POOL FENCE
FIXED PANEL
GARAGE DOOR
POOL GATE
HIGH POINT
HANDRAIL TYPE 1.2...
LOW POINT

MB
MRS
PAR
PF
PT
RWH
RWT
SCM1.2...
SKL
SL
SS
STC
ST

MAILBOX
METAL ROOF SHEETING
PARAPET
PAINT FINISH
PLANTER
RAINWATER HEAD
RAINWATER TANK
SCREEN TYPE 1.2...
SKYLIGHT
SLIDING
STAINLESS STEEL
STONE CLADDING
SOLAR TUBE SKYLIGHT

T
TD
TP
TR
TW

TIMBER
TIMBER DOOR
TIMBER POST
TIMBER FRAMED WINDOW



Project:
**ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107**

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED GROUND FLOOR PLAN

Job Number:
2130

Scale:
1:100

Plot Date:
19/4/24

Drawing Status:
\$4.55

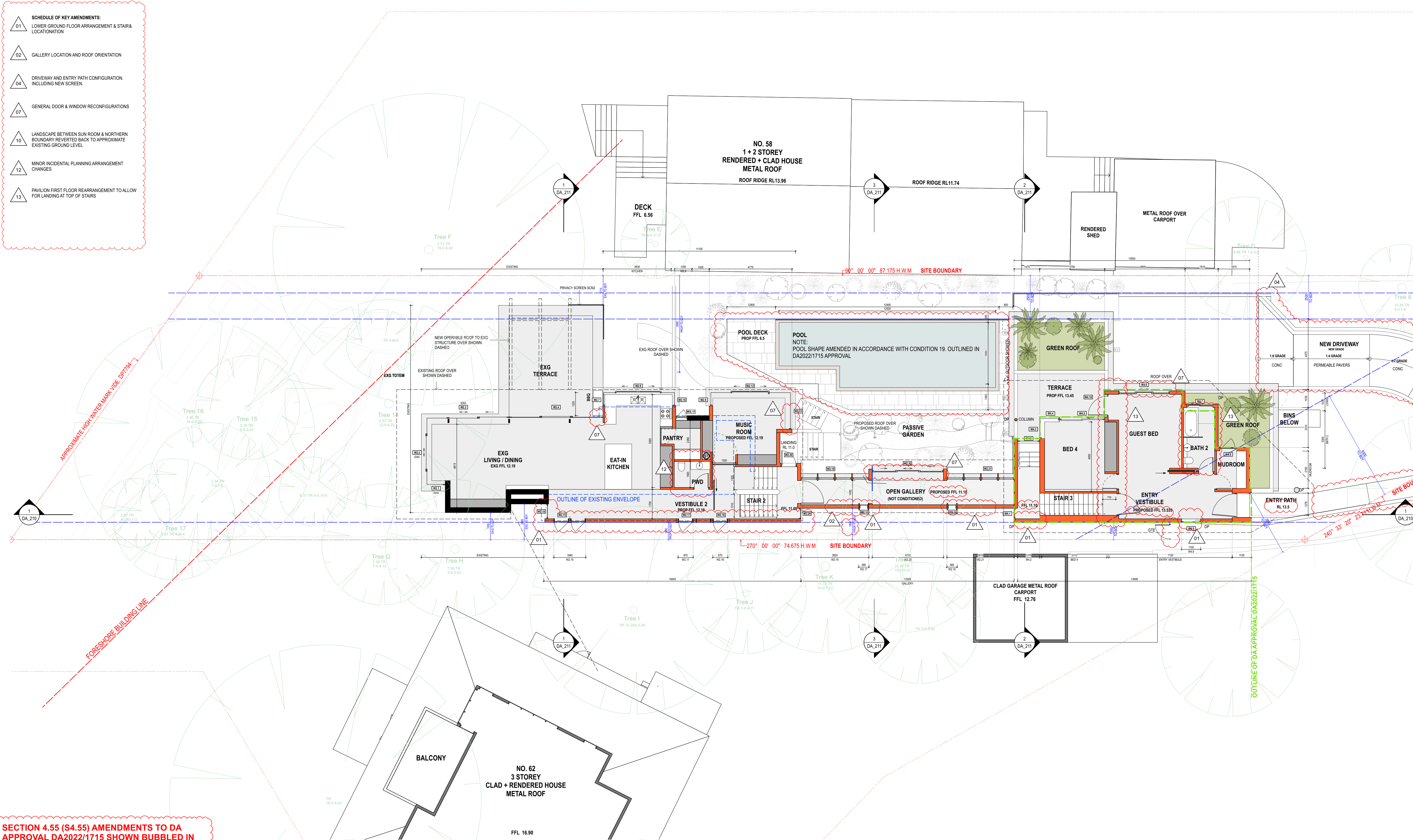
Drawing No:
DA_101

Drawn By:
SC

Revision:
1

nominated architect: Dominic Bennett 7365 (NSW)

- SCHEDULE OF KEY AMENDMENTS:**
- 01 LOWER GROUND FLOOR ARRANGEMENT & STAIRS LOCATIONATION
 - 02 GALLERY LOCATION AND ROOF ORIENTATION
 - 04 DRIVEWAY AND ENTRY PATH CONFIGURATION INCLUDING NEW SCREEN
 - 07 GENERAL DOOR & WINDOW RECONFIGURATIONS
 - 10 LANDSCAPE BETWEEN SUN ROOM & NORTHERN BOUNDARY REVERTED BACK TO APPROXIMATE EXISTING GROUND LEVEL
 - 12 MINOR INCIDENTAL PLANNING ARRANGEMENT CHANGES
 - 13 PAVILION FIRST FLOOR REARRANGEMENT TO ALLOW FOR LANDING AT TOP OF STAIRS



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0m 1m 2m 5m 10m

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1	29/7/24	SC	ISSUED FOR \$4.55

LEGEND / KEY

- EXISTING WALL
- NEW WALL
- EXISTING TREE

AWN AWNING
BDY BOUNDARY
BAL BALUSTRADE TYPE 1.2...
BLK BLOCKWORK TYPE 1.2...
BRK BRICKWORK TYPE 1.2...
BG BOX GUTTER
BF BRICK FINISH
BR BRICK FINISH
BY BALCONY
CL CLADDING TYPE 1.2...
CONC CONCRETE FINISH TYPE 1.2...
DP DOWNPIPE
EG EAVES GUTTER
FAC FASCIA
FB FIRE BRICK TYPE 1.2...
F FIRE CEMENT CLADDING
FNC FINISHED FLOOR LEVEL
FP FINISHED FLOOR LEVEL
GDR GARAGE DOOR
GTP GARAGE DOOR
HP HIGH POINT
HR1 HANDRAIL TYPE 1.2...
LP LOW POINT

MB MAILBOX
MRS METAL ROOF SHEETING
PAR PARAPET
PF PAINT FINISH
PT PLASTER
RWH RAINWATER HEAD
RWT RAINWATER TANK
SCM SCREEN TYPE 1.2...
SKL SKYLIGHT
SL SLIDING
SS STAINLESS STEEL
STC STONE CLADDING
ST SOLAR TUBE SKYLIGHT

T TIMBER
TD TIMBER DOOR
TP TIMBER POST
TR TREE
TW TIMBER FRAMED WINDOW

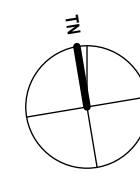
Bennett Murada Architects

Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED FIRST FLOOR PLAN

Job Number:
2130
Scale:
1:100
Plot Date:
19/4/24
Drawing Status:
\$4.55
Drawing No:
DA_102
Job Number:
2130
Scale:
1:100
Plot Date:
19/4/24
Drawing Status:
\$4.55
Drawing No:
DA_102
Drawn By:
SC
Revision:
1
nominated architect: Dominic Bennett 7365 (NSW)



- SCHEDULE OF KEY AMENDMENTS:**
- 01 SOUTHERN ELEVATION WINDOW ARRANGEMENT & WALL LOCATION
 - 02 GALLERY LOCATION AND ROOF ORIENTATION
 - 03 PAVILION ROOF FORM
 - 04 DRIVEWAY AND ENTRY PATH CONFIGURATION, INCLUDING NEW SCREEN.
 - 05 BIN STORE LOCATION
 - 07 GENERAL DOOR & WINDOW RECONFIGURATIONS

APPROXIMATE HIGH WATER MARK (PDE DP7084)

FORESHORE BUILDING LINE

SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.

