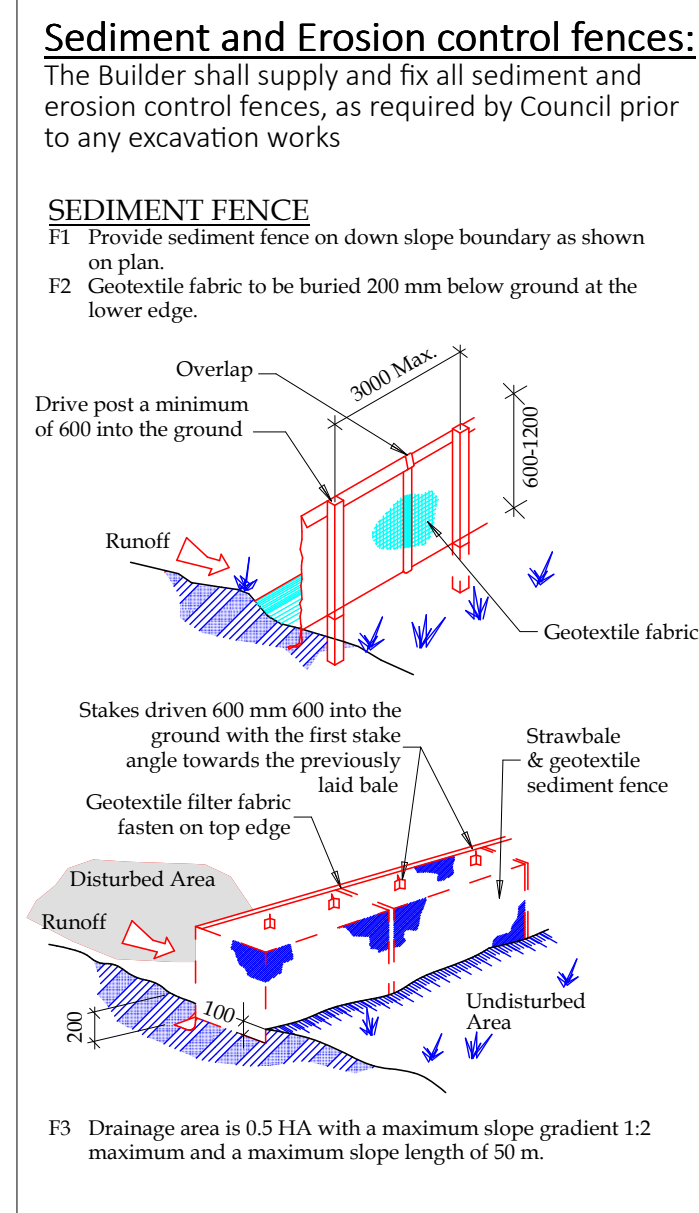
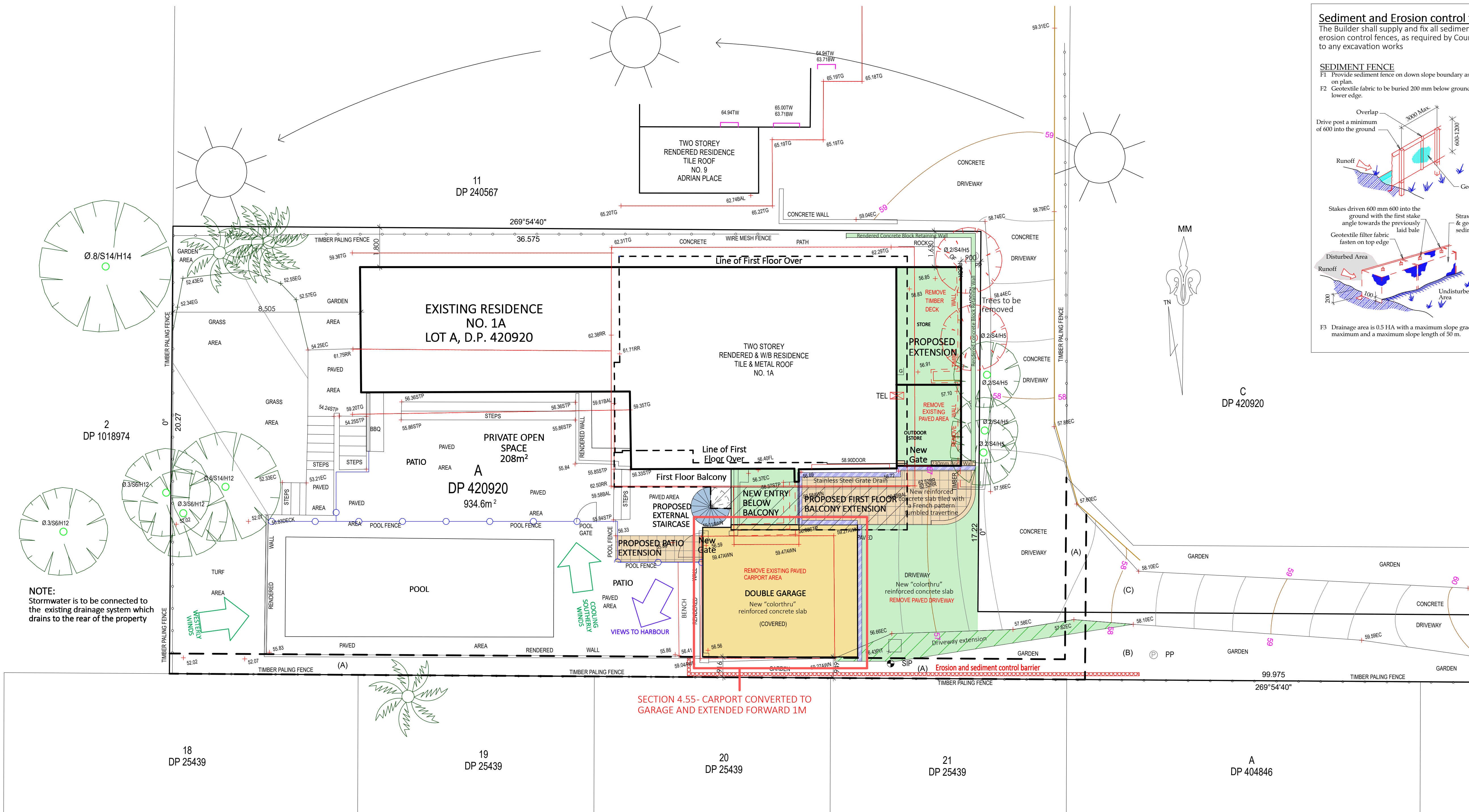




