

SMOKE ALARMS:
Provide mains powered smoke alarms to comply with AS3786 & Part9.5.2 + 9.5.4 of NCC2022 V2

SANITARY PLUMBER:
Provide & connect all fittings indicated to drainage system through wastes & traps as required by the Authority.
WATER SERVICE:
Provide copper pipe to all new fittings and hose cocks as indicated on plan & terminate with pressure cocks all to Authoritys requirements.
HOTWATER:
Provide copper water service which is fully lagged to all new fittings.

TILE FIXING
Floor:
Provide tiles as selected to all W.C., bathrooms, Laundry & other wet areas indicated, with falls where req'd.
Wall:
Bathrooms - Provide floor to Ceiling tiles as selected to all W.C.and bathrooms. Allow for expansion.
Laundrys - Provide 150mm high tiled skirting and 450mm high Splashbacks over laundry tubs.
Kitchens - Provide Splashbacks to Kitchen Benches.

WARDROBES:
To all Wardrobes allow for providing one 18mm edge stripped particleboard shelf 450mm wide supported on 50x25mm battens to sides and back, along with a similar batten under the front edge. Provide 20mm hanging rail with fittings and supports to underside shelf.

CEILING HEIGHTS
In accordance with NCC2022 Volume 2 part 10.3.1
Habitable room (excluding Kitchen) - 2.4m min. with sloping ceiling for 2/3 of the floor area.
Kitchen, Hall, Bathrooms, Laundrys, WCs, garage, storeroom and the like - 2.1m min
Stairway, Ramp landing and the like - 2.0m min measured vertically from the nosing line.
Attic - 2.2m min. with sloping ceiling for 2/3 of the floor area

Note
Floor area does not include floor where ceiling height <1.5m

TYPICAL WET AREA NOTES:
Wet areas shall be adequately flashed and Sealed to ensure no water penetration to adjoining construction.
Shower recess shall be waterproofed with an appropriate flexible epoxy coating covering the whole of the shower floor area.
All wall junctions in the shower area shall be flashed to a height of a least 1800mm.
Lay mortar bed for Floor tiles with min. 1:40 Fall.

Taps; must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.
Toilets; must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
Showerheads; must have a flow rate no greater than 9 litres per minute or a 3 star water rating.
Install aerators on bathroom hand basins & kitchen sinks.

New wet areas including the Laundry in accordance with part 10.2 of the NCC2022 Volume 2

A dedicated laundry space comprising of at least 1 wash tub & space for a washing machine, must be provided in accordance with NCC / BCA Part 3.8.3 - Laundries (including those in cabinets / kitchens) shall be provided with water resistant floors, graded & drained to a floor waste and waterproof wall/floor junctions in accordance with NCC / BCA Part 3.8.1

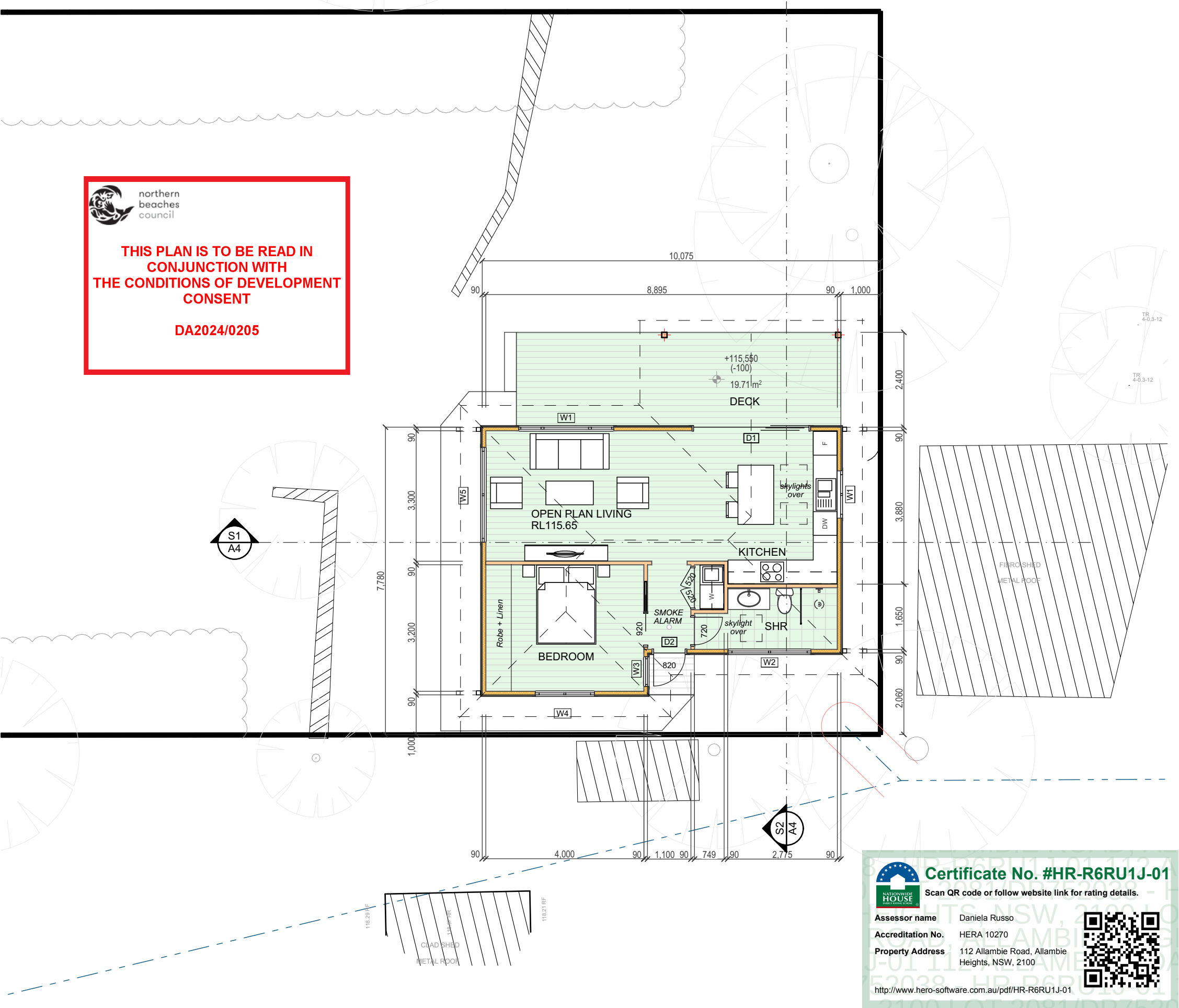
Allow for seperate cocks in location indicated for the washing machine separate to those for the laundry Tub.