0.5m 1m 2m 5m 10m

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Rev.	Date	Issued By	Revision Notes
1	29/7/24	SC	ISSUED FOR \$4.55

LEGEND / KEY

AWN	AWNING	EG	EAVES GUTTER	MB	MAILBOX	T	TIMBER
BDY	BOUNDARY	FAC	FASCIA	MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
BAL 1.2...	BALUSTRADE TYPE 1.2...	FB1.2...	FACE BRICK TYPE 1.2...	PAR	PARAPET	TP	TIMBER POST
BLK 1.2...	BLOCKWORK TYPE 1.2...	FC	FIBRE CEMENT CLADDING	PF	PAINT FINISH	TR	TREE
BRK 1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL	PT	PLANTER	TW	TIMBER FRAMED WINDOW
BG	BOX GUTTER	FNC1.2...	FENCE TYPE 1.2...	RWH	RAINWATER HEAD		
BF	BI-FOLDING	FNCIP	POOL FENCE	RWT	RAINWATER TANK		
BR	BRICK FINISH	FP	FIXED PANEL	SCM1.2...	SCREEN TYPE 1.2...		
BY	BALCONY	GDR	GARAGE DOOR	SKL	SKYLIGHT		
CLA 1.2...	CLADDING TYPE 1.2...	GTP	POOL GATE	SL	SLIDING		
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	HP	HIGH POINT	SS	STAINLESS STEEL		
DP	DOWNSPIPE	HR1.2...	HANDRAIL TYPE 1.2...	STC	STONE CLADDING		
EXG	EXISTING	LP	LOW POINT	ST	SOLAR TUBE SKYLIGHT		



Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED ROOF PLAN

Job Number:

2130

Scale:

1:100

Plot Date:

28/8/23

Drawing Status:

DA

Drawing No:

DA_103

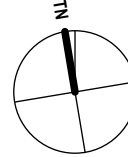
Drawn By:

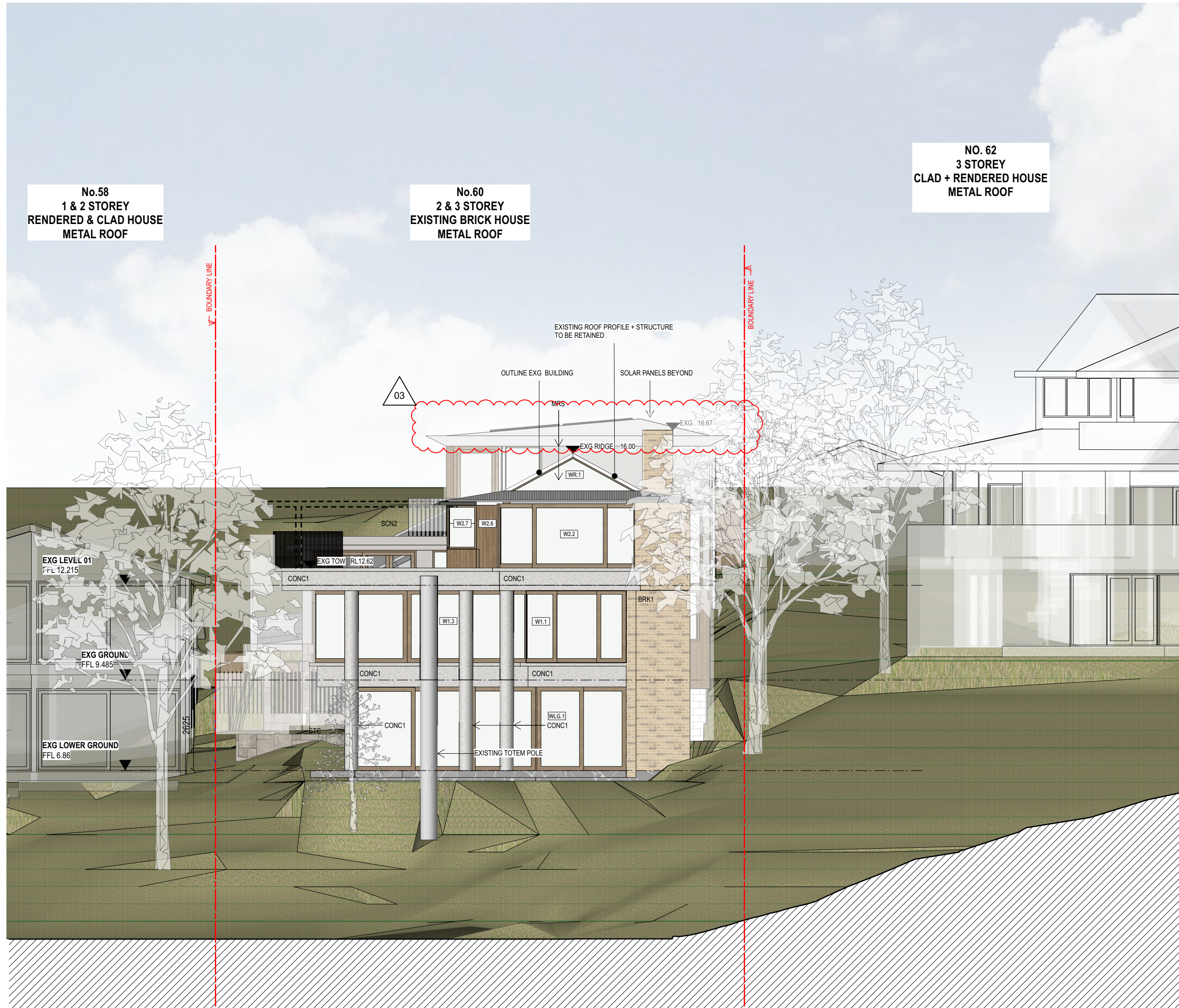
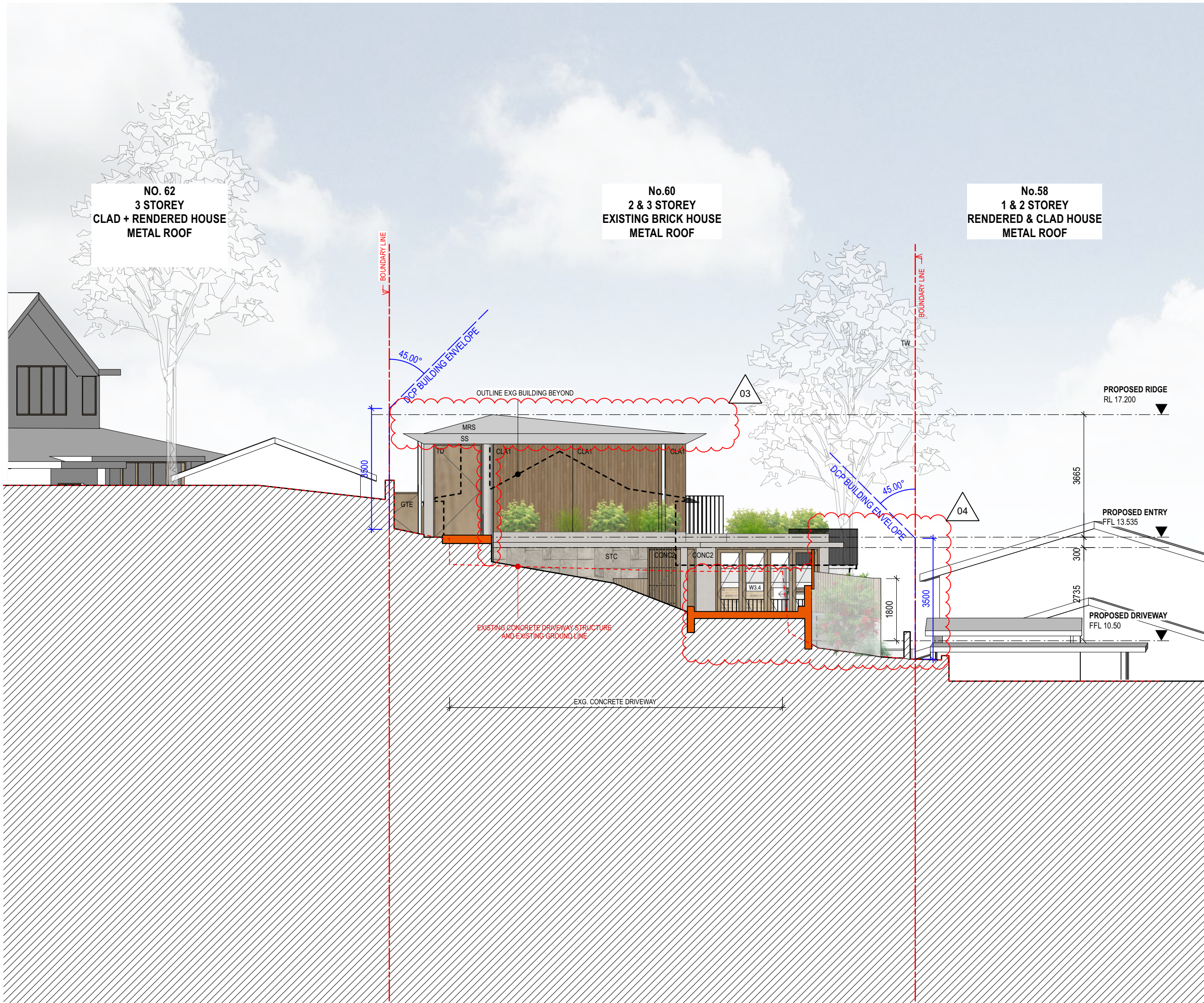
LR