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BASIX INFORMATION REQUIREMENTS:
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WATER COMMITMENTS:
Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating

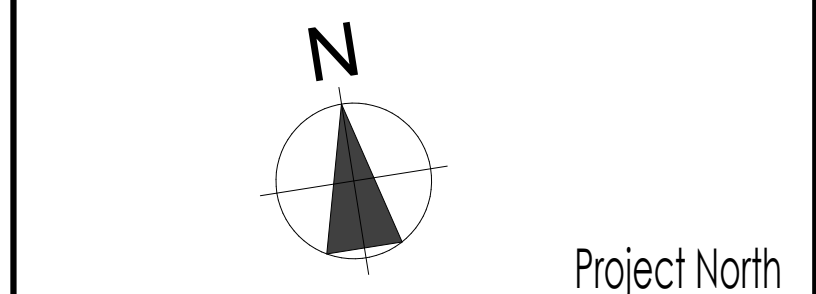
HOT WATER SYSTEM:
The existing Hot water system shall remain

INSULATION REQUIREMENTS:
Concrete slab on Ground Floor: Nil
External walls: The external walls shall meet minimum R 1.70 (including construction)
Ceilings: The new ceilings shall meet minimum R 1.58 (up)
Roof: The roof shall have a foil backed blanket (55mm) and be of dark colour (solar absorption > 0.70)

WINDOWS & GLAZED DOORS:
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Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate

SECTION 4.55 MODIFICATION
Dated: September 2020:
Modification to DA 2019/0366:
Section 4.55 Notes:
1) Converting current carport to a garage by adding walls and extending roof 1 m to be able to go around cars with a closed garage door.
2) Adding a toilet to Cellar for people to use when been outdoors in the garden or in the pool, thus not having to go inside over wooden floors.
3) Joining upstairs bathroom and toilet to become one larger bathroom suiting teenagers and grownups.

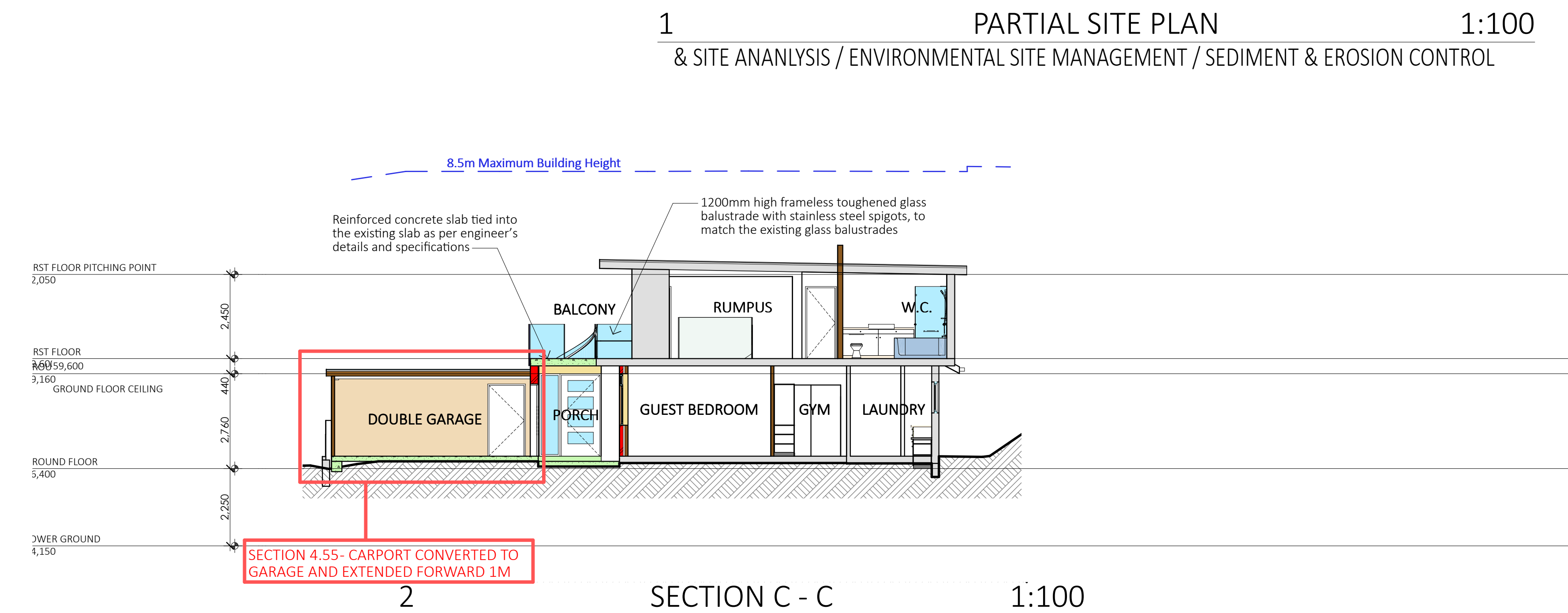
(A) Amendment A
1) Smoke - alarms added to floor plans on DA03
2) Pool Fence Compliance note added to floor plans and elevation on DA03 & DA04
Amendment Date: 26/05/2020



Client
MR & MRS BYRON
Project Name
Alterations & Additions
1A VISTA AVENUE
LOT A, D.P. 420920
BALGOWLAH HEIGHTS N.S.W. 2093

Drawing Title:
SITE PLAN (PARTIAL) & SECTION C

Scale: 1:100 (A1)	Date: SEPTEMBER 2020
Council: NORTHERN BEACHES	Checked By: J. Adams
Project No:	Drawing No.: 1727 SEC 4.55 01
ANNEXURE "A"	Plot Date: 4/09/2020

