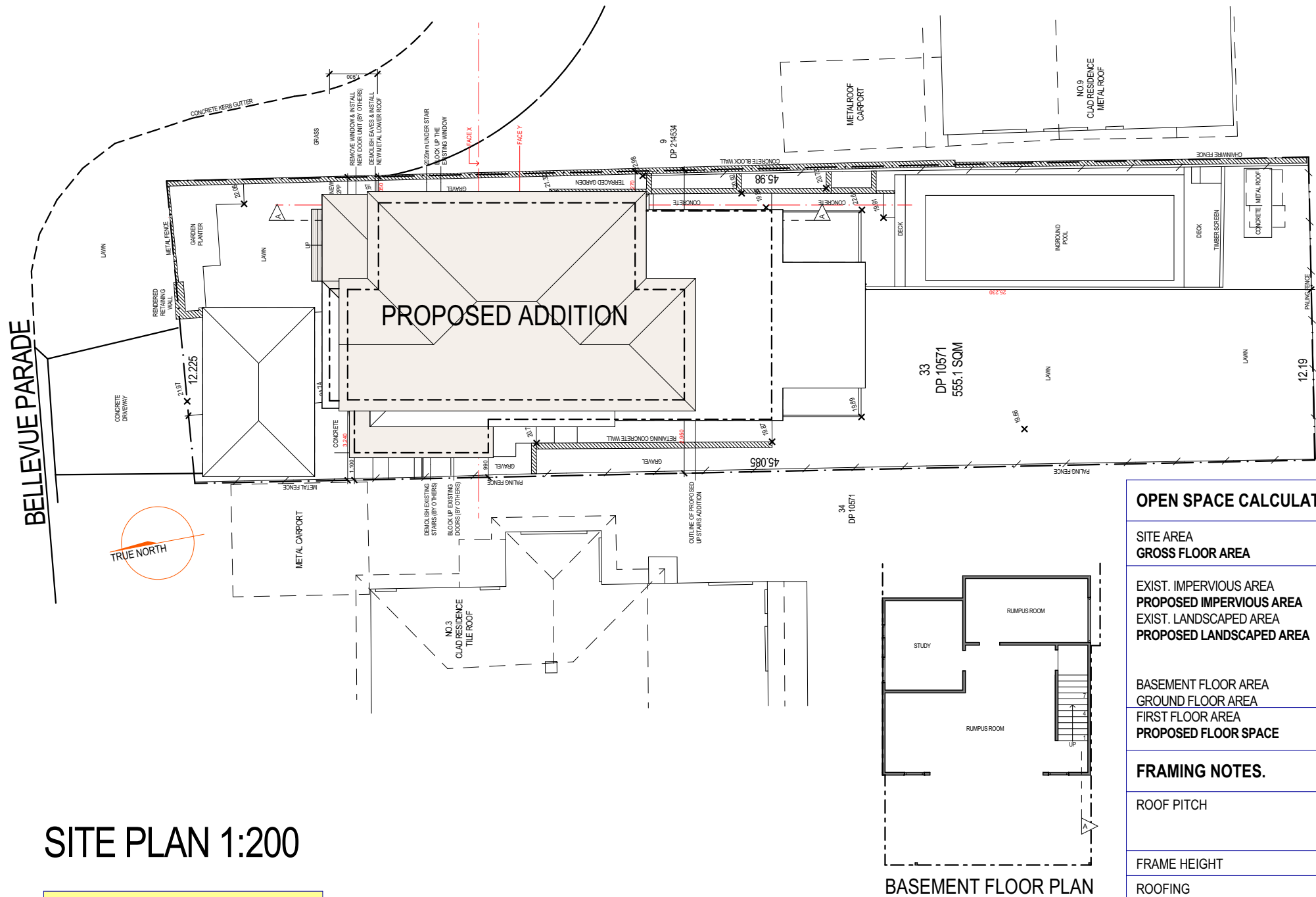




ARTIST'S IMPRESSION
FOR ILLUSTRATION PURPOSES ONLY, NOT TO BE READ AS A WORKING DRAWING

SITE PLAN 1:200

VARIAIONS
-ADD 500MM TO MAIN BEDROOM
-ADD 100MM TO FIRST FLOOR WALL HEIGHT
-2X SEPARATE VANITIES TO FIRST FLOOR BATHROOM
-1M HIGH BALUSTRADE