Revision:

1

nominated architect: Dominic Bennett 7365 (NSW)





SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING AND SITE GRADING DETAILS



NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	29/7/24	SC	ISSUED FOR S4.55

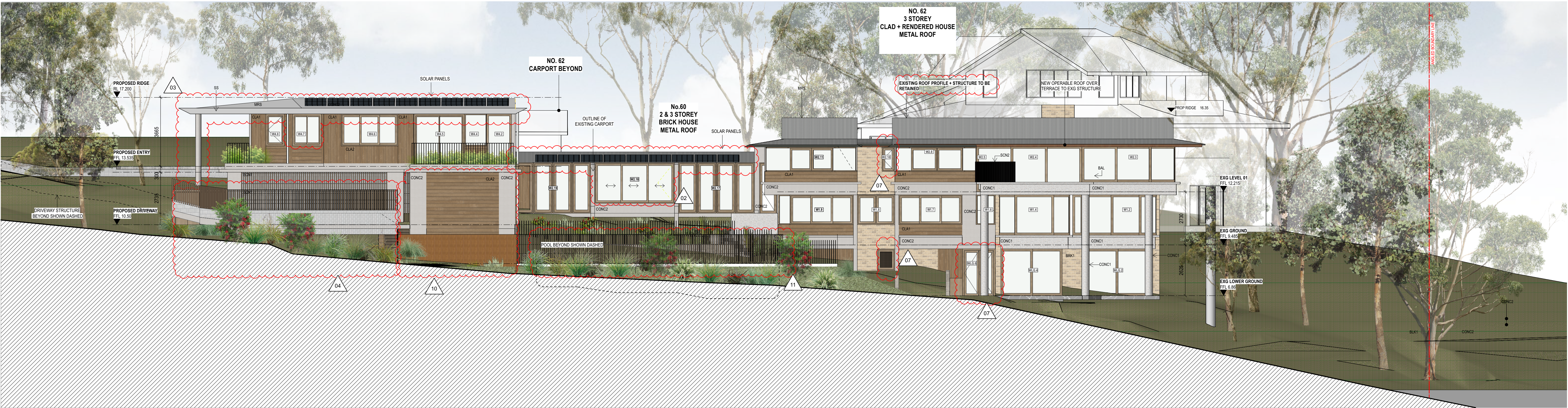
LEGEND / KEY			
AWN	AWNING	EG	EAVES GUTTER
BDY	BOUNDARY	FAC	FASCIA
BAL 1.2...	BALUSTRADE TYPE 1.2...	FB1.2...	FACE BRICK TYPE 1.2...
BLK 1.2...	BLOCKWORK TYPE 1.2...	FC	FIBRE CEMENT CLADDING
BRK 1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL
BG	BOX GUTTER	FNC1.2...	FENCE TYPE 1.2...
BF	BI-FOLDING	FNCIP	POOL FENCE
BR	BRICK FINISH	FP	FIXED PANEL
BY	BALCONY	GDR	GARAGE DOOR
CLA 1.2...	CLADDING TYPE 1.2...	GTP	POOL GATE
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	HP	HIGH POINT
DP	DOWNPIPE	HR1.2...	HANDRAIL TYPE 1.2...
EXG	EXISTING	LP	LOW POINT
MB	MAILBOX	MB	MAILBOX
MRS	METAL ROOF SHEETING	MRS	METAL ROOF SHEETING
PAR	PARAPET	PAR	PARAPET
PF	PAINT FINISH	PF	PAINT FINISH
PT	PLANTER	PT	PLANTER
RWH	RAINWATER HEAD	RWH	RAINWATER HEAD
RWT	RAINWATER TANK	RWT	RAINWATER TANK
SCM1.2...	SCREEN TYPE 1.2...	SKL	SKYLIGHT
SL	SLIDING	SL	SLIDING
SS	STAINLESS STEEL	SS	STAINLESS STEEL
STC	STONE CLADDING	STC	STONE CLADDING
ST	SOLAR TUBE SKYLIGHT	ST	SOLAR TUBE SKYLIGHT

T	TIMBER
TD	TIMBER DOOR
TP	TIMBER POST
TR	TREE
TW	TIMBER FRAMED WINDOW



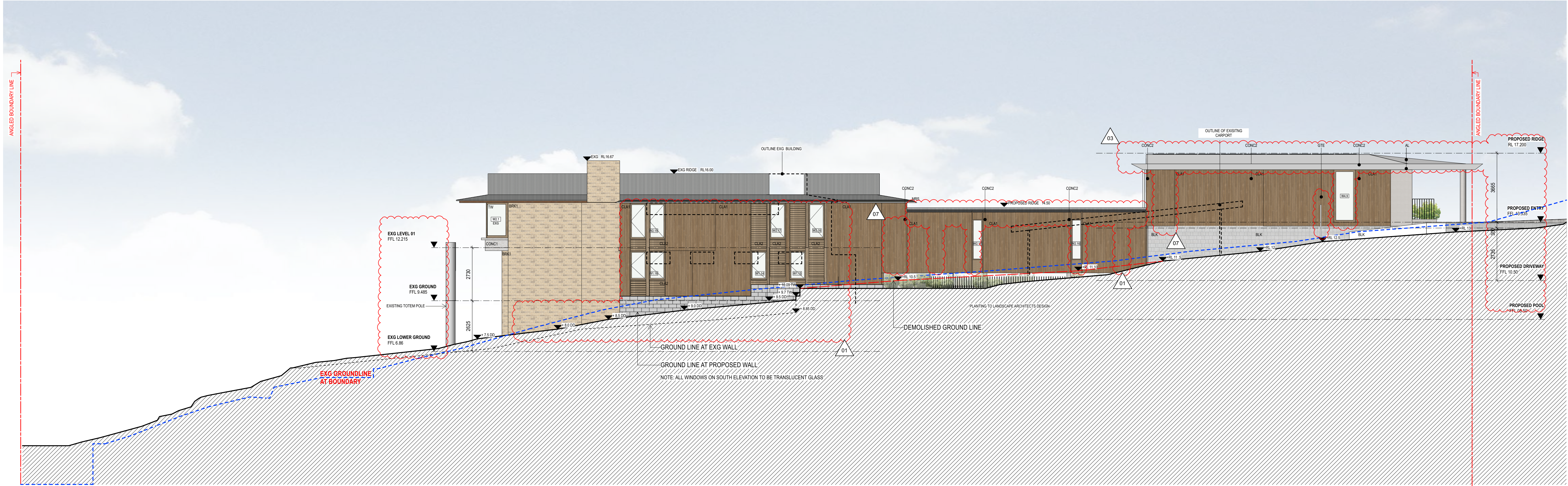
Project:	ALTS & ADS TO EXISTING HOUSE
	60 HUDSON PDE, CLAREVILLE NSW 2107
Client:	OLIVER & NICOLA HARTLEY
Drawing Name:	EAST + WEST ELEVATIONS

Job Number:	2130
Scale:	1:100
Plot Date:	28/8/23
Drawing Status:	DA
Drawing No:	DA 200
Drawn By:	LR
Revision:	1



1 North Elevation
Scale: 1:100

NOTE: REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING AND SITE GRADING DETAILS



2 South Elevation
Scale: 1:100

SECTION 4.55 (S4.55) AMENDMENTS TO DA
APPROVAL DA2022/1715 SHOWN BUBBLED IN
RED.