Demolish items as indicated (dashed) or as otherwise required to allow for new construction and rubbish removal.
Protect any items indicated for reuse from damage.
Disconnect and terminate existing services, pipelines etc in a workmanlike manner.
Provide barricades, hoardings, tarpaulines etc as necessary to protect the remaining property and persons near the work.

 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/0205



**Certificate No. #HR-R6RU1J-01**
Scan QR code or follow website link for rating details.

Assessor name
Daniela Russo

Accreditation No.
HERA 10270

Property Address
112 Allambie Road, Allambie Heights, NSW, 2100



<http://www.hero-software.com.au/pdf/HR-R6RU1J-01>

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SURVEY DETAILS PROVIDED BY
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ACCREDITATION No. 6255
ABN 17 751 732 195

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PLANS DRAWN FOR APPROVAL



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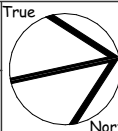
Client

Julie Clifford

PROPOSED GRANNY FLAT
112 ALLAMBIE ROAD ALLAMBIE HEIGHTS NSW 2100

Drawing Title

GROUND FLOOR PLAN



Scale
1:100
Date
Thursday, 8 February 2024

Job Number
23-0704
Drawn
S.G.
Drawing No.
A2



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RIDGE
119,150
CEILING
118,200
GROUND
115,650



NORTHERN ELEVATION



WESTERN ELEVATION

GENERAL WINDOW AND DOOR NOTE:
All windows and external doors to be Powder Coated Aluminium with fly screens.

EXTERNAL CLADDINGS:
Walls : Weathertex 'Primelok' (smooth).
Roof : Lysaght colorbond 'Custom Orb' roof Sheeting

All external wall claddings must be compliant with the requirements of NCC 2022 - ABCB Housing Provisions Part 7, AS1684 and all relevant CodeMark Certificates. Roof and Wall cladding installation to NCC 2022 - ABCB Housing Provisions Part 7 & AS 1562 Design and installation of sheet roof and wall cladding

RIDGE
119,150
CEILING
118,200
GROUND
115,650



SOUTHERN ELEVATION



EASTERN ELEVATION

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Client
Julie Clifford

PROPOSED GRANNY FLAT
112 ALLAMBIE ROAD ALLAMBIE HEIGHTS NSW 2100
Drawing Title
ELEVATION SHEET 1

Scale 1:100
Date Thursday, 8 February 2024
Job Number 23-0704
Drawn S.G.
Drawing No. A3

STRUCTURAL WORK

All structural work is to be in accordance with the structural details prepared by a suitably qualified Structural Engineer. Including but not limited to All piers, All footings, All concrete slabs, Retaining walls, Steelwork, Form work, underpinning, Additional structural loads, Timber framing, Wind bracing and associated connections.