I CERTIFY THAT WORK COMPLETED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS WILL COMPLY WITH THE REGULATIONS REFERRED TO IN SECTION 81A (5) OF THE ENVIRONMENT PLANNING & ASSESSMENT ACT 1979

BASIX REQUIREMENTS
40% NEW LIGHTING TO BE FLUORESCENT, COMPACT FLURESCENT, OR LED.
BATHROOM FIXTURES TO BE 3 STAR OR GREATER WATER RATING.
EXTERNAL WALL TO HAVE R1.70 OR GREATER INSULATION.
FLAT CEILING, PITCHED ROOF TO HAVE R0.45 OR GREATER, FOIL BACKED BLANKET (100mm).
IMPROVED ALUMINIUM WINDOWS TO HAVE U-VALUE NO GREATER THAN 6.44 AND SHGC OF 4.48
W1,W2,W3,W4,W6 AND W8 TO HAVE PYRO LOW-E GLASS WITH U-VALUE NO GREATER THAN 4.48 AND SHGC OF 0.75)

OPEN SPACE CALCULATIONS	
SITE AREA	555.1 sqm
GROSS FLOOR AREA	276.8 sqm
EXIST. IMPERVIOUS AREA	265.75 sqm 47%
PROPOSED IMPERVIOUS AREA	274.55 sqm 49%
EXIST. LANDSCAPED AREA	289.35 sqm 53%
PROPOSED LANDSCAPED AREA	280.55 sqm 51%
BASEMENT FLOOR AREA	55.6 sqm 0.10 : 1
GROUND FLOOR AREA	144.9 sqm 0.26 : 1
FIRST FLOOR AREA	78.2 sqm 0.14 : 1
PROPOSED FLOOR SPACE	278.7 sqm 0.50 : 1
FRAMING NOTES.	
ROOF PITCH	NEW: 21° EXISTING 27° & 3° TO BE CHECKED
FRAME HEIGHT	2600mm
ROOFING	METAL
EAVE OVERHANGS	450mm
EXTERNAL DOOR AND WINDOW HEAD HEIGHT TO LINE UP	2130mm TO LINE UP
INTERNAL DOOR	2110mm
B.I.C DOOR	2110mm TO LINE UP
DOOR AND WINDOW NIBS	90mm MIN UNLESS OTHERWISE NOTED
FRAME AND TRUSS CENTRES	600mm
DOOR STUD OPENINGS	880mm WIDE UNLESS OTHERWISE NOTED

LEGEND & GENERAL NOTES	
(VAR)	VARIATION
O.T.A	OWNER TO ADVISE BUILDER
90PP	90 x 90 PRIMED POST
S.L.	SKY LIGHT
SHW	SHOWER ENCLOSURE
V.	VANITY UNIT
W / C	TOILET SUITE (WATER CLOSET)
B I C	BUILT IN CUPBOARD
ST.	STORE
C.O.S	TO BE CHECKED ON SITE
OPT. #	OPTION
OB+H	OPEN BALUSTRADE AND HANDRAIL
DP	DOWNPIPE
DP&S	DOWNPIPE AND SPREADER
ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE.	
SUBCONTRACTORS TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN TO BE STRICTLY COMPLYING WITH CC / CDC	
SUBCONTRACTORS TO CONFIRM DA LEVEL IS IN COMPLIANCE WITH PROJECT MANAGER BEFORE FINALISING FLOOR STRUCTURE	