5m 1m 2m 5m 10m

NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	29/7/24	SC	ISSUED FOR S4.55

LEGEND / KEY	
	EXISTING WALL
	NEW WALL

AWN	AWNING	EG	EAVES GUTTER	MB	MAILBOX	T	TIMBER
BDY	BOUNDARY	FAC	FASCIA	MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
BAL 1.2...	BALUSTRADE TYPE 1.2...	FB 1.2...	FIRE BRICK/FIRE 1.2...	PAR	PARAPET	TP	TIMBER POST
BLK 1.2...	BLOCKWORK TYPE 1.2...	F-3	FIRE CEMENT CLADDING	PF	PAINT FINISH	TR	TREE
BRK 1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL	PT	PLANTER	TW	TIMBER FRAMED WINDOW
BG	BOX GUTTER	FNC 1.2...	FENCE TYPE 1.2...	RWH	RAINWATER HEAD		
BF	BH-FOLDING	FNC.P	POOL FENCE	RWT	RAINWATER TANK		
BR	BRICK FINISH	FNC.P	RED PANEL	SCM 1.2...	SCREEN TYPE 1.2...		
BY	BALCONY	GDR	GARAGE DOOR	SKL	SKYLIGHT		
CLK 1.2...	CLADDING TYPE 1.2...	GTP	POOL GATE	SL	SLIDING		
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	HP	HIGH POINT	SS	STAINLESS STEEL		
DP	DOWNPIPE	HR 1.2...	HANDRAIL TYPE 1.2...	STC	STONE CLADDING		
EXG	EXISTING	LP	LOW POINT	ST	SOLAR TUBE SKYLIGHT		



Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurda.com.au

Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107
Client:
OLIVER & NICOLA HARTLEY
Drawing Name:
NORTH + SOUTH ELEVATIONS

Job Number:
2130
Scale:
1:100
Plot Date:
19/4/24
Drawing Status:
S4.55
Drawing No:
DA 201
Job Number:
2130
Scale:
1:100
Plot Date:
19/4/24
Drawing Status:
S4.55
Drawing No:
DA 201
Revision:
1
nominated architect: Dominic Bennett 7365 (NSW)



NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes

LEGEND / KEY	
	EXISTING WALL
	NEW WALL

AWN	AWNING	EG	EAVES GUTTER	MB	MAILBOX	T	TIMBER
BDY	BOUNDARY	FAC	FASCIA	MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
BAL 1.2...	BALUSTRADE TYPE 1.2...	FB1.2...	FACE BRICK TYPE 1.2...	PAR	PARAPET	TP	TIMBER POST
BLK 1.2...	BLOCKWORK TYPE 1.2...	FC	FIBRE CEMENT CLADDING	PF	PAINT FINISH	TR	TREE
BRK 1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL	PT	PLANTER	TW	TIMBER FRAMED WINDOW
BG	BOX GUTTER	FNC1.2...	FENCE TYPE 1.2...	RWH	RAINWATER HEAD		
BF	BIFOLDING	FNCIP	POOL FENCE	RWT	RAINWATER TANK		
BR	BRICK FINISH	FP	FIXED PANEL	SCM1.2...	SCREEN TYPE 1.2...		
BY	BALCONY	GDR	GARAGE DOOR	SKL	SKYLIGHT		
CLA 1.2...	CLADDING TYPE 1.2...	GTP	POOL GATE	SL	SLIDING		
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	HP	HIGH POINT	SS	STAINLESS STEEL		
DP	DOWNPIPE	HR1.2...	HANDRAIL TYPE 1.2...	STC	STONE CLADDING		
EXG	EXISTING	LP	LOW POINT	ST	SOLAR TUBE SKYLIGHT		



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Project:	ALTS & ADS TO EXISTING HOUSE
	60 HUDSON PDE, CLAREVILLE NSW 2107
Client:	OLIVER & NICOLA HARTLEY
Drawing Name:	SOUTH ELEVATION

Job Number:	2130
Scale:	1:50 @ A1
Plot Date:	5/8/24
Drawing Status:	DA
Drawing No:	DA_202
Drawn By:	SH
Revision:	

nominated architect: Dominic Bennett 7365 (NSW)

ANGLED BOUNDARY LINE



1 SECTION A
Scale: 1:100

SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	29/7/24	SC	ISSUED FOR \$4.55

LEGEND / KEY	
	EXISTING WALL
	NEW WALL

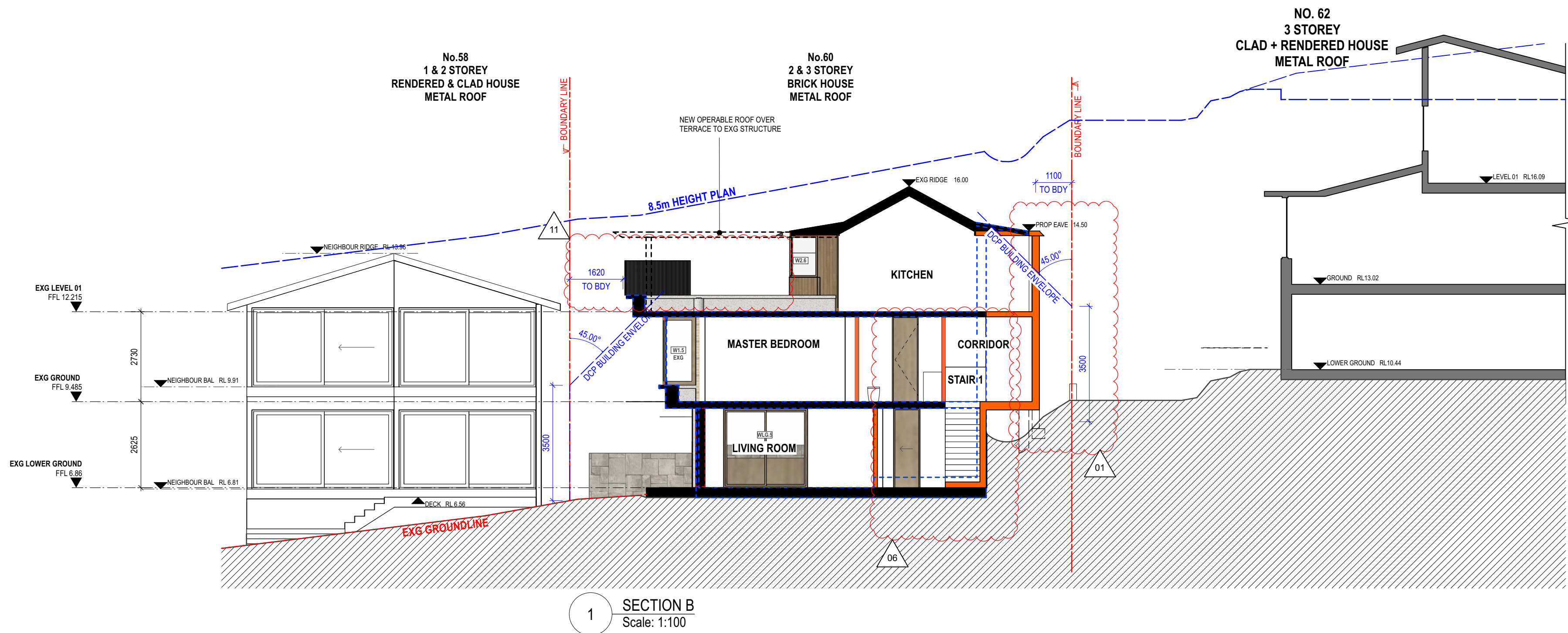
AWN	AWNING	EG	EAVES GUTTER
BDY	BOUNDARY	FAC	FASCIA
BAL 1.2...	BALUSTRADE TYPE 1.2...	FB 1.2...	FACE BRICKWORK TYPE 1.2...
BULK 1.2...	BLOCKWORK TYPE 1.2...	F3	FIRE CEMENT CLADDING
BRK 1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL
BG	BOX GUTTER	FNC 1.2...	FENCE TYPE 1.2...
BR	BRICK FINISH	FNC P	FENCE PANEL
BY	BALCONY	GDR	GARAGE DOOR
CLK 1.2...	CLADDING TYPE 1.2...	GTP	GARAGE DOOR
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	HP	HIGH POINT
DP	DOWNPIPE	HR 1.2...	HANDRAIL TYPE 1.2...
EXG	EXISTING	LP	LOW POINT

MB	MAILBOX	T	TIMBER
MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
PAR	PARAPET	TP	TIMBER POST
PF	PAINT FINISH	TR	TREE
PT	PLANTER	TW	TIMBER FRAMED WINDOW
RWH	RAINWATER HEAD		
RWT	RAINWATER TANK		
SCM 1.2...	SCREEN TYPE 1.2...		
SKL	SKYLIGHT		
SL	SLIDING		
SS	STAINLESS STEEL		
STC	STONE CLADDING		
ST	SOLAR TUBE SKYLIGHT		