BRICKWORK

All brickwork is to be selected by owner and all Masonry structures to comply with NCC 2022 - ABCB Housing Provisions Part 5 & AS 3700 Masonry structures.

All exposed brickwork must be cleaned down on completion.

METALWORK

Provide all metalwork and flashings necessary to satisfactorily complete the works.

TIMBER

Timber framing installation to NCC 2022 - ABCB Housing Provisions Part 6, AS 1684 Residential timber framed construction & AS/NZS 1170 Structural design actions.

External walls to be wrapped in a breathable membrane. Timber cladding is to be battened out 35mm from timber frame to provide an 'air' gap to prevent condensation.

WALL + CEILING LINING

All wall and ceiling linings to be gypsumboard or cement render as selected and villaboard or equal in wet areas.

All bathrooms and wet areas to be waterproofed to NCC 2022 - ABCB Housing Provisions Part 10, AS3740 and provide a Guaranteed Flexible Waterproof Membrane to all Wet Area Floors & Shower walls to manufactured specifications and installation instructions.

Waterproof installation NCC (2022): Housing Provisions Part 10, AS 3740 Waterproofing of domestic wet areas (internal) & AS 4654 Waterproof membranes for external use.

EAVES LINING

All eaves and soffits to be Cemintel eaves lining sheets.

Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturer's specifications.

ARCHITRAVES + SKIRTING

All architraves and skirting's to be to owner's selection or provide standard colonial moldings or to match existing.

Paint or stain finish as selected.

PLUMBING + DRAINAGE

Plumbing

All plumbing and drainage works to be installed and completed by a licensed trades person.

Provide & connect all new & relocated fittings to drainage system through wastes & traps as required by the Authority and in accordance with the statutory body having authority over the works.

All sanitary drainage must be concealed in service ducts or otherwise hidden from external view to the satisfaction of the Responsible Authority

Connect all waste to Sydney Water sewer line.

Connect all storm water to existing system or street drainage system in accordance with AS3500 and part 3.1.3 Drainage, of the Building Code of Australia - Housing Provisions.

Water Service

Extend from existing service with copper pipe to allow new & relocated fittings & hose cocks as indicated on plan & terminate with pressure cocks all to Authorities & requirements.

Hot Water

Provide copper water service which is fully lagged to all new & existing fittings as required.

SMOKE ALARMS:

Provide mains powered smoke alarms to comply with AS3786 & Part9.5.2 + 9.5.4 of NCC2022 V2

TERMITE PROTECTION

Termite protection measures to comply with NCC 2022 - ABCB Housing Provisions Part 3.4 & AS 3660.1

STAIRS + BALUSTRADES

Stairs and Balustrades to comply with NCC 2022 - ABCB Housing Provisions Part 11, AS 4586 including slip resistance P3 / R10 for Dry or P4 / R11 for Wet

ELECTRICAL WORKS

Electrical works to be in accordance with SAA wiring rules and be done by a licensed tradesman.

PAINTING

All paint colours to be selected by owners

All paints or other coatings shall be of the best quality materials + of approved manufacture.

External grade paints to be used to all external surfaces.

All priming materials shall be of an approved brand and compatible to the finishing coats that they are applied to.

External joinery intended to be painted, shall be primed on all faces at the place of assembly.

Where new or altered works adjoin existing painted surfaces, allow for the repainting of existing surfaces to provide a uniform appearance.

Only ZERO-VOC or LOW-VOC paints and primers are to be used.

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Client

Julie Clifford

PROPOSED GRANNY FLAT
112 ALLAMBIE ROAD ALLAMBIE HEIGHTS NSW 2100

Drawing Title

SECTIONS SHEET 1

Scale 1:100

Date

Thursday, 8 February 2024

Job Number 23-0704

Drawn

S.G.

Drawing No.

