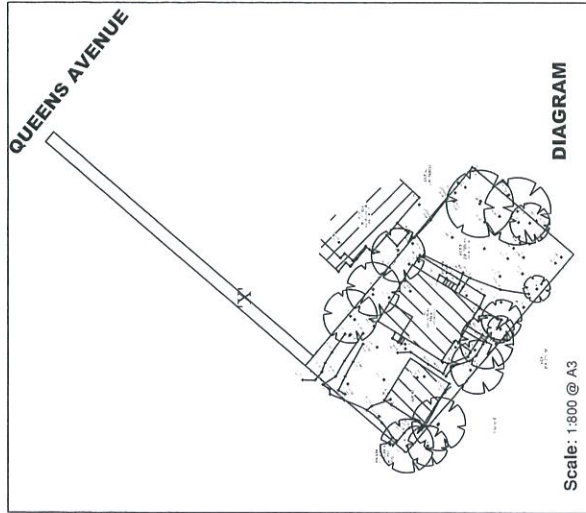
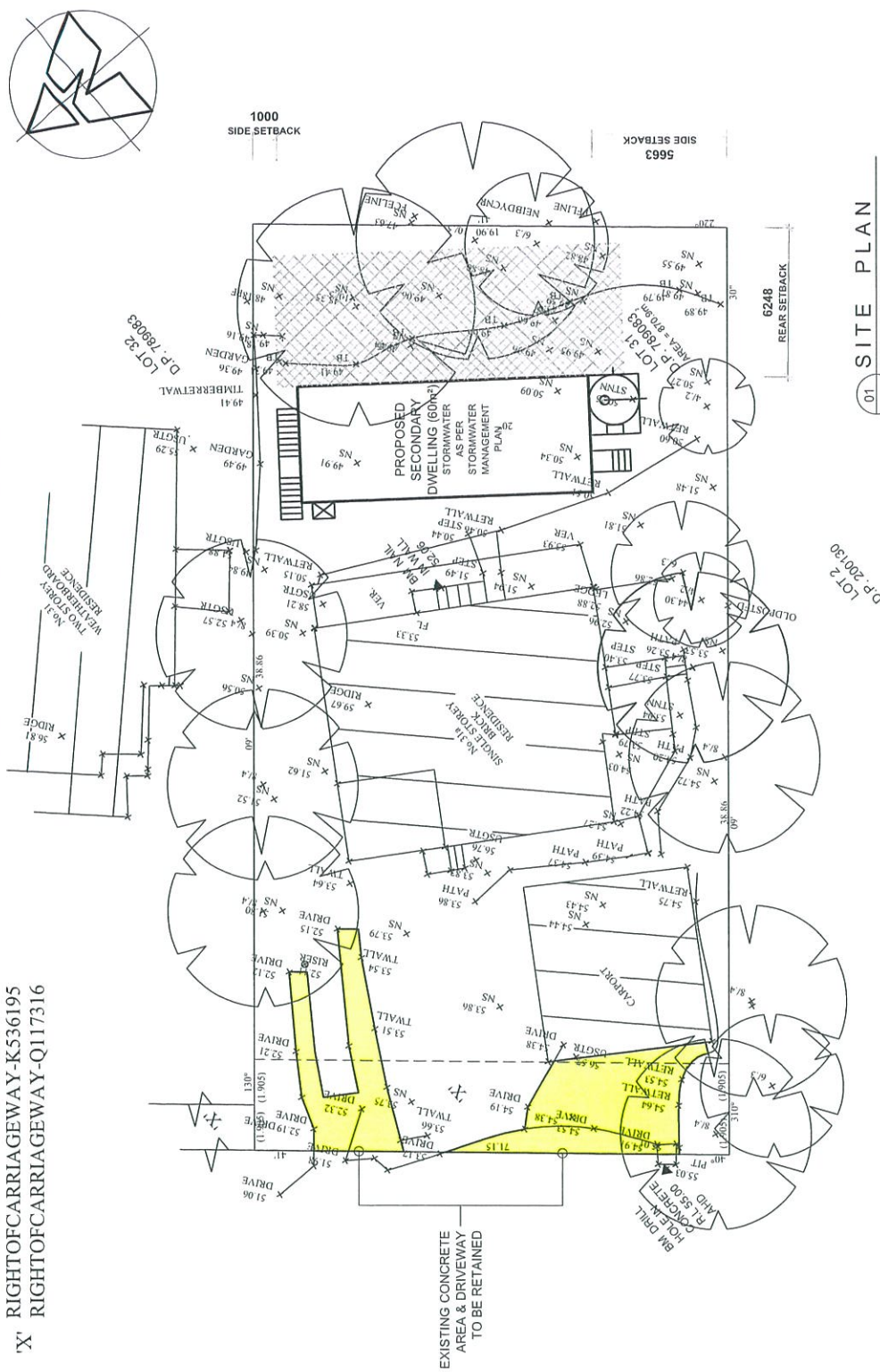