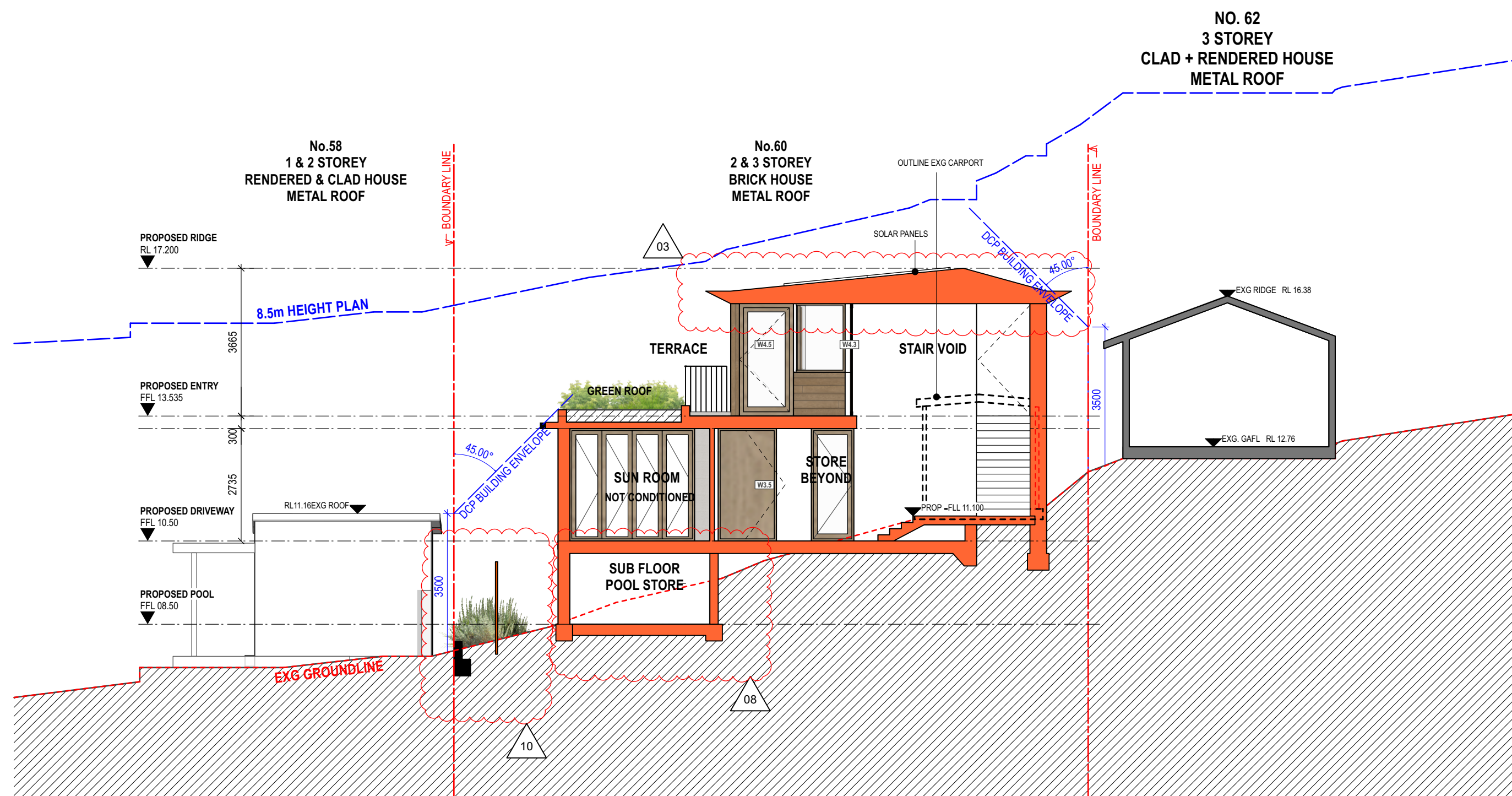


Project:	ALTS & ADS TO EXISTING HOUSE 60 HUDSON PDE, CLAREVILLE NSW 2107
Client:	OLIVER & NICOLA HARTLEY
Drawing Name:	LONGITUDINAL SECTION

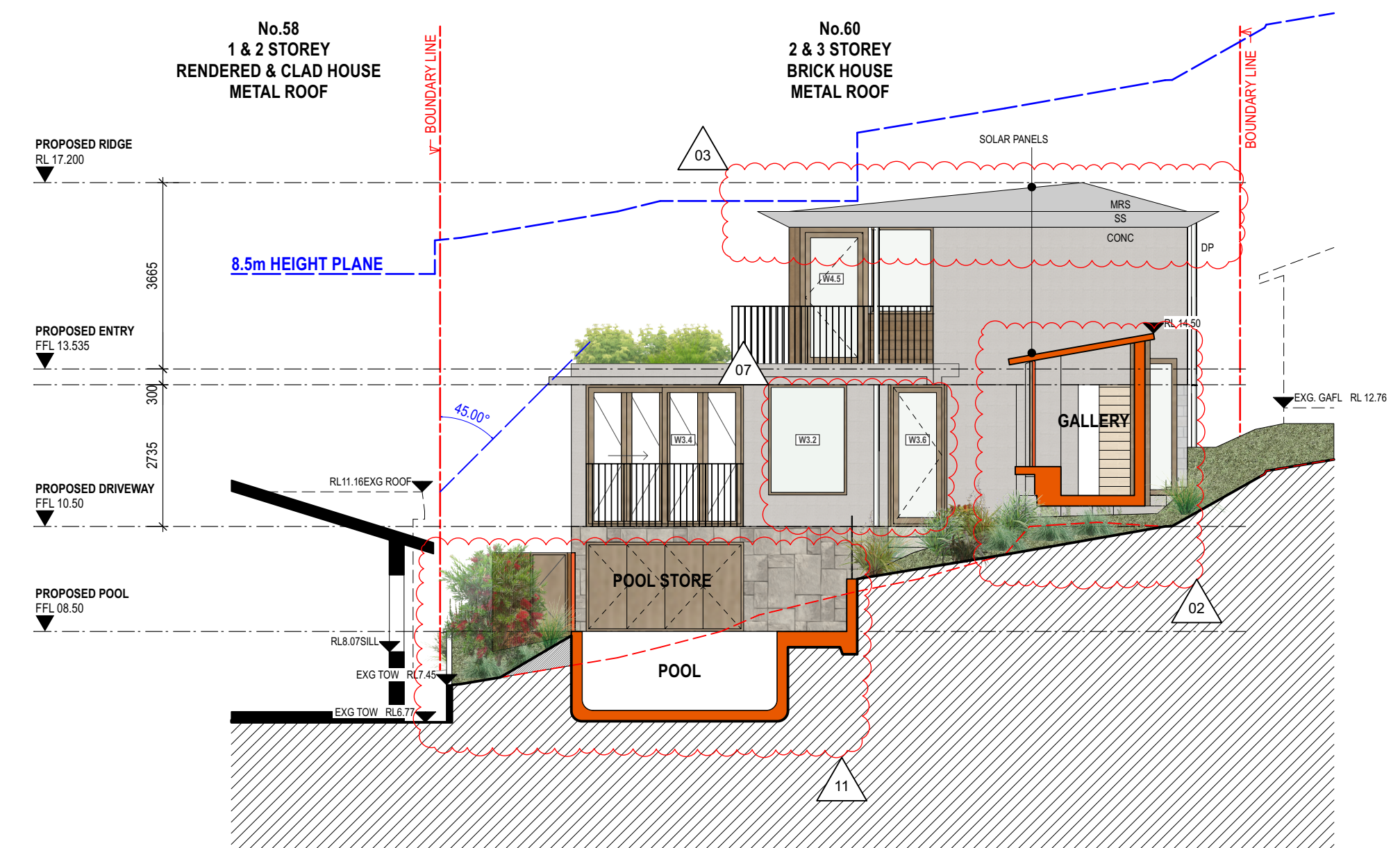
Job Number:	2130
Scale:	1:100
Plot Date:	28/8/23
Drawing Status:	DA
Drawing No:	DA 210
Drawn By:	LR
Revision:	1



1 SECTION B
Scale: 1:100



2 SECTION C
Scale: 1:100



3 SECTION D
Scale: 1:100

SECTION 4.55 (\$4.55) AMENDMENTS TO DA
APPROVAL DA2022/1715 SHOWN BUBBLED IN
RED.



NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	29/7/24	SC	ISSUED FOR \$4.55

LEGEND / KEY

AWN	AWNING
BDY	BOUNDARY
BAL 1.2...	BALUSTRADE TYPE 1.2...
BLK 1.2...	BLOCKWORK TYPE 1.2...
BRK 1.2...	BRICKWORK TYPE 1.2...
BG	BOX GUTTER
BF	BIFOLDING
BR	BRICK FINISH
BY	BALCONY
CLA 1.2...	CLADDING TYPE 1.2...
CONC 1.2...	CONCRETE FINISH TYPE 1.2...
DP	DOWNPIPE
EXG	EXISTING

EG	EAVES GUTTER
FAC	FASCIA
FBI 1.2...	FACE BRICK TYPE 1.2...
FC	FIBRE CEMENT CLADDING
FFL 1.2...	FINISHED FLOOR LEVEL
FNC 1.2...	FENCE TYPE 1.2...
FNC/P	POOL FENCE
FP	FIXED PANEL
GDR	GARAGE DOOR
GTP	POOL GATE
HP	HIGH POINT
HR 1.2...	HANDRAIL TYPE 1.2...
LP	LOW POINT

MB	MAILBOX
MRS	METAL ROOF SHEETING
PAR	PARAPET
PF	PAINT FINISH
PT	PLANTER
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
SCN 1.2...	SCREEN TYPE 1.2...
SKL	SKYLIGHT
SL	SLIDING
SS	STAINLESS STEEL
STC	STONE CLADDING
ST	SOLAR TUBE SKYLIGHT