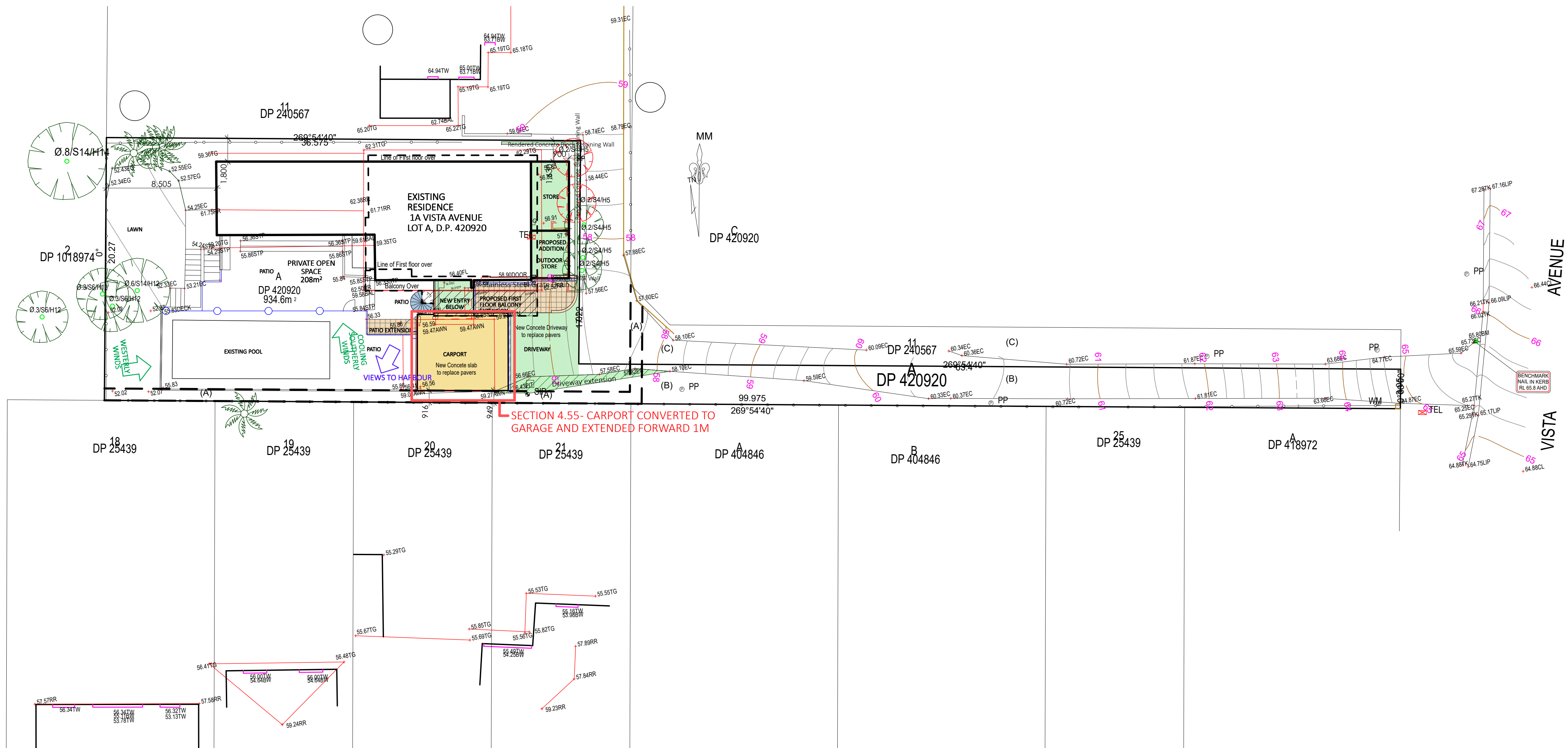


SITE RATIOS - EXISTING:

