

199-205 PITTWATER ROAD, MANLY

SITE AERIAL PLAN



DRAWING LIST

DRAWING NO.	TITLE	SCALE	REV
DA-000	COVER PAGE		@A3 05
DA-001	SURVEY	1:200	@A3 01
DA-002	SITE ANALYSIS	1:200	@A3 01
DA-003	SITE PLAN	1:200	@A3 02
DA-004	DEMOLITION PLAN - GROUND FLOOR	1:100	@A3 01
DA-005	DEMOLITION PLAN - LEVEL 1	1:100	@A3 01
DA-006	SEDIMENT & EROSION CONTROL PLAN	1:100	@A3 01
DA-010	BASIX	1:2	@A3 01
DA-101	GROUND FLOOR PLAN	1:100, 1:2	@A3 05
DA-102	FIRST FLOOR PLAN	1:100, 1:2	@A3 05
DA-103	ROOF PLAN	1:100	@A3 02
DA-104	LANDSCAPE PLAN	1:150	@A3 02
DA-151	SHADOW PLANS	1:500	@A3 03
DA-201	ELEVATIONS - SHEET 1	1:100	@A3 05
DA-202	ELEVATIONS - SHEET 2	1:100, 1:2	@A3 05
DA-203	ELEVATIONS - SHEET 3	1:100	@A3 05
DA-204	ELEVATIONS - SHEET 4	1:100	@A3 05
DA-205	SIGNAGE	1:50	@A3 01
DA-301	SECTIONS - SHEET 1	1:100	@A3 05
DA-302	SECTIONS - SHEET 2	1:100	@A3 05
DA-400	AREA SCHEDULES		@A3 02
DA-900	EXISTING EXTERIOR VIEW		@A3 01
DA-901	INDICATIVE EXTERIOR VIEW		@A3 01
DA-902	INDICATIVE COURTYARD VIEW		@A3 01
DA-904	MATERIALS & FINISHES		@A3 01

CONSULTANT CONTACT

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BRICK BUILDING
SERVICE STATION &
WORKSHOP
METAL ROOF

Nos 207-217

LOT 1 DP 829523

1 & 2 LEVEL
BRICK RESIDENCE
TILE/ METAL ROOF

No2

LOT B DP 304946

2 LEVEL BRICK & TIMBER
WORKSHOP
METAL ROOF

No 2A
LOT 2 DP829523

UNDARY 24 435

2 LEVEL BRICK & CONCRETE
STUDIO LOFTS AND PARKING
METAL ROOF

COURTY'D
RL +6.55

	SOLAR PANELS	

2 LEVEL BRICK & RENDER
SHOP TOP BUILDING
METAL ROOF

PROPOSED BOUNDARY

EXISTING BOUNDARY

PROPOSED BOUNDARY

A diagram showing a horizontal boundary line. Above the boundary is a dashed line, and below the boundary is a solid line. The boundary itself is a solid line.

NE BOUNDARY

19.98

SE BOUNDARY 8.485

COLLINGWOOD STREET

PITTWATER ROAD

GOLF PARADE

PROPOSED
VEHICULAR CROSSING

SOUTHERN BOUNDARY 38.175

CHROFI
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THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN CHROFI.

REV	DATE	ISSUE
01	3/2/22	DEVELOPMENT APPLICATION
02	16/6/22	DA RFI 1
03	10/1/24	S4.55 ISSUE

REV	DATE	ISSUE
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PROJECT
199-205 Pittwater Rd, Manly