T	TIMBER
TD	TIMBER DOOR
TP	TIMBER POST
TR	TREE
TW	TIMBER FRAMED WINDOW



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
CROSS SECTIONS

Job Number:
2130

Scale:
1:100

Plot Date:
28/8/23

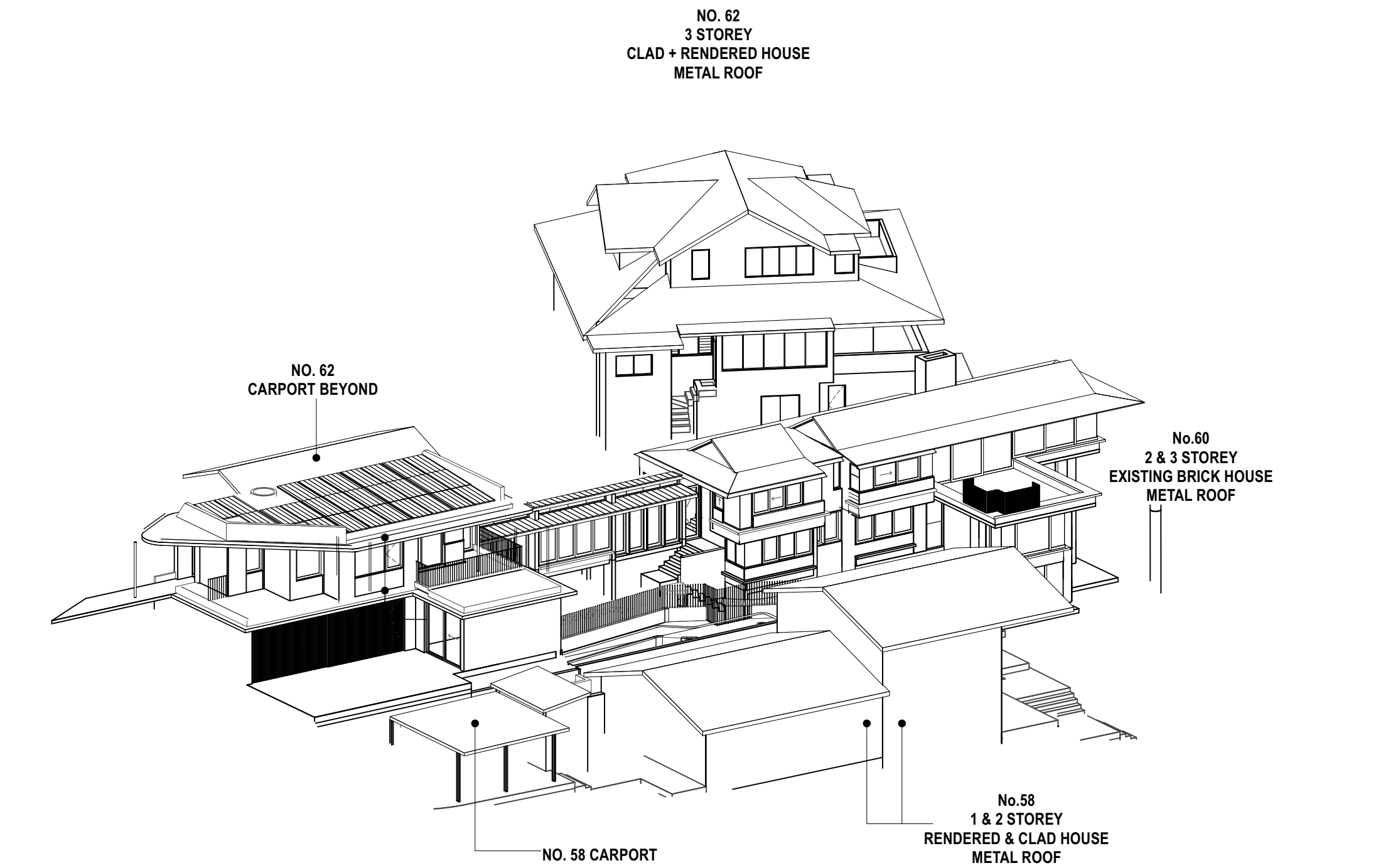
Drawing Status:
DA

Drawing No:
DA 211

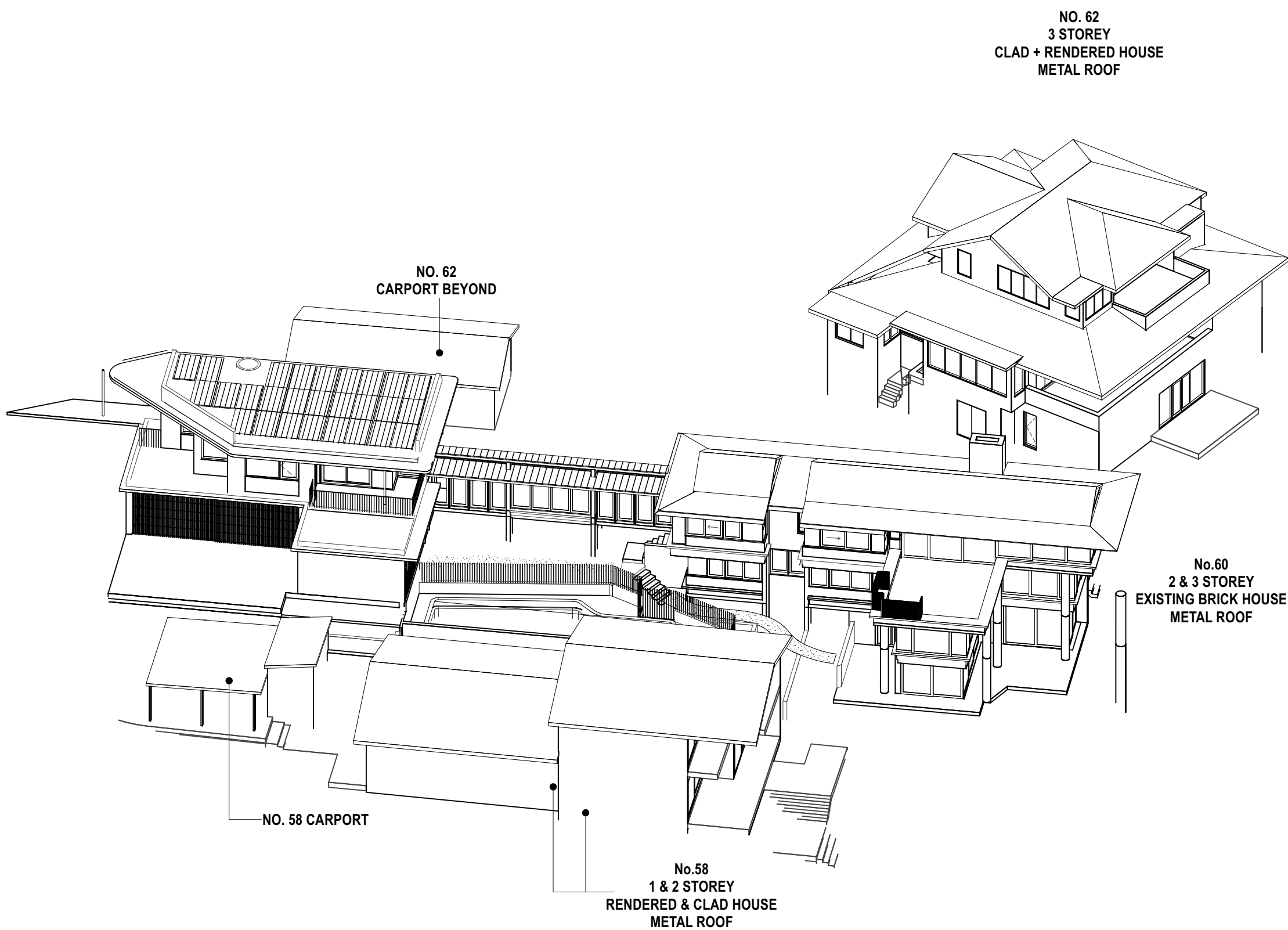
Drawn By:
LR

Revision:
1

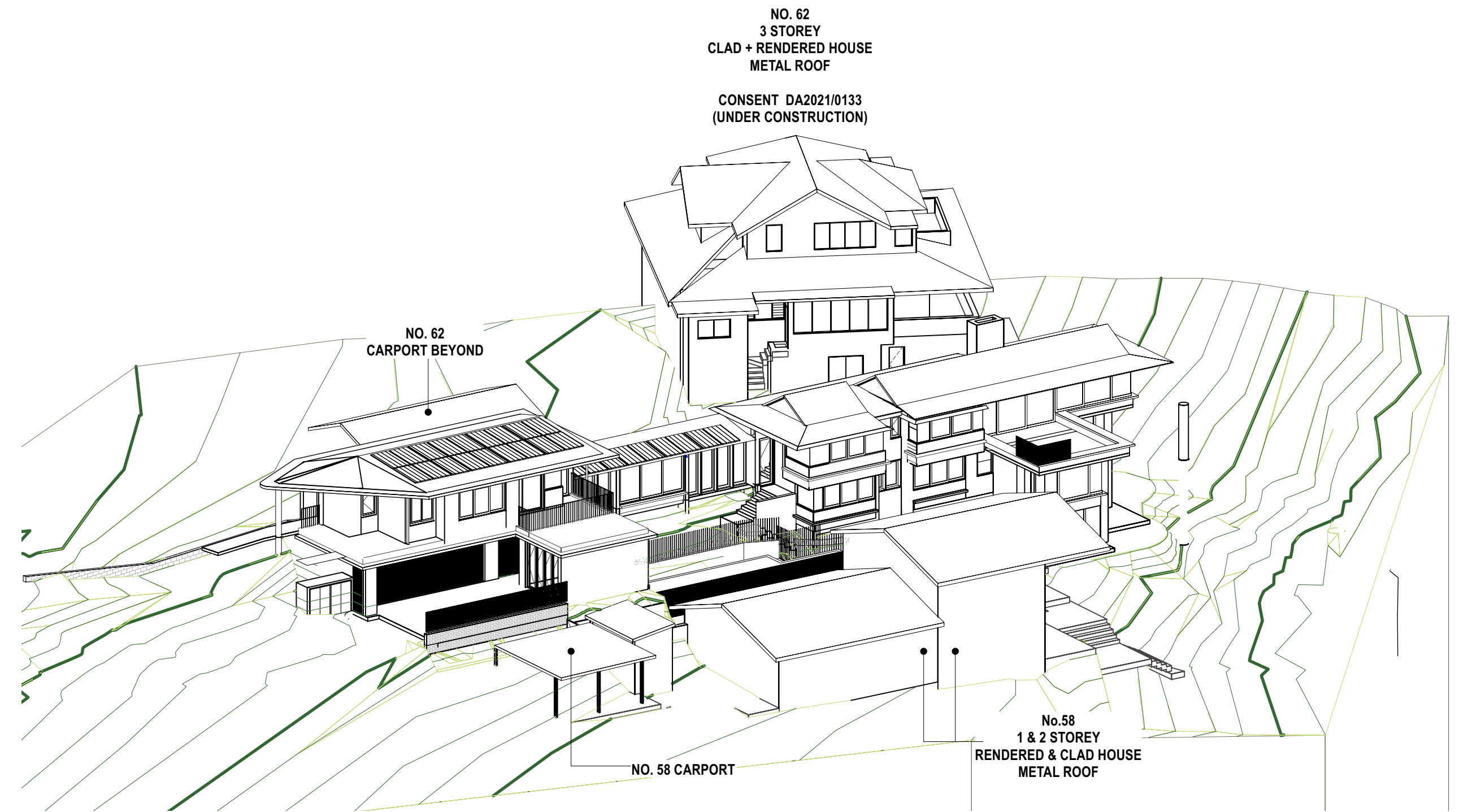
nominated architect: Dominic Bennett 7365 (NSW)



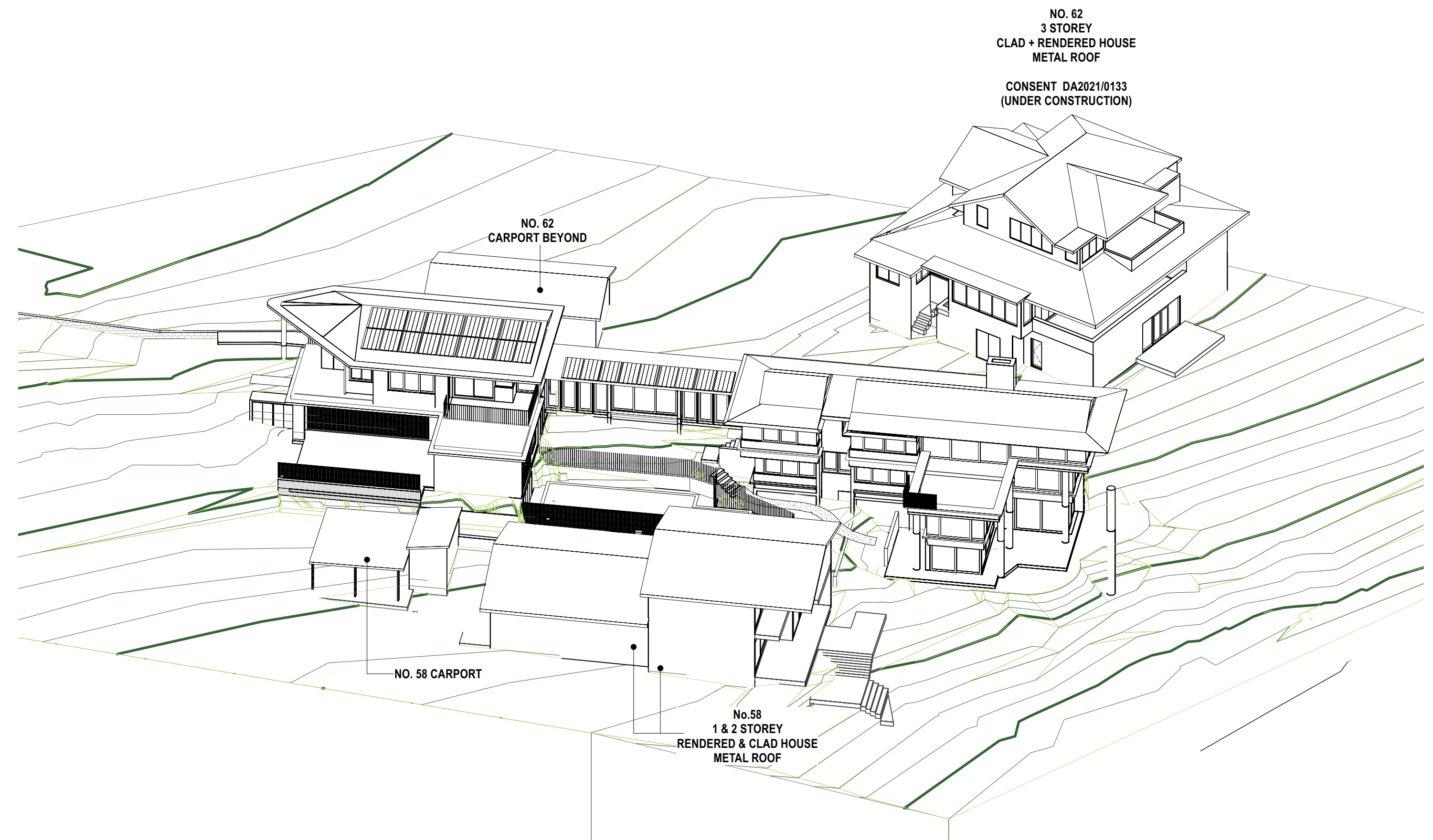
1 9AM - JUNE 21 - EXISTING (APPROVAL DA2022/1715)
Scale: NTS



3 12PM - JUNE 21 - EXISTING (APPROVAL DA2022/1715)
Scale: NTS



2 9AM - 21ST JUNE - PROPOSED
Scale: NTS



4 12PM - JUNE 21 - PROPOSED
Scale: NTS

NOTES

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REVISION SCHEDULE

Rev.	Date	Issued By	Revision Notes
1	29/7/24	SC	ISSUED FOR \$4.55

LEGEND / KEY



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Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SHADOW DIAGRAMS - SUN'S EYE VIEW