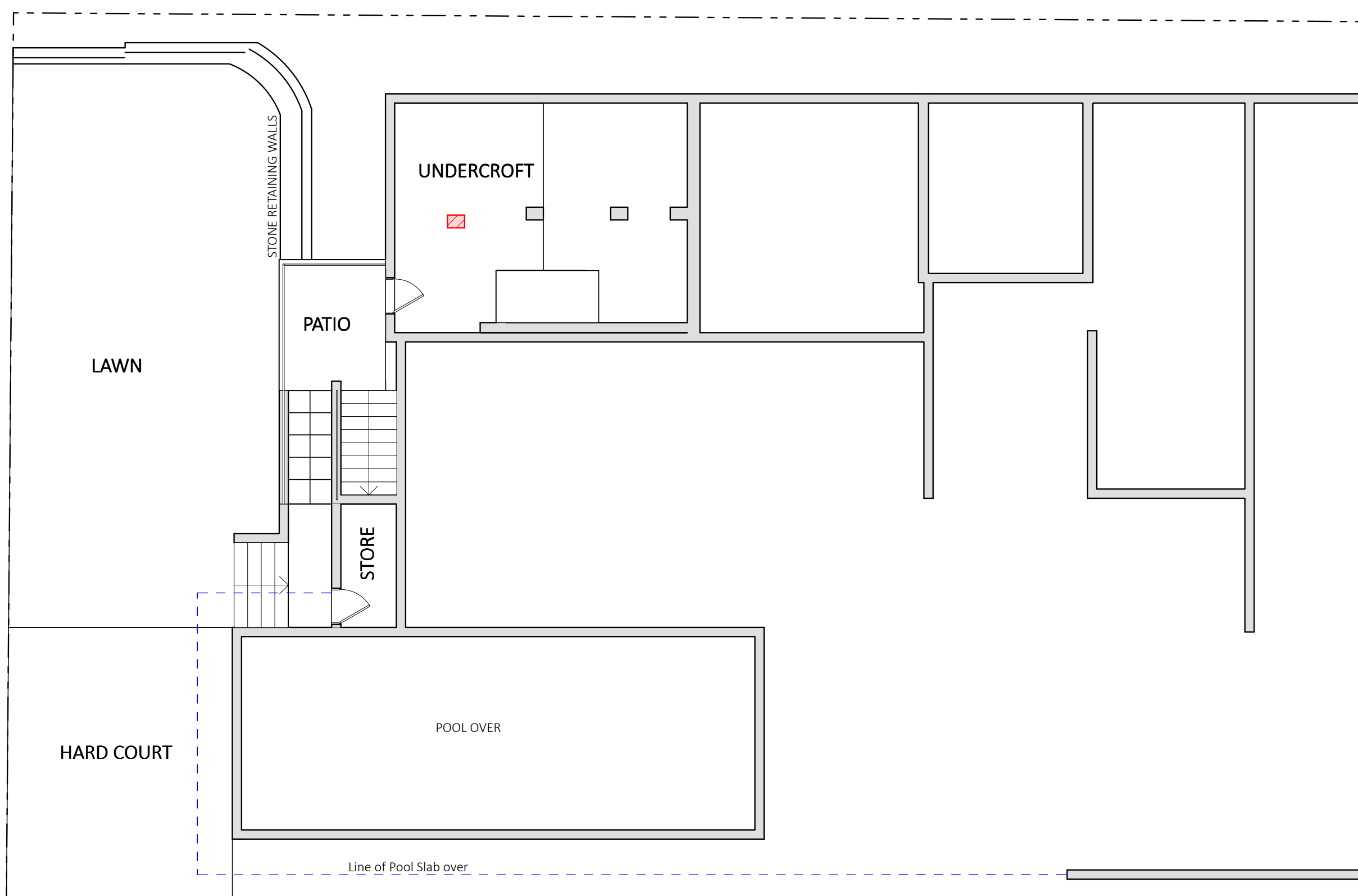
SITE AREA	934.6m ²
SITE AREA (LESS ACCESS HANDLE 193.4M ²)	741.4m ²
FOOTPRINT OF RESIDENCE	228.5m ²
AREAS LESS THAN 3m WIDE or 12m ²	59.5m ²
DRIVEWAY	63.5m ²
SUM TOTAL	351.5m ²
OPEN SPACE AREA	389.9m ²
(minimum required 60% = 444.84m ²)	52.5%
SWIMMING POOL & SURROUNDS	123m ²
PAVED AREAS & PATHWAYS	142.9m ²
HARD OPEN SPACE	265.9m ²
SOFT OPEN SPACE AREA	124m ²
(minimum required 40% of 60% = 177.95m ²)	31.8%

SITE RATIOS - PROPOSED:

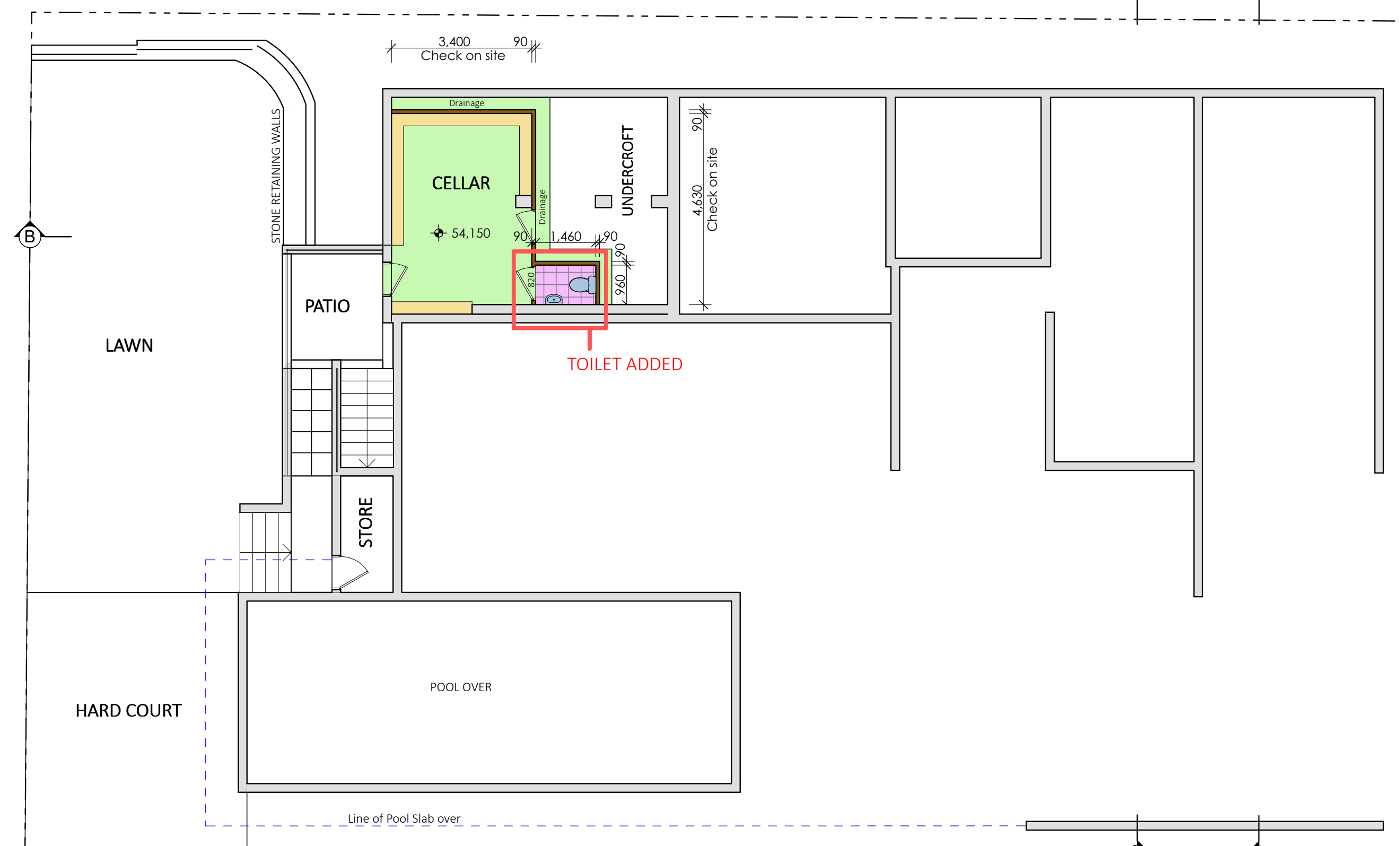
SITE AREA	934.6m ²
SITE AREA (LESS ACCESS HANDLE 193.4M ²)	741.4m ²
FOOTPRINT OF RESIDENCE	254.5m ²
AREAS LESS THAN 3m WIDE or 12m ²	59.5m ²
DRIVEWAY	46m ²
SUM TOTAL	351.5m ²
OPEN SPACE AREA	389.9m ²
(minimum required 60% = 444.84m ²)	52.5%
SWIMMING POOL & SURROUNDS	118.5m ²
PAVED AREAS & PATHWAYS	147.4m ²
HARD OPEN SPACE	265.9m ²
SOFT OPEN SPACE AREA	124m ²
(minimum required 40% of 60% = 177.95m ²)	31.8%