PROJECT N
21057

PLOT DATE
10/1/24

DRAWN
MG

CHECKED
TR

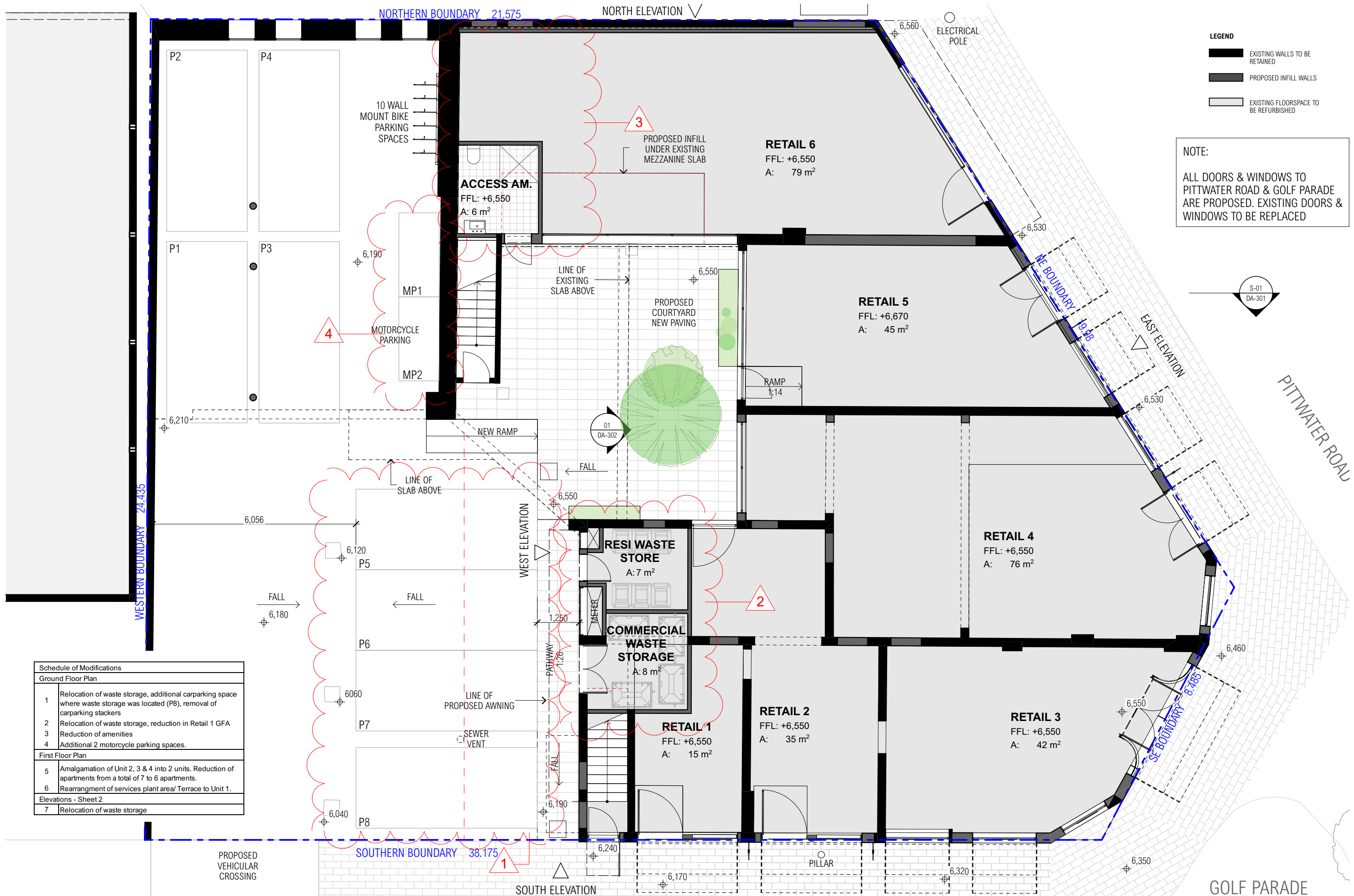
SHEET SCALE
1:200

SHEET SIZE
A3

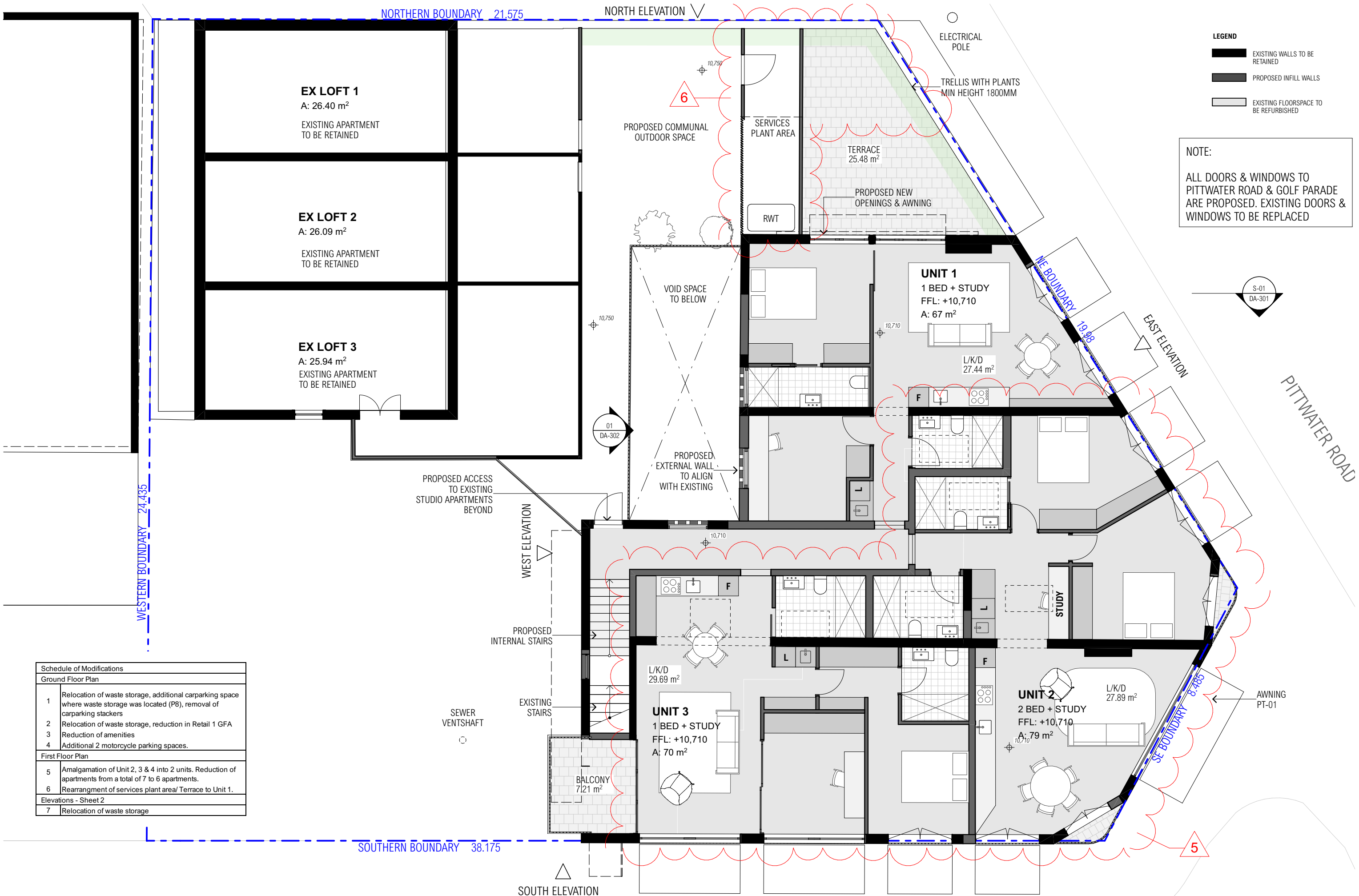
NORTH

SHEET TITLE
SITE PLAN
SHEET NUMBER
A-DA-003

3



Schedule of Modifications	
Ground Floor Plan	
1	Relocation of waste storage, additional carparking space where waste storage was located (P8), removal of carparking stackers
2	Relocation of waste storage, reduction in Retail 1 GFA
3	Reduction of amenities
4	Additional 2 motorcycle parking spaces.
First Floor Plan	
5	Amalgamation of Unit 2, 3 & 4 into 2 units. Reduction of apartments from a total of 7 to 6 apartments.
6	Rearrangment of services plant area/ Terrace to Unit 1.
Elevations - Sheet 2	
7	Relocation of waste storage