ADD-STYLE

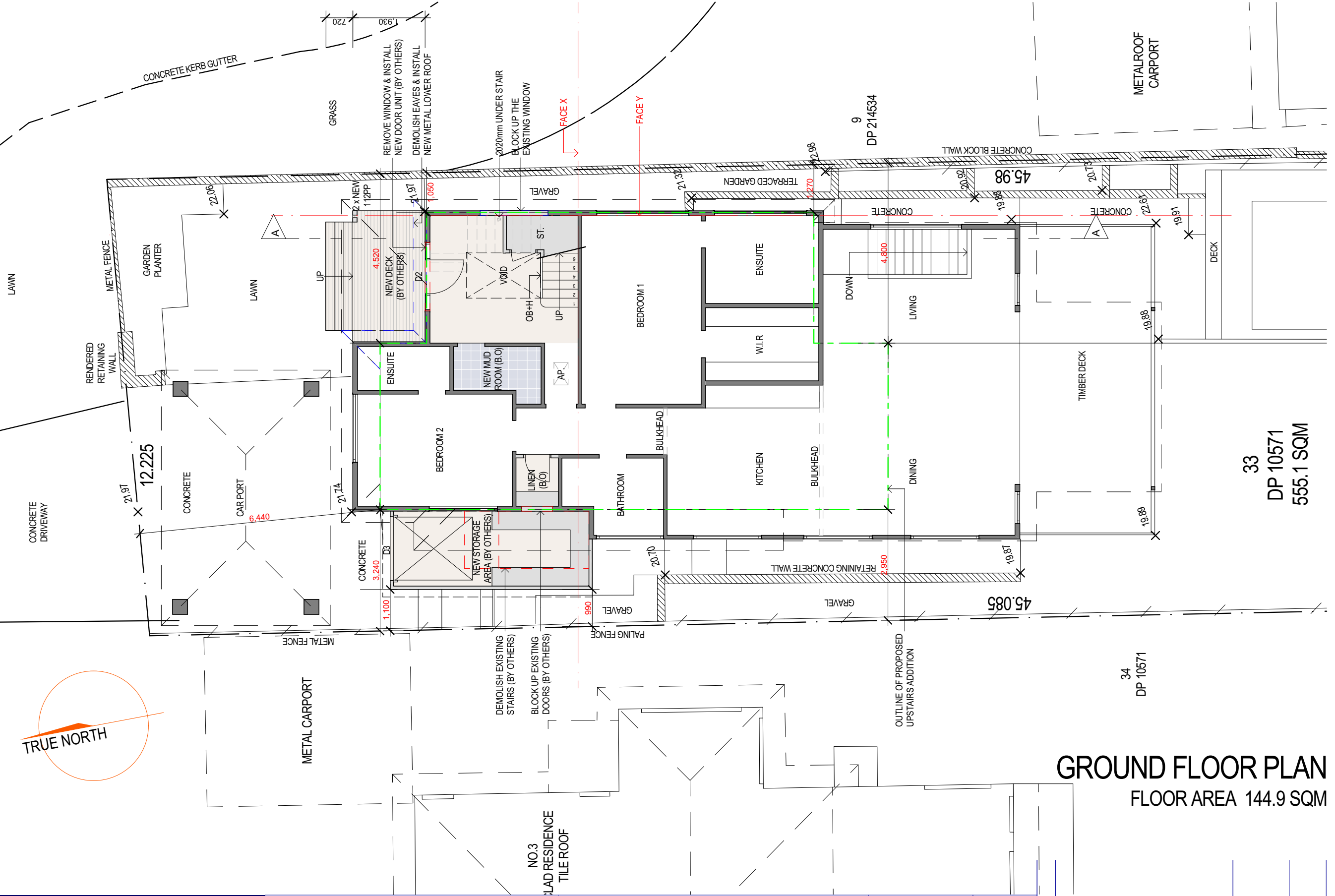
HOME ADDITIONS

Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093 P: (02) 9907 9055 E: info@addstyle.com.au

Proposed Additions at: 1 Bellevue Parade, North Curl Curl NSW 2099				DRAWING TITLE		PLAN, ELEVATION AND SECTION DRAWINGS		DRAWING NO.		ISSUE								
				DATE		29/03/2022												
JOB REVIEW 2			EMAIL DATE	00/00/00		SCALE		DRAWN BY		CHECKED BY		C B A		For Council For Council For review		29/03/22		TH
JOB REVIEW 1		✓	EMAIL DATE	08/02/22												1:200		TH
												NO.		REVISION		DATE		BY

BELLEVUE PARADE



GROUND FLOOR PLAN
FLOOR AREA 144.9 SQM



ADD-STYLE
HOME ADDITIONS
Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093 P: (02) 9907 9055 E: info@addstyle.com.au

Proposed Additions at:
1 Bellevue Parade,
North Curl Curl NSW 2099

DRAWING TITLE PLAN, ELEVATION AND SECTION DRAWINGS

DATE 29/03/2022

SCALE 1:100
DRAWN BY TH
CHECKED BY CW

DRAWING NO.