1 SITE PLAN 1:200



2 EXISTING LOWER GROUND 1:100



3 PROPOSED LOWER GROUND 1:100

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BASIX INFORMATION REQUIREMENTS:

LIGHTING:
A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

WATER COMMITMENTS:
Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating

HOT WATER SYSTEM:
The existing Hot water system shall remain

INSULATION REQUIREMENTS:
Concrete slab on Ground Floor: Nil
External walls: The external walls shall meet minimum R 1.70 (including construction)
Ceilings: The new ceilings shall meet minimum R 1.58 (up)
Roof: The roof shall have a foil backed blanket (55mm) and be of dark colour (solar absorption > 0.70)

WINDOWS & GLAZED DOORS:
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.

Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate

Shading devices: Shading devices shall be installed in accordance with the Basix certificate

Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate

SECTION 4.55 MODIFICATION

Dated: September 2020:
Modification to DA 2019/0366:
Section 4.55 Notes:

- 1) Converting current carport to a garage by adding walls and extending roof 1 m to be able to go around cars with a closed garage door.
- 2) Adding a toilet to Cellar for people to use when been outdoors in the garden or in the pool, thus not having to go inside over wooden floors.
- 3) Joining upstairs bathroom and toilet to become one larger bathroom suiting teenagers and grownups.

(A) Amendment A

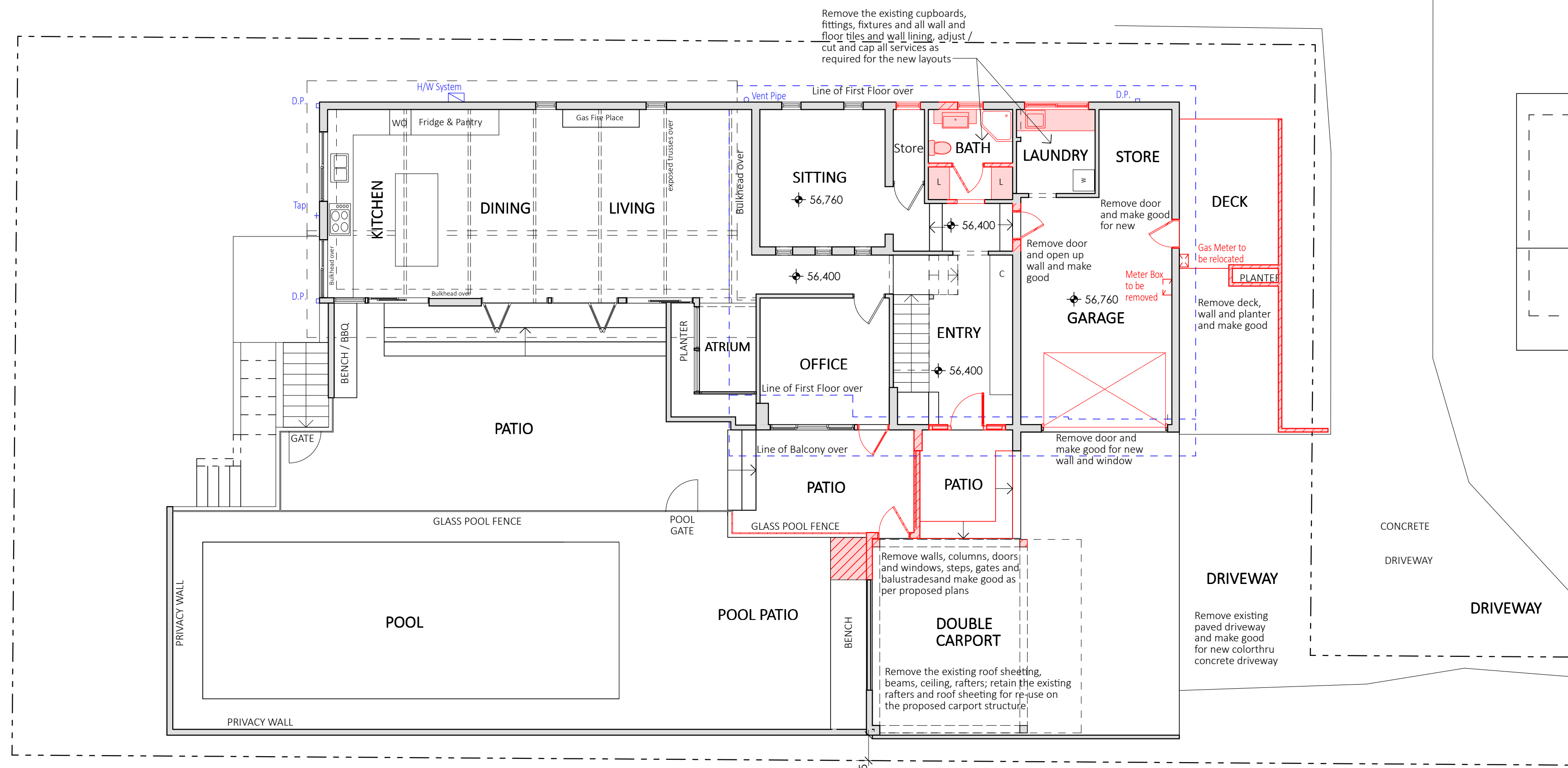
- 1) Smoke - alarms added to floor plans on DA03
- 2) Pool Fence Compliance note added to floor plans and elevation on DA03 & DA04