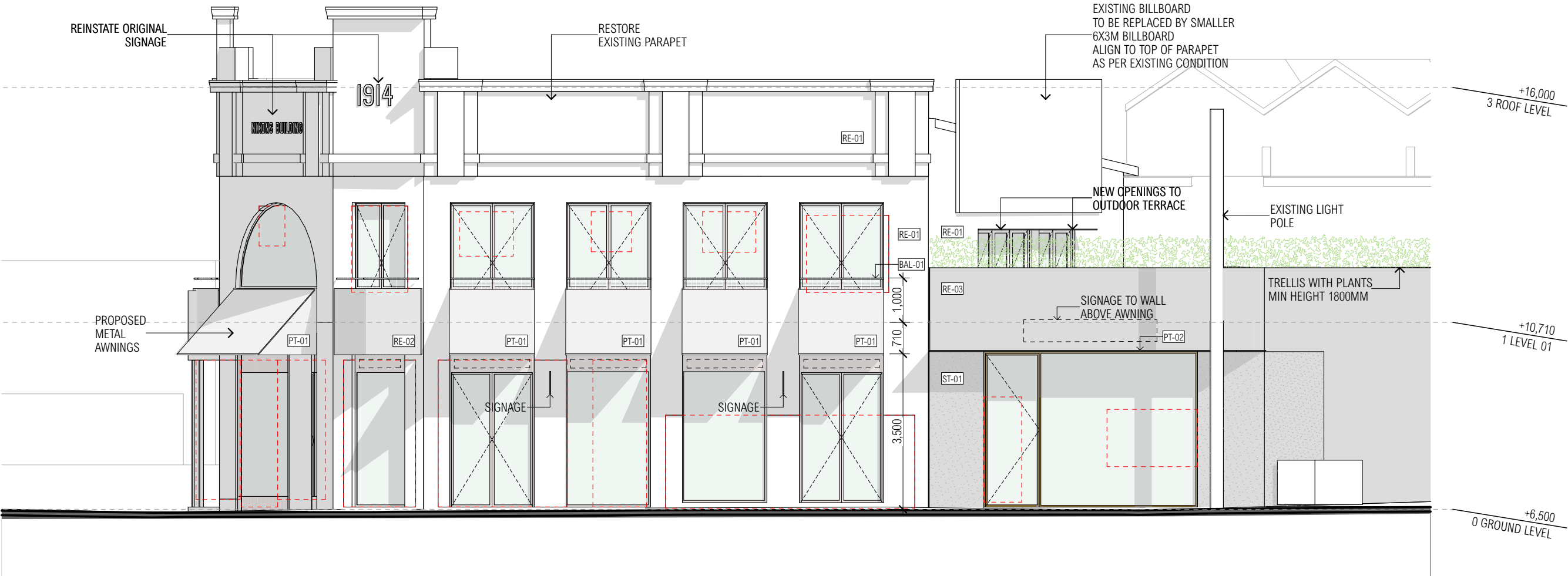


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- LEGEND
- EXISTING WALLS TO BE RETAINED
 - EXISTING OPENING TO BE DEMOLISHED

NOTE:

ALL DOORS & WINDOWS TO PITTWATER ROAD & GOLF PARADE ARE PROPOSED. EXISTING DOORS & WINDOWS TO BE REPLACED



E1 EAST ELEVATION
1:100

- KEY
- BAL-01 METAL BALUSTRADE
 - BR-01 EXISTING BRICK
 - BR-02 NEW BRICK TO MATCH EXISTING
 - BRS-01 BRICK SCREEN
 - CN-01 EXISTING EXPOSED CONCRETE
 - CN-02 PROPOSED CONCRETE AWNINGS
 - LC-01 LIGHTWEIGHT CLADDING
 - PT-01 POWDERCOATED METAL SHEET
 - PT-02 POWDERCOATED METAL SHEET
 - RE-01 RENDER OFF-WHITE
 - RE-02 RENDER TEXTURED OFF-WHITE
 - RE-03 RENDER MEDIUM DARK
 - ST-01 TERRAZZO TILE
 - TF-01 TIMBER FENCE

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PITTWATER ROAD & GOLF PARADE
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WINDOWS TO BE REPLACED