'X' RIGHT OF CARRIAGEWAY - K536195
'X' RIGHT OF CARRIAGEWAY - Q117316



DIAGRAM

Scale: 1:800 @ A3



SITE PLAN

01 SCALE 1:200

☒ DENOTES LOCATION OF WATER USAGE READER

▨ DENOTES PRIVATE OPEN SPACE (80m²)

☼ DENOTES EXISTING TREE TO BE RETAINED

— DENOTES SILT FENCE

SITE ANALYSIS

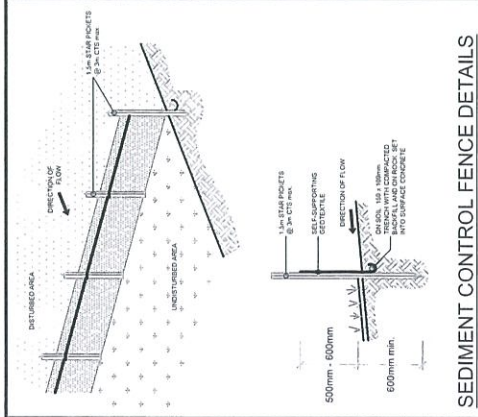
TOTAL SITE AREA
EXISTING DWELLING
EXISTING DRIVEWAY & CONCRETE
EXISTING PATIO

TOTAL EXISTING IMPERVIOUS AREA
TOTAL AREA OF PROPOSED
TOTAL NEW IMPERVIOUS AREA
TOTAL PROPOSED IMPERVIOUS AREA

FLOOR SPACE RATIO

TOTAL SITE AREA
EXISTING FLOOR AREA
EXISTING FLOOR SPACE RATIO
PROPOSED FLOOR AREA
PROPOSED FLOOR SPACE RATIO

SEDIMENT CONTROL FENCE DETAILS



This drawing supersedes any previous concept drawings. Please check carefully prior to signing. Figured dimensions only to be used. DO NOT SCALE from drawing. All dimensions are to be verified on site prior to commencement of work. This drawing remains the property of Ian Cubitts Classic Home Improvements and is subject to copyright.

CURRENT ISSUE				Proposed			
Date	Amendment	Drawn	Issue	Checked	Drawn	At Site Address	for
15/11/16	DA ISSUE	CN	G				
9/08/16	DA ISSUE	MY	F				
17/05/16	DA ISSUE	MY	E				
18/12/15	DA ISSUE	DI	D				
30/09/15	DA ISSUE	MY	C				
Amendment				E.Reyes			
CLASSIC HOME IMPROVEMENTS				Ian Cubitts			
152 Russell Street Emu Plains NSW 2750 Ph: (02)4735-2944				SECONDARY DWELLING			
www.classichomeimprovements.com.au Lic. 66902C				BORIS PANOV			
31A QUEENS AVENUE, AVALON				Job no. 20743			
				Date 17/04/15			
				Sheet 01 of 07			
				DP No. 789083			