Amendment Date: 26/05/2020

Client
MR & MRS BYRON
Project Name
Alterations & Additions
1A VISTA AVENUE
LOT A, D.P. 420920
BALGOWLAH HEIGHTS N.S.W. 2093

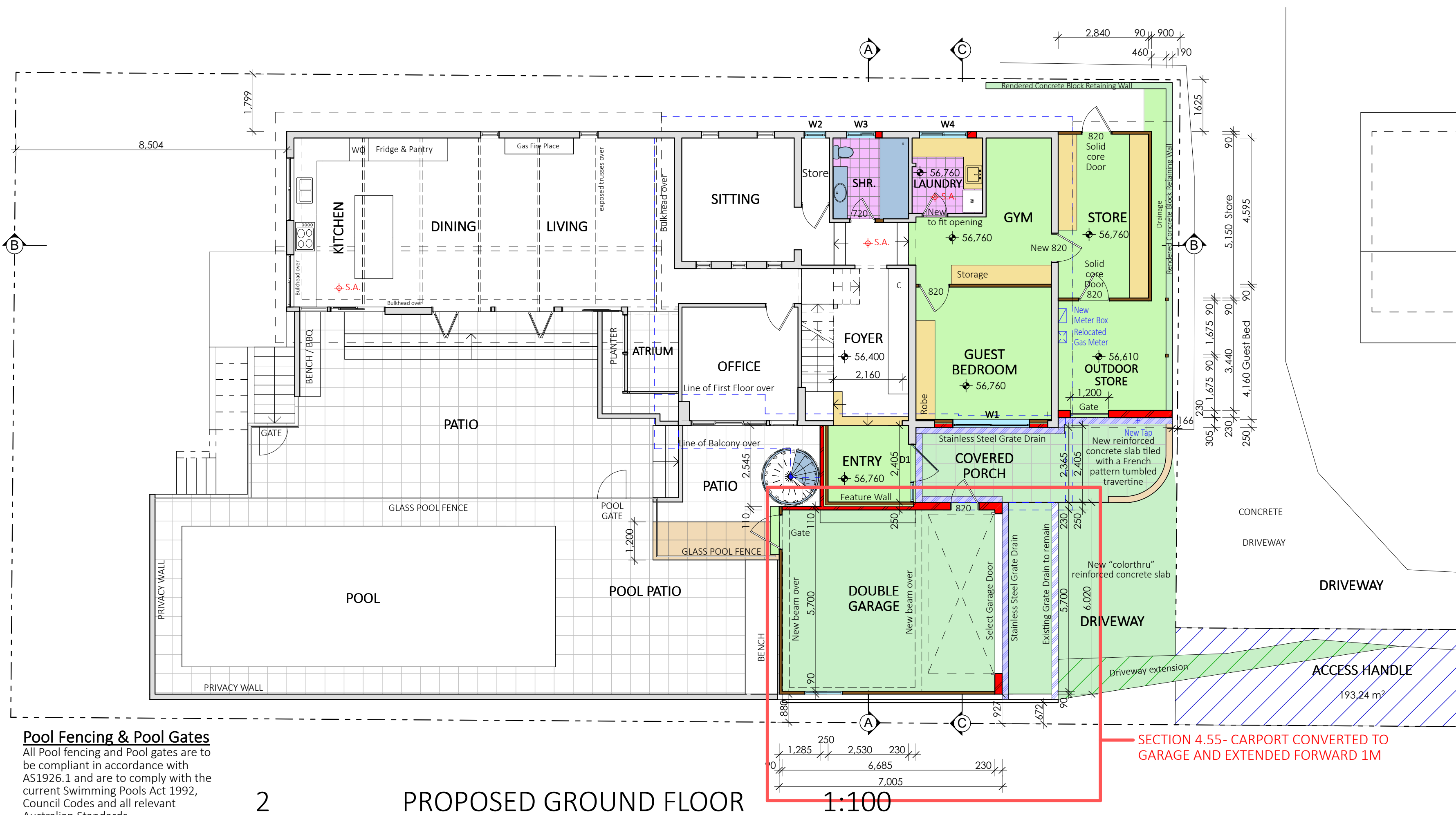
Drawing Title:
SITE PLAN 1:200 / LOWER GROUND

Scale: 1:100 & 1:200 (A1)	Date: SEPTEMBER 2020
Council: NORTHERN BEACHES	Checked By: J. Adams
Project No: 1727	Drawing No.: SEC 4.55 02
ANNEXURE "A" Plot Date: 4/09/2020	