- LEGEND
- EXISTING WALLS TO BE
RETAINED
 - EXISTING OPENING TO BE
DEMOLISHED

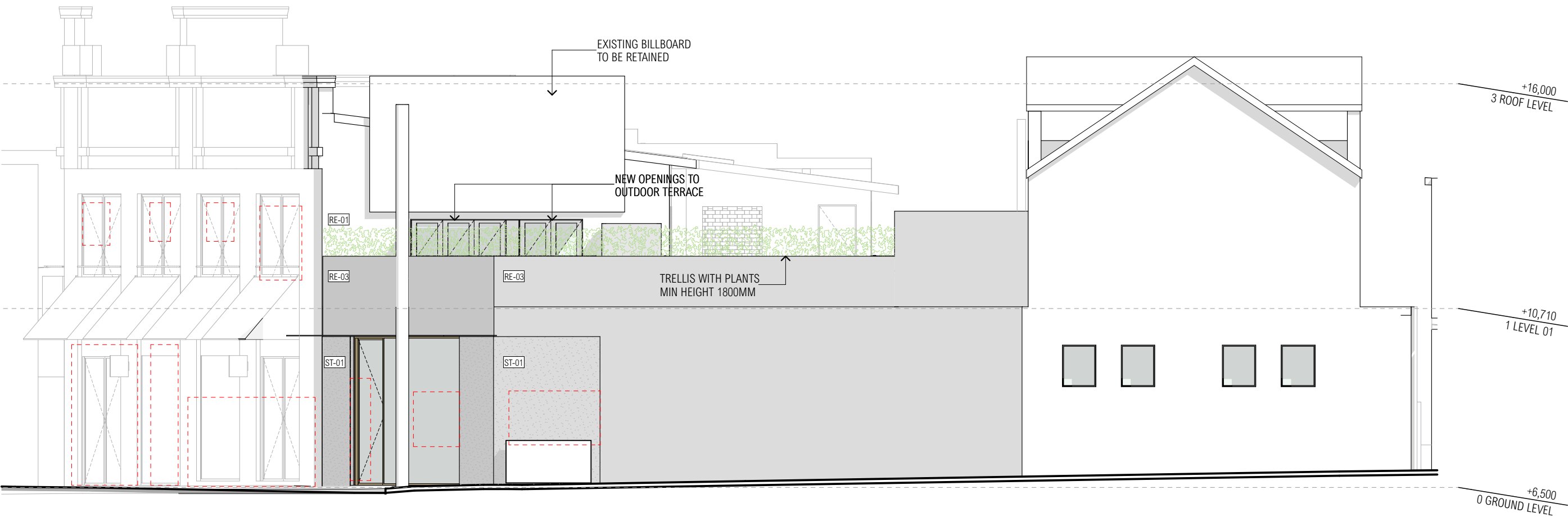


E2
-
SOUTH ELEVATION
1:100

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BR-01	EXISTING BRICK
BR-02	NEW BRICK TO MATCH EXISTING
BRS-01	BRICK SCREEN
CN-01	EXISTING EXPOSED CONCRETE
CN-02	PROPOSED CONCRETE AWNINGS
LC-01	LIGHTWEIGHT CLADDING
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ST-01	TERRAZZO TILE
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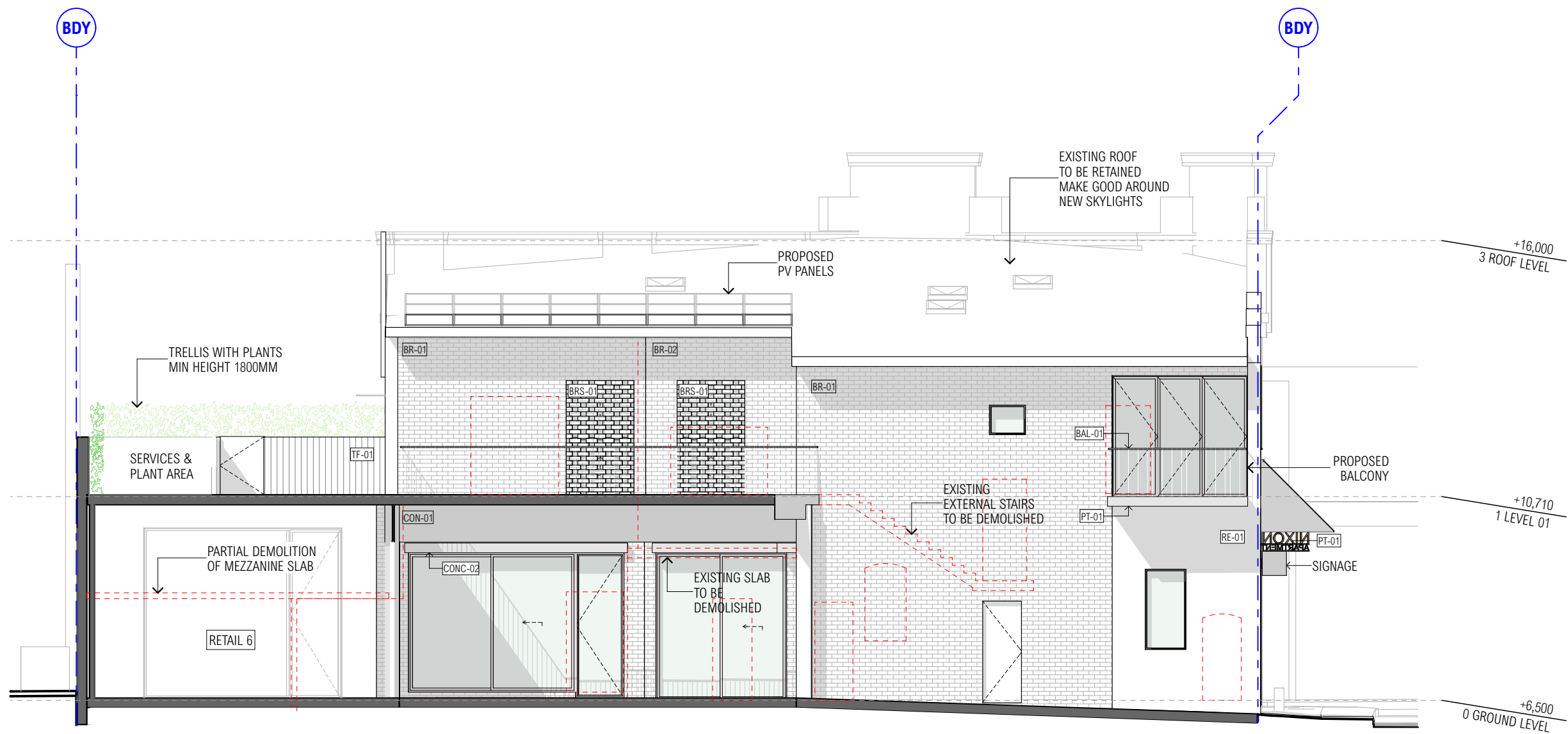
- LEGEND
- EXISTING WALLS TO BE RETAINED
 - EXISTING OPENING TO BE DEMOLISHED



E4
-
NORTH ELEVATION
1:100

- KEY
- BAL-01 METAL BALUSTRADE
 - BR-01 EXISTING BRICK
 - BR-02 NEW BRICK TO MATCH EXISTING
 - BRS-01 BRICK SCREEN
 - CN-01 EXISTING EXPOSED CONCRETE
 - CN-02 PROPOSED CONCRETE AWNINGS
 - LC-01 LIGHTWEIGHT CLADDING