A4



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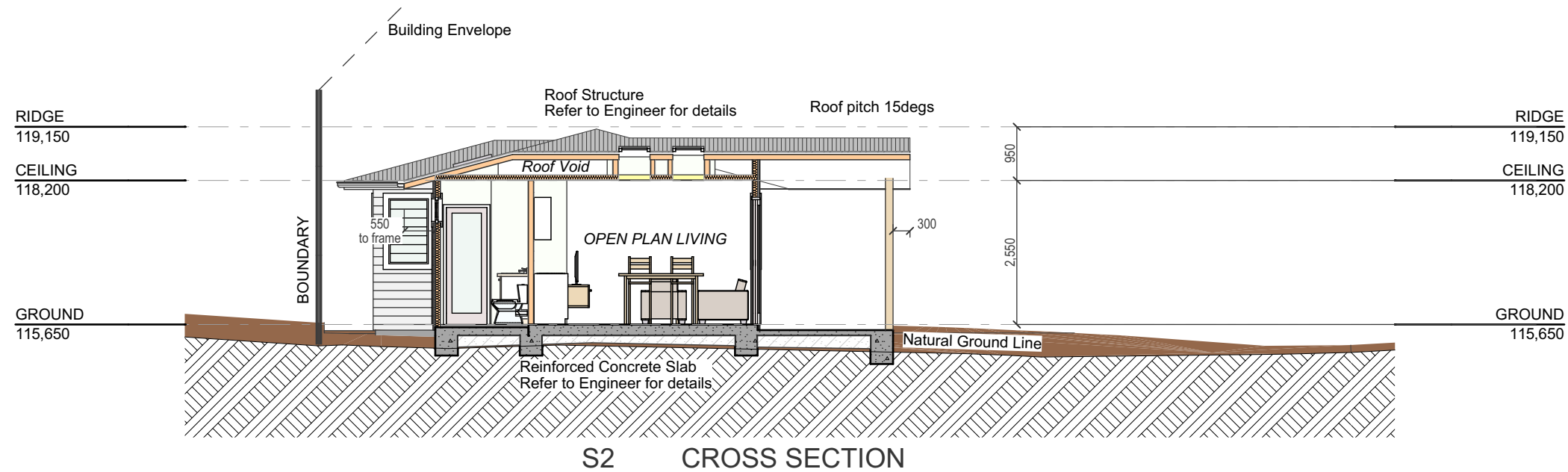
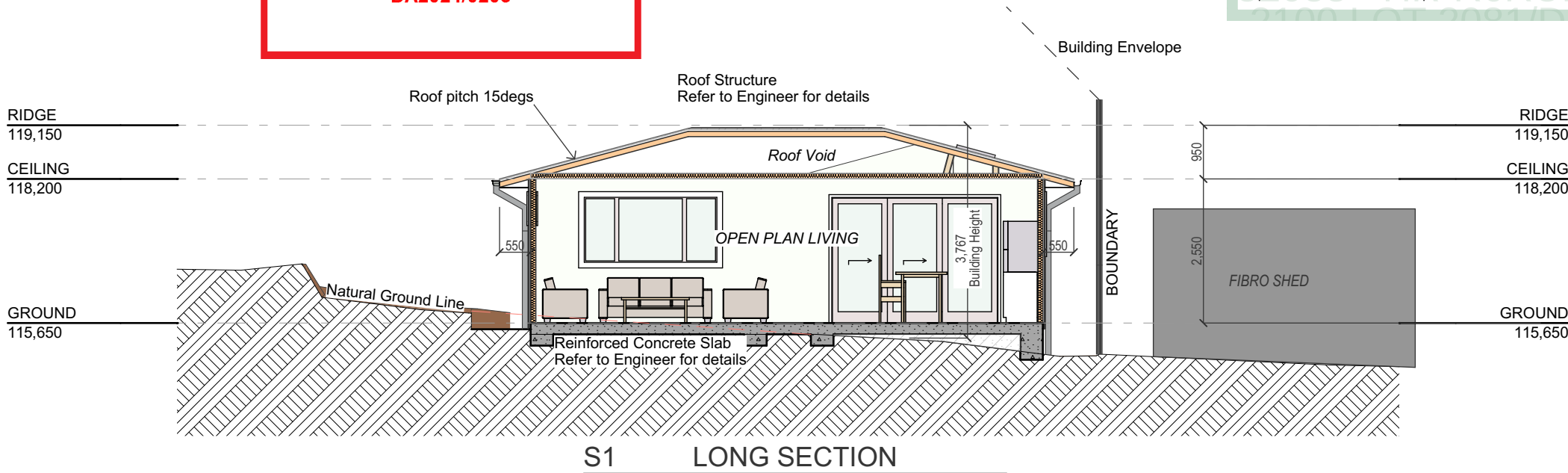
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Assessor name Daniela Russo