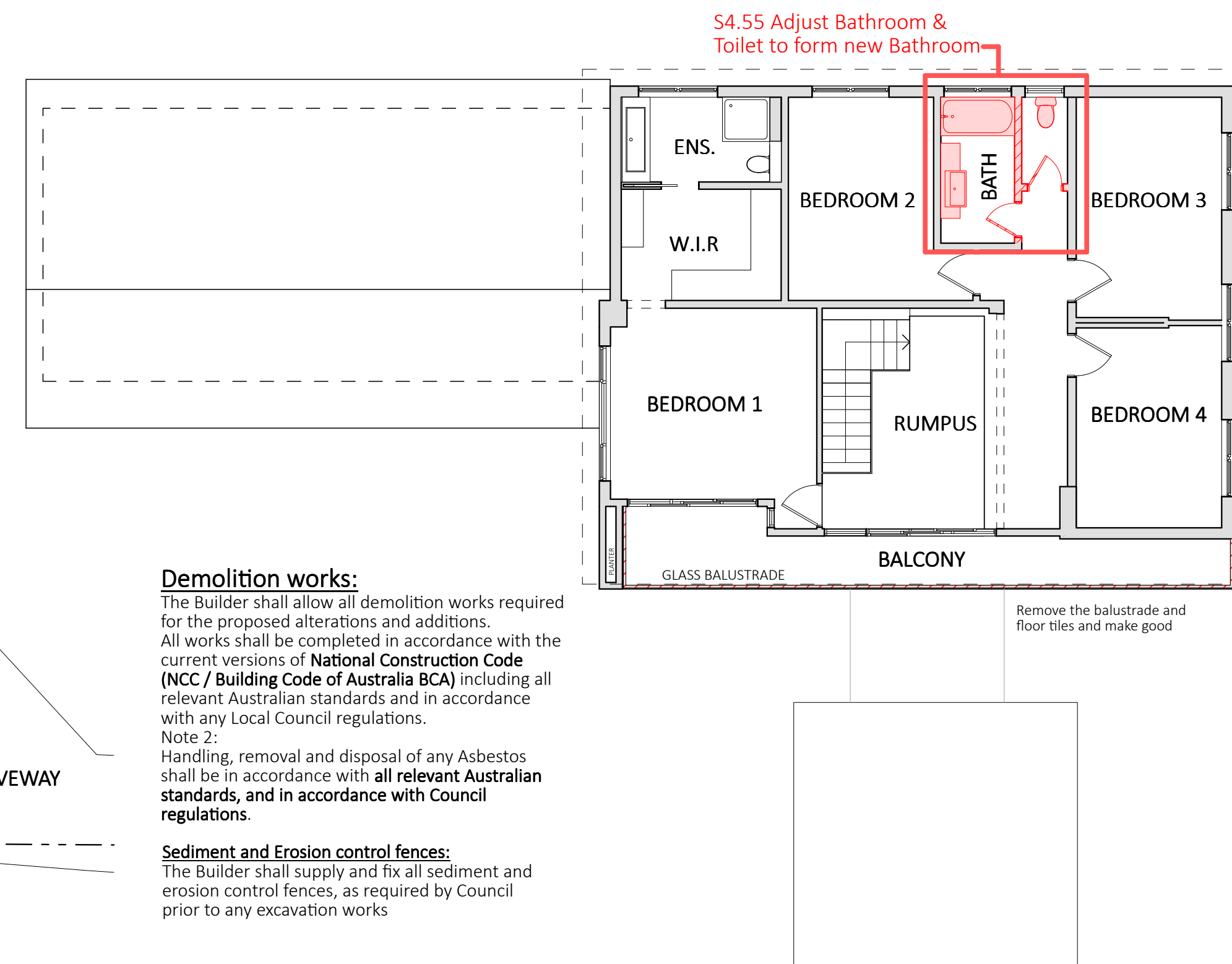
1 EXISTING GROUND FLOOR 1:100

⚡ S.A. Smoke-alarm - indicates a hard-wired smoke alarm installed in accordance with Clause 3.7.2.3 of the BCA and AS 3786-2014.



2 PROPOSED GROUND FLOOR 1:100

Pool Fencing & Pool Gates
All Pool fencing and Pool gates are to be compliant in accordance with AS1926.1 and are to comply with the current Swimming Pools Act 1992, Council Codes and all relevant Australian Standards



3 EXISTING FIRST FLOOR 1:100

Demolition works:
The Builder shall allow all demolition works required for the proposed alterations and additions. All works shall be completed in accordance with the current versions of **National Construction Code (NCC / Building Code of Australia BCA)** including all relevant Australian standards and in accordance with any Local Council regulations.
Note 2:
Handling, removal and disposal of any Asbestos shall be in accordance with **all relevant Australian standards, and in accordance with Council regulations.**
Sediment and Erosion control fences:
The Builder shall supply and fix all sediment and erosion control fences, as required by Council prior to any excavation works

FLOOR AREA CALCULATIONS- EXISTING

SITE AREA	934.6m ²
SITE AREA LESS ACCESS HANDLE (193.4M ²)	741.4m ²
EXISTING GARAGE FLOOR AREA	32.5m ²
EXISTING GROUND FLOOR AREA	136.0m ²
EXISTING FIRST FLOOR AREA	106.0m ²
SUM TOTAL FLOOR SPACE RATIO	274.5m ² 0.37:1 (max. permissible 0.4:1)

FLOOR AREA CALCULATIONS - PROPOSED

SITE AREA	934.6m ²
SITE AREA LESS ACCESS HANDLE (193.4M ²)	741.4m ²
EXISTING GROUND FLOOR AREA	190.5m ²
EXISTING FIRST FLOOR AREA	106.0m ²
SUM TOTAL FLOOR SPACE RATIO	296.5m ² 0.40:1 (max. permissible 0.4:1)