 - PT-01 POWDERCOATED METAL SHEET
 - PT-02 POWDERCOATED METAL SHEET
 - RE-01 RENDER OFF-WHITE
 - RE-02 RENDER TEXTURED OFF-WHITE
 - RE-03 RENDER MEDIUM DARK
 - ST-01 TERRAZZO TILE
 - TF-01 TIMBER FENCE

- LEGEND
- EXISTING WALLS TO BE RETAINED
 - EXISTING OPENING TO BE DEMOLISHED



E3
-
WEST ELEVATION
1:100

- KEY
- BAL-01 METAL BALUSTRADE
 - BR-01 EXISTING BRICK
 - BR-02 NEW BRICK TO MATCH EXISTING
 - BRS-01 BRICK SCREEN
 - CN-01 EXISTING EXPOSED CONCRETE
 - CN-02 PROPOSED CONCRETE AWNINGS
 - LC-01 LIGHTWEIGHT CLADDING
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 - RE-02 RENDER TEXTURED OFF-WHITE
 - RE-03 RENDER MEDIUM DARK
 - ST-01 TERRAZZO TILE
 - TF-01 TIMBER FENCE

 EXISTING WALLS TO BE RETAINED
 PROPOSED INFILL WALLS
 EXISTING FLOORS/SPACE TO BE REFURBISHED



- LEGEND
- EXISTING WALLS TO BE RETAINED
 - PROPOSED INFILL WALLS
 - EXISTING FLOORSPACE TO BE REFURBISHED