Accreditation No. HERA 10270

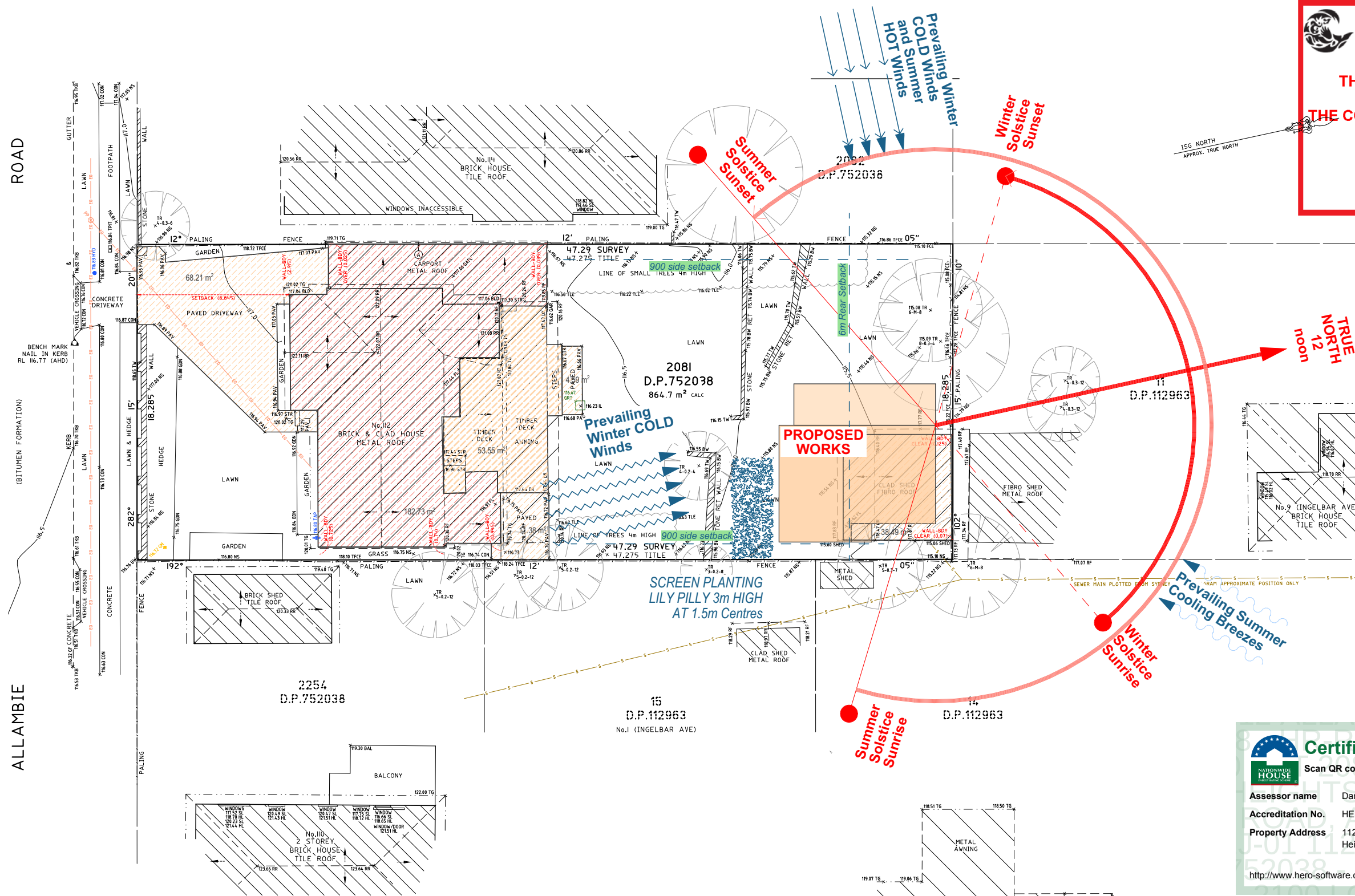
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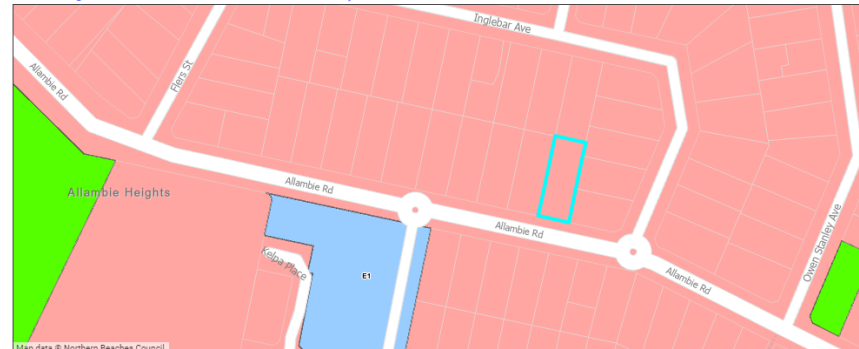
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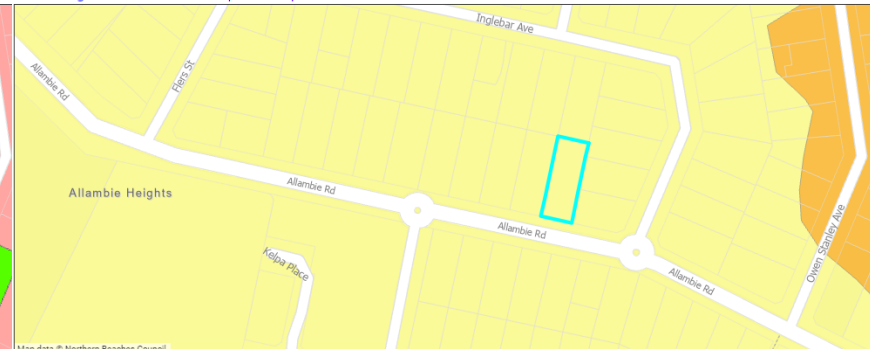
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Warringah LEP2011 - Land zoned R2 Low Density Residential