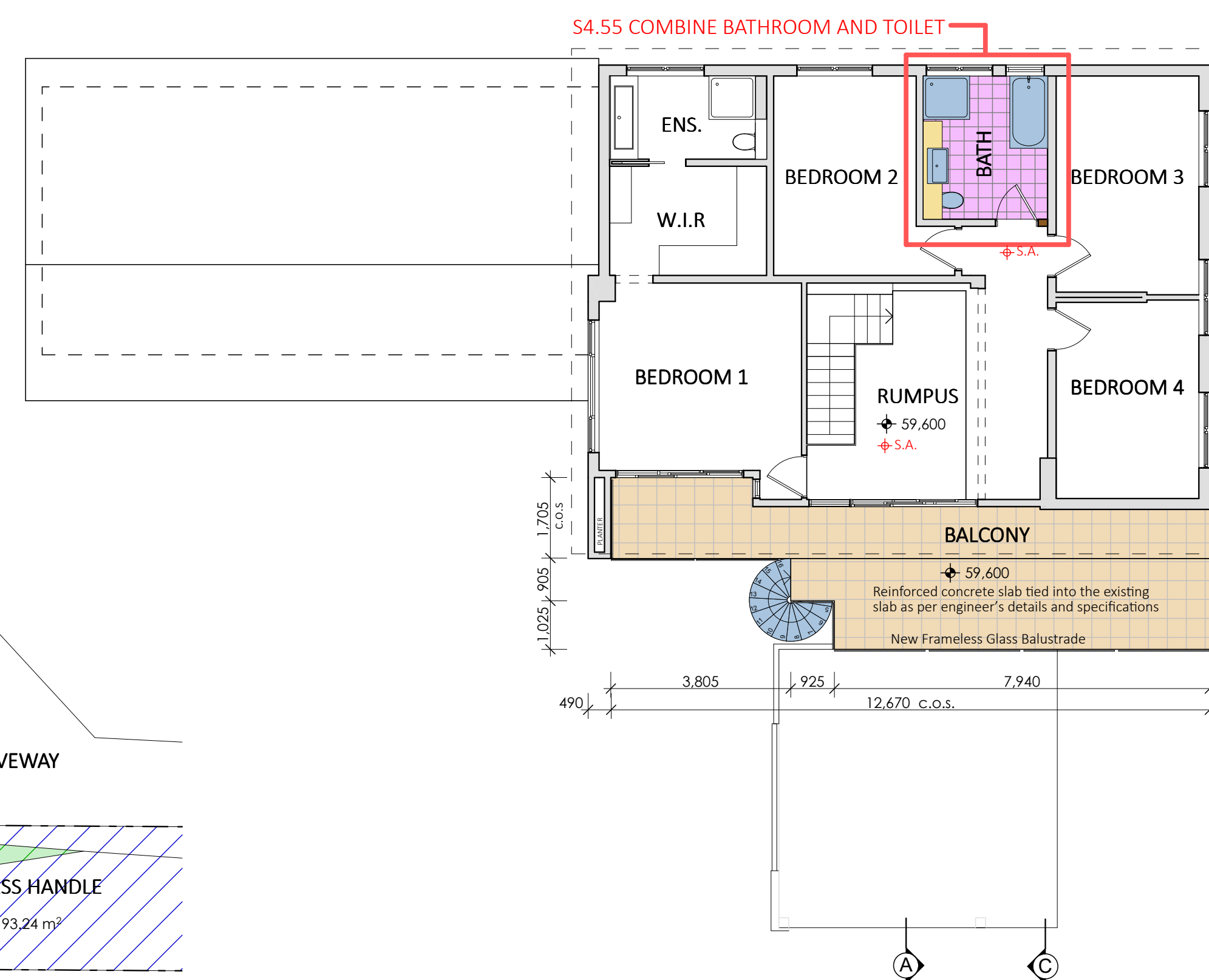
WINDOW / DOOR SCHEDULE

NOTE: The Builder shall source all windows and doors from "Vantage" Aluminium Joinery System to match Kitchen

NOTE: All new windows and new external doors are to comply with the Basix Certificate

NOTE: The Builder shall check measure all windows and doors on site prior to order

D 1	2400h x 1200w Select Entry Door with 2400h x 600w Select Fixed Aluminium Framed Sidelight
W 1	1500h x 2400w Aluminium Framed Sliding Window
W 2	Special Aluminium Framed Double Hung Window to fit the existing opening (Approx. 720h x 680mm)
W 3	1200h x 900w Aluminium Framed Sliding Window with Obscure Glass
W 4	900h x 1500w Aluminium Framed Sliding Window



4 PROPOSED FIRST FLOOR 1:100

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WATER COMMITMENTS:
Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating

HOT WATER SYSTEM:
The existing Hot water system shall remain

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Concrete slab on Ground Floor: Nil
External walls: The external walls shall meet minimum R 1.70 (including construction)
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SECTION 4.55 MODIFICATION

Dated: September 2020:

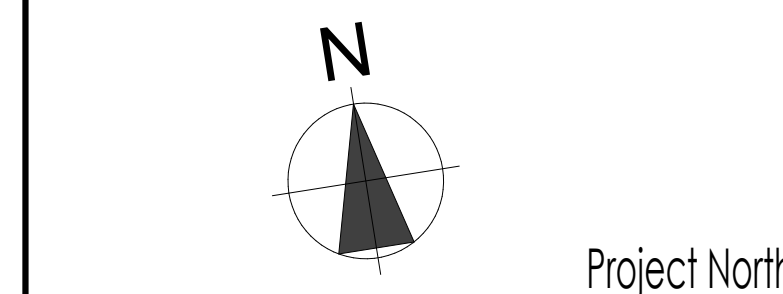
Modification to DA 2019/0366:

Section 4.55 Notes:

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(A) Amendment A

- 1) Smoke - alarms added to floor plans on DA03
 - 2) Pool Fence Compliance note added to floor plans and elevation on DA03 & DA04
- Amendment Date: 26/05/2020



Client
MR & MRS BYRON
Project Name
Alterations & Additions
1A VISTA AVENUE
LOT A, D.P. 420920
BALGOWLAH HEIGHTS N.S.W. 2093

Drawing Title:

FLOOR PLANS

Scale: 1:100 Date: SEPTEMBER 2020

Council: NORTHERN BEACHES Checked By: J. Adams

Project No: 1727 Drawing No.: SEC 4.55 03

ANNEXURE "A" Plot Date: 4/09/2020

Pool Fencing & Pool Gates
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Dated: September 2020:

Modification to DA 2019/0366:

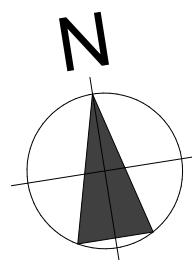
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(A) Amendment A

- 1) Smoke - alarms added to floor plans on DA03
- 2) Pool Fence Compliance note added to floor plans and elevation on DA03 & DA04

Amendment Date: 26/05/2020



Project North



LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

Client

MR & MRS BYRON

Project Name

Alterations & Additions

1A VISTA AVENUE

LOT A, D.P. 420920

BALGOWLAH HEIGHTS N.S.W. 2093

Drawing Title:

ELEVATIONS & SECTIONS

Scale: 1:100 Date: SEPTEMBER 2020

Council: NORTHERN BEACHES Checked By: J. Adams

Project No: 1727 Drawing No.: SEC 4.55 04

ANNEXURE "A" Plot Date: 4/09/2020