Job Number:
2130

Scale:
NTS

Plot Date:
28/8/23

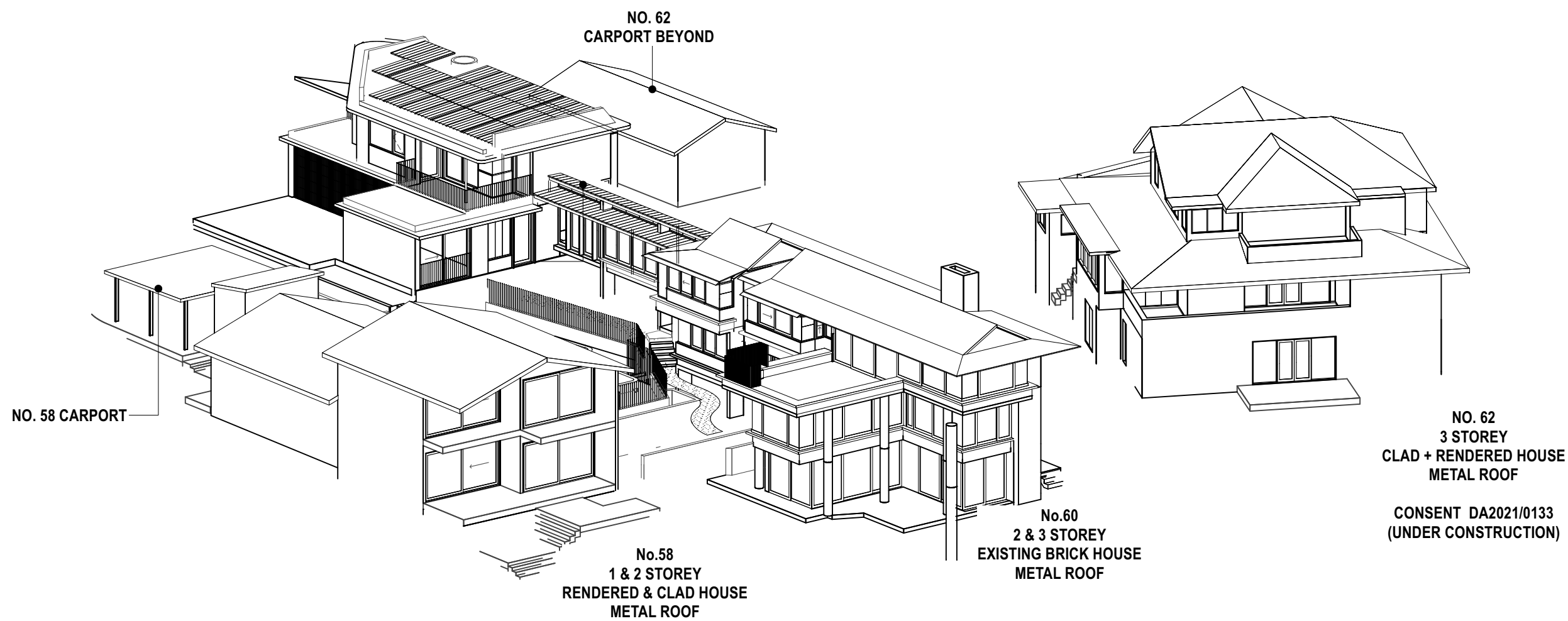
Drawing Status:
DA

Drawing No:
DA_301

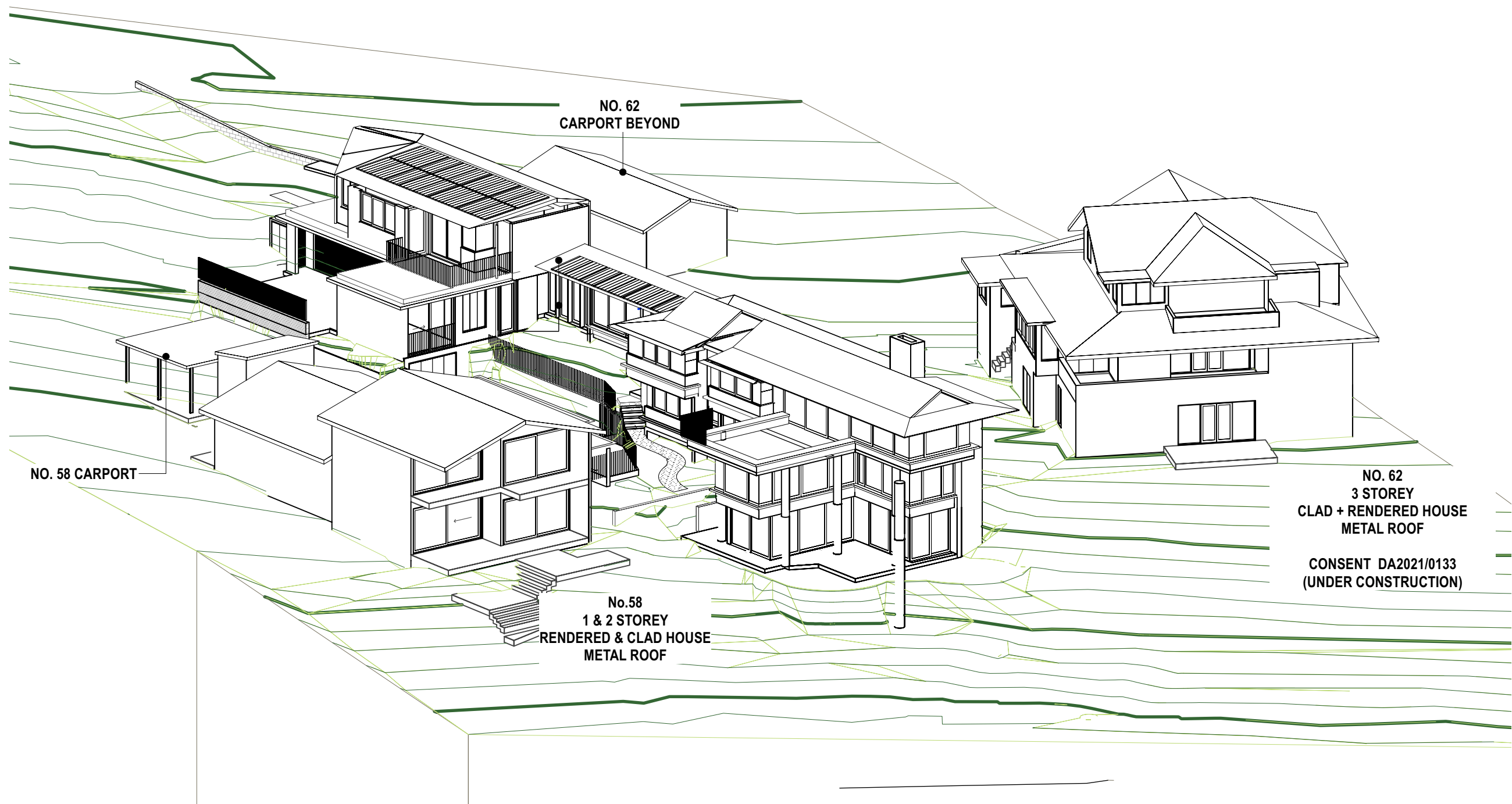
Drawn By:
AH

Revision:
1

nominated architect: Dominic Bennett 7365 (NSW)



1 3pm - JUNE 21 - EXISTING (APPROVAL DA2022/1715)
Scale: NTS



2 3PM - JUNE 21 - PROPOSED
Scale: NTS

NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	29/7/24	SC	ISSUED FOR S4.55

LEGEND / KEY



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107
Client:
OLIVER & NICOLA HARTLEY
Drawing Name:
SHADOW DIAGRAMS - SUN'S EYE VIEW

Job Number:
2130
Scale:
NTS
Plot Date:
28/8/23
Drawing Status:
DA
Drawing No:
DA_302
Drawn By:
AH
Revision:
1
nominated architect: Dominic Bennett 7365 (NSW)

PITTWATER

APPROXIMATE HIGH WATER MARK VIDE DP7794

DP 7794

HUDSON

RETURNED

EXISTING 60 HUDSON PRD, AVALON BEACH		
LANDSCAPE AREA	808.9 m ²	64%
IMPERVIOUS AREAS	445.7 m ²	36%
TOTAL	1254 m ²	

LEGEND:

EXISTING 60 HUDSON PRD, AVALON BEACH		
LANDSCAPE AREA	689.5 m ²	55.5%
IMPERVIOUS AREAS	494m ²	39%
6% ALLOWANCE AREA	70.5 m ²	5.5%
TOTAL	1254 m ²	
GREEN ROOF AREA (ABOVE)	28 m ² TOTAL	2%

SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.

1m 5m 10m 27.5m

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	29/7/24	SC	ISSUED FOR \$4.55

LEGEND / KEY



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
CALCULATIONS - LANDSCAPE AREAS

Job Number:
2130
Scale:
1:250
Plot Date:
28/8/23
Drawing Status:
DA
Drawing No:
DA_400
Job Number:
2130
Scale:
1:250
Plot Date:
28/8/23
Drawing Status:
DA
Drawing No:
DA_400
Drawn By:
LR
Revision:
1
nominated architect: Dominic Bennett 7365 (NSW)

Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au



BRK1_ EXISTING BRICKWORK



CONC1 _ EXISTING CONCRETE



MRS1 _ METAL ROOF SHEETING



CLA1 _ TIMBER CLADDING



SCN 1 _ TIMBER SCREENS



AM + GL1 _ ANODISED ALUMINIUM WINDOWS + CLEAR GLASS

NOTE:
ALL WINDOWS TO BE NEW ANODISED ALUMINIUM



GL2 _ TRANSLUCENT / PRIVACY GLASS



CONC2 _ NEW OFF-FORM CONCRETE

SECTION 4.55 (\$4.55) AMENDMENTS TO DA
APPROVAL DA2022/1715 SHOWN BUBBLED IN
RED.

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	29/7/24	SC	ISSUED FOR \$4.55

NOTES

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LEGEND / KEY



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107
Client:
OLIVER & NICOLA HARTLEY
Drawing Name:
SCHEDULES OF COLOURS AND MATERIALS

Job Number:
2130
Scale:
NTS
Plot Date:
28/8/23
Drawing Status:
DA
Drawing No:
DA_500
Revision:
1