Warringah LEP2011 - Land Slip Risk Map-Area A



DCP - Landscaped Open Space and Bushland Setting 40% of site



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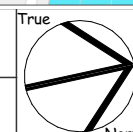
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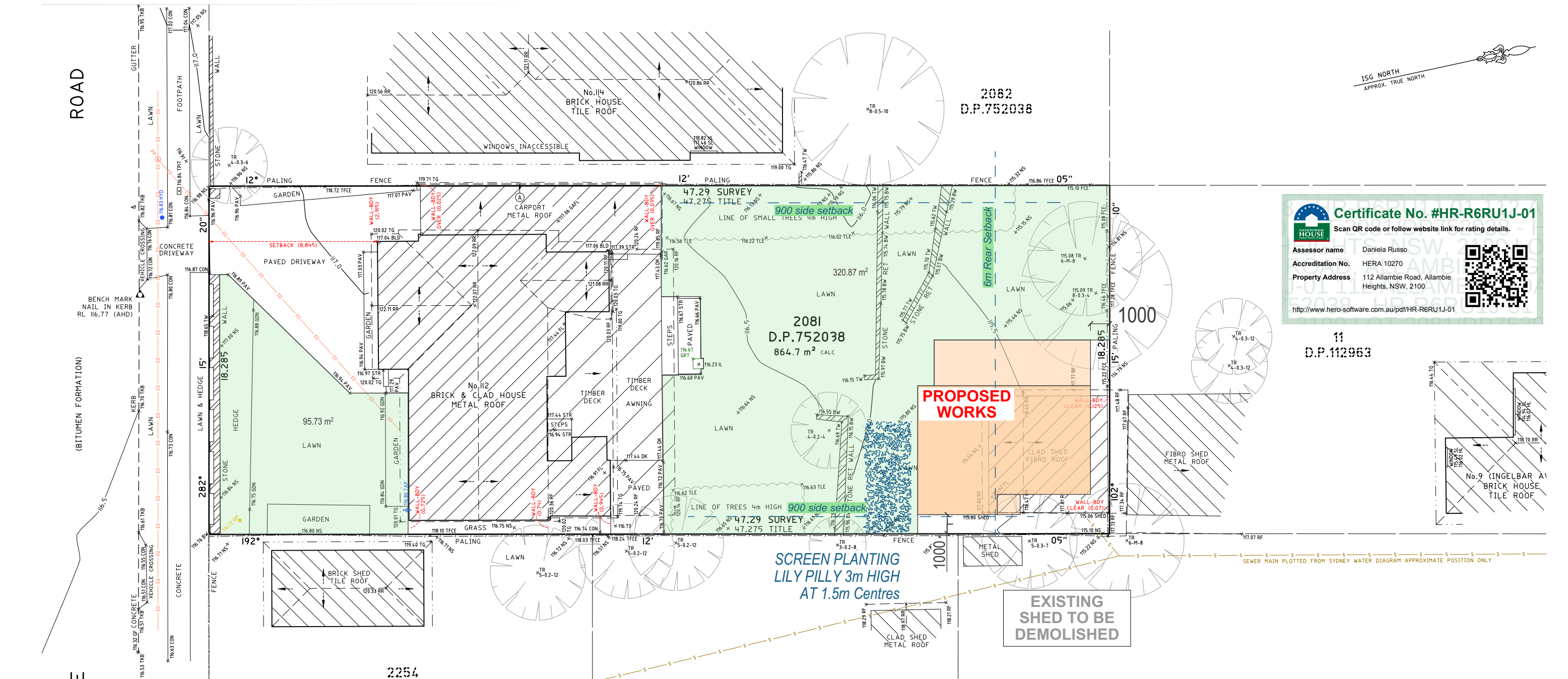
Client
Julie Clifford

PROPOSED GRANNY FLAT
112 ALLAMBIE ROAD ALLAMBIE HEIGHTS NSW 2100
Drawing Title
SITE ANALYSIS



Scale
1:250
Date
Thursday, 8 February 2024

Job Number
23-0704
Drawn
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Drawing No.
S1



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DA2024/0205

SITE CALCULATIONS

Site Area		864.7 m ²							
	Existing		Proposed		Control		Complys		
Residence / Carport	182.73	m ²	182.73	m ²					
Driveway / Paved	84.18	m ²	84.18	m ²					
Decks	53.55	m ²	74.53	m ²					
Shed / Granny Flat	38.49	m ²	56.25	m ²					
Site Coverage	358.95	m ²	41.51%	397.69	m ²	45.99%			
Pervious	505.75	m ²	58.49%	467.01	m ²	54.01%			
Landscaping	470.13	m ²	54.37%	416.6	m ²	48.18%	345.88 m ²	40%	YES