1497 DA 2/5

ISSUE

C

C For Council
B For Council
A For review

29/03/22

TH

17/03/22

TH

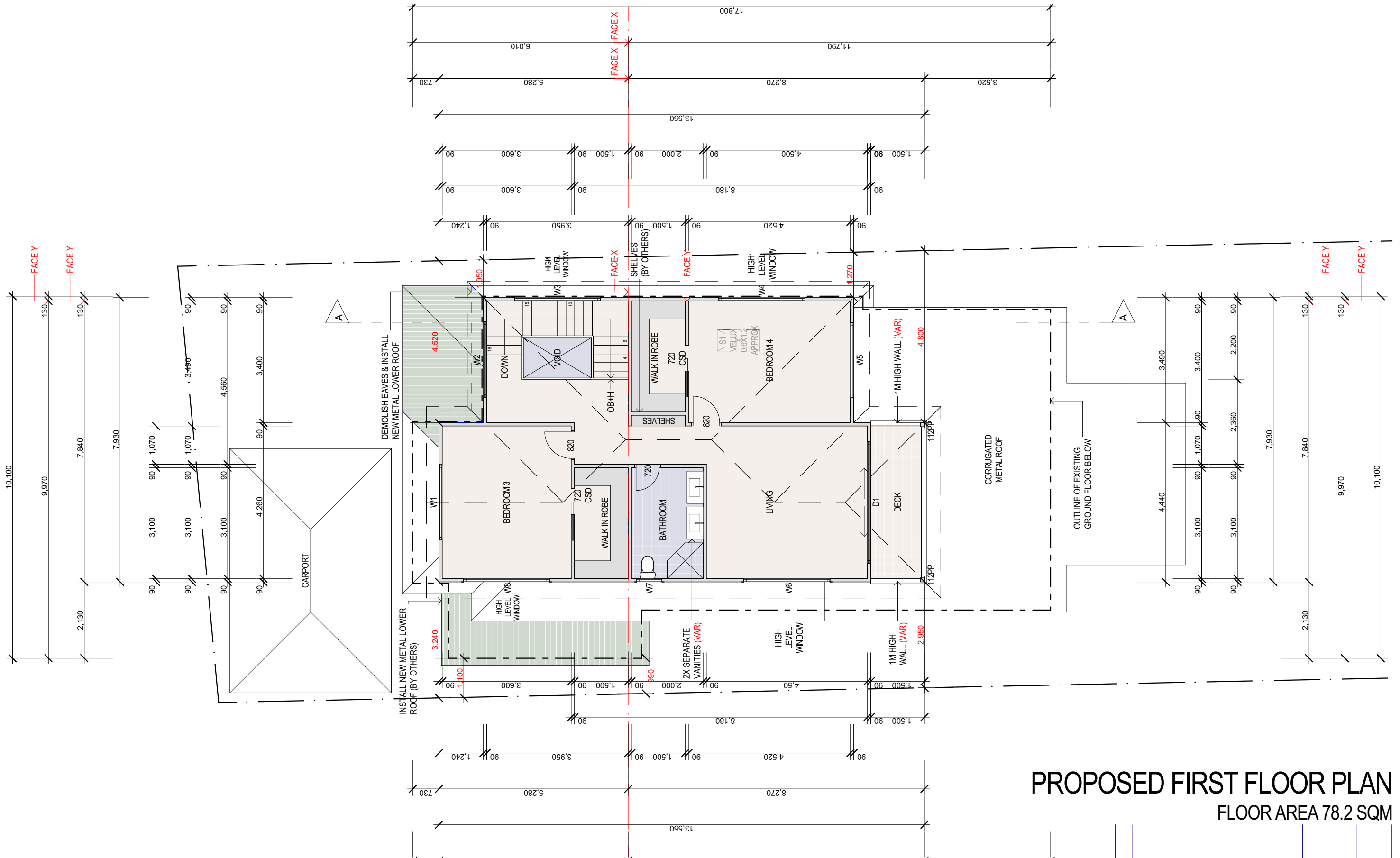
28/01/22

TH

NO. REVISION

DATE

BY