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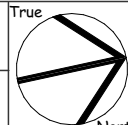
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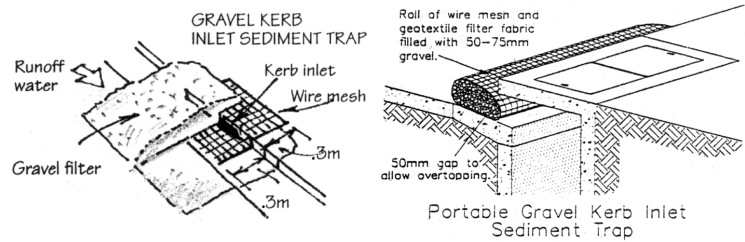
Client
Julie Clifford

PROPOSED GRANNY FLAT
112 ALLAMBIE ROAD ALLAMBIE HEIGHTS NSW 2100
Drawing Title
SITE PLAN | CALCULATIONS | LANDSCAPING



Scale
1:200
Date
Thursday, 8 February 2024

Job Number
23-0704
Drawn
S.G.
Drawing No.
S2



GUTTER PROTECTION

Provide protection to down hill Grate in Gutter by means of Sand bags or blue metal wrapped in geotextile fabric. When soil or sand builds up around this sediment barrier, the material should be relocated to the site for disposal.

SITE ACCESS

Vehicular access to the site must be via a single entry point that is stabilised to prevent the tracking of sediment onto the roads and footpath. Soil, earth, mud, clay, concrete washing, paint or similar materials must be removed from the roadway, by means other than washing, on a daily basis.

ON-GOING WASTE MANAGEMENT

Residents to manage waste on a daily basis - by separating materials into re-usables, recyclables, waste and garden organics for inclusion in appropriate disposal bins. Bins to be placed kerbside on specified days for collection by council.

ON-SITE PRACTICES

All trenches must be filled immediately after services are laid. Excess materials such as cement, water from tool cleaning, paintbrushes and brick and concrete slurry, must not be washed into stormwater system. It is against the law to pollute waters with any solid, liquid or gas. Where possible construct a depression or earth dam below brick, concrete or tile cutting. If this is not possible, pass water through a filter.

SEDIMENT NOTE:

1. All Erosion and Sediment Control measures to be inspected and maintained daily, by the site manager.
2. Minimise disturbed areas, remove excess soil from excavation area as soon as possible.
3. All material stockpile to be clear from drains, gutters and footpaths, or within sediment fence.
4. Drainage to be connected to Stormwater as soon as possible. If stored on site, it must be filtered before releasing into the stormwater system or waterways.
5. Roads and footpaths to be swept daily.

BUILDING WASTE DISPOSAL

All waste materials are to be sorted and transported to the local authorized waste management centre for potential re-use or recycling. Garden waste to be delivered to an authorized Recycling centre for chipping for reuse as mulch. Any Asbestos materials located on the site during the demolition process is to be properly disposed of in accordance with the guidelines of the relevant regulatory authority. Every attempt will be made to keep waste to a minimum.

STOCK PILES

All stockpiles are to be kept on-site where possible. Any materials placed on the footpaths or nature strips require council's permission. All stockpiles are to be placed away from the drainage lines and street gutters. It is best to locate these on the highest part of the site if possible. Place waterproof covering over stockpiles. If required provide diversion drain & bank around stockpiles.

DUST CONTROL

To reduce dust generated by wind action, the removal of the top soil is to be minimised. To prevent dust generation, watering down of the site, especially during the movement of machinery is required. Where excavating into rock, keep the surface moist to minimise dust. Construct a gravel entry/exit point using blue metal and restrict all vehicle movements within the site to a minimum. Ensure wind breaks, such as existing fences are maintained during the construction phase until new landscaping is provided or reinstated. Prevent dust by covering stockpiles.



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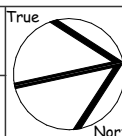


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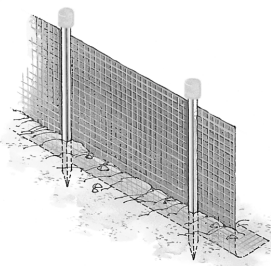
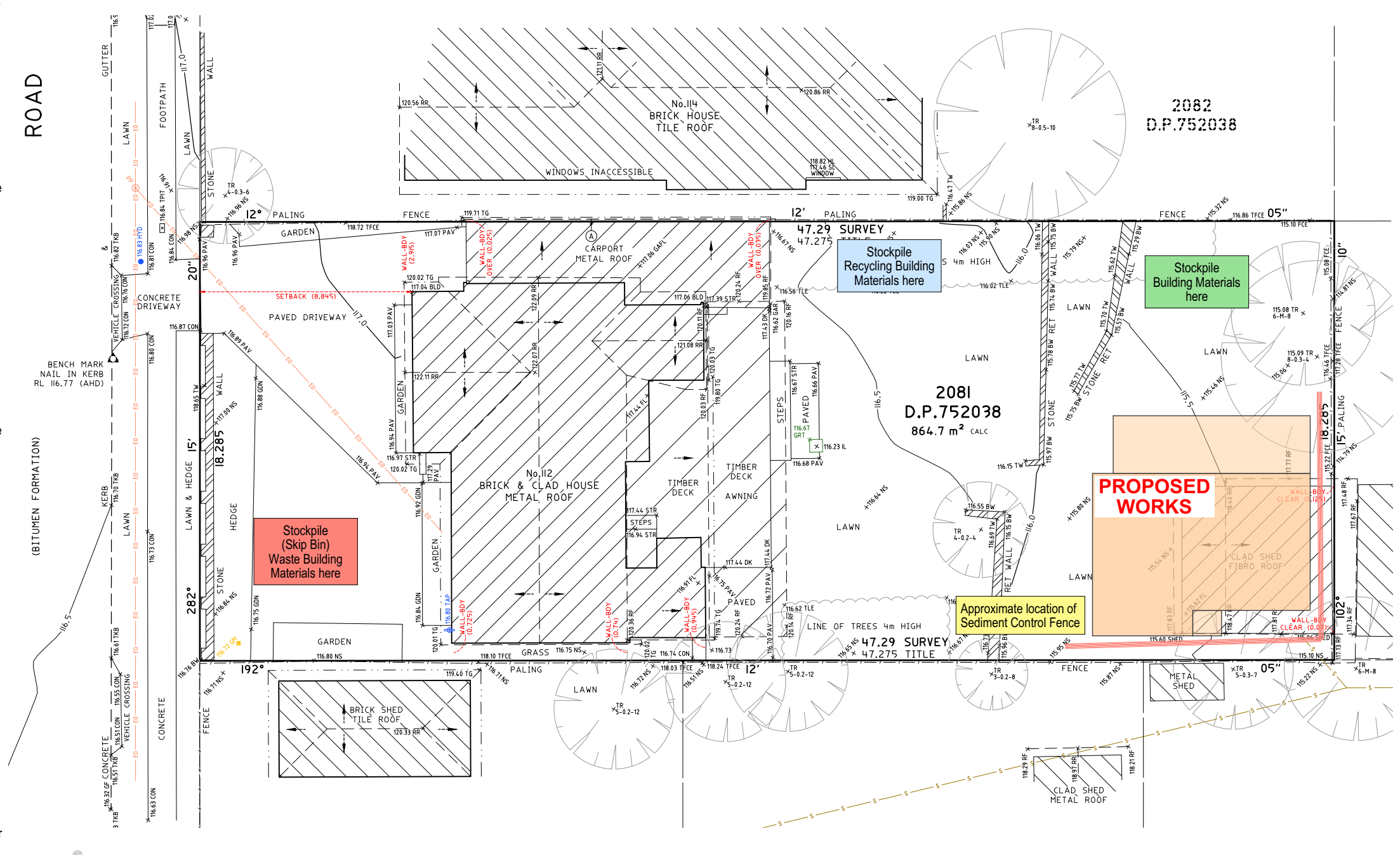
Julie Clifford

PROPOSED GRANNY FLAT
112 ALLAMBIE ROAD ALLAMBIE HEIGHTS NSW 2100
SITE and WASTE MANAGEMENT
SEDIMENT + EROSION CONTROL



True
Scale
1:200
Date
Thursday, 8 February 2024

Job Number
23-0704
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Drawing No.
S3



SEDIMENT CONTROL FENCE

- 1 Excavate a trench a minimum of 200mm wide and 200mm deep on the uphill side of the proposed line of silt fence.
- 2 Drive adequate length support posts to a depth (minimum 400mm) appropriate for the site conditions downhill of the trench.
A. Post spacing is typically at 2m centres with wire attached along the top between posts to assist with support of the silt fence.
B. Post spacing can be increased up to 4m centres if supported by 2.5mm diameter high tensile wire at mid height and along the top with hog rings, clips or pins every 150mm connecting the silt fence along the top wire.
- 3 Roll out silt fence and position up against the support posts and fold over top wire. Hog rings, clips or pins are used to attach the silt fence to the top wire (at the required spacing).
- 4 Bury bottom section along the base and up the side of the trench leaving a minimum exposed height of 600mm and backfill with soil. Compact to ensure good anchorage. Place safety caps on posts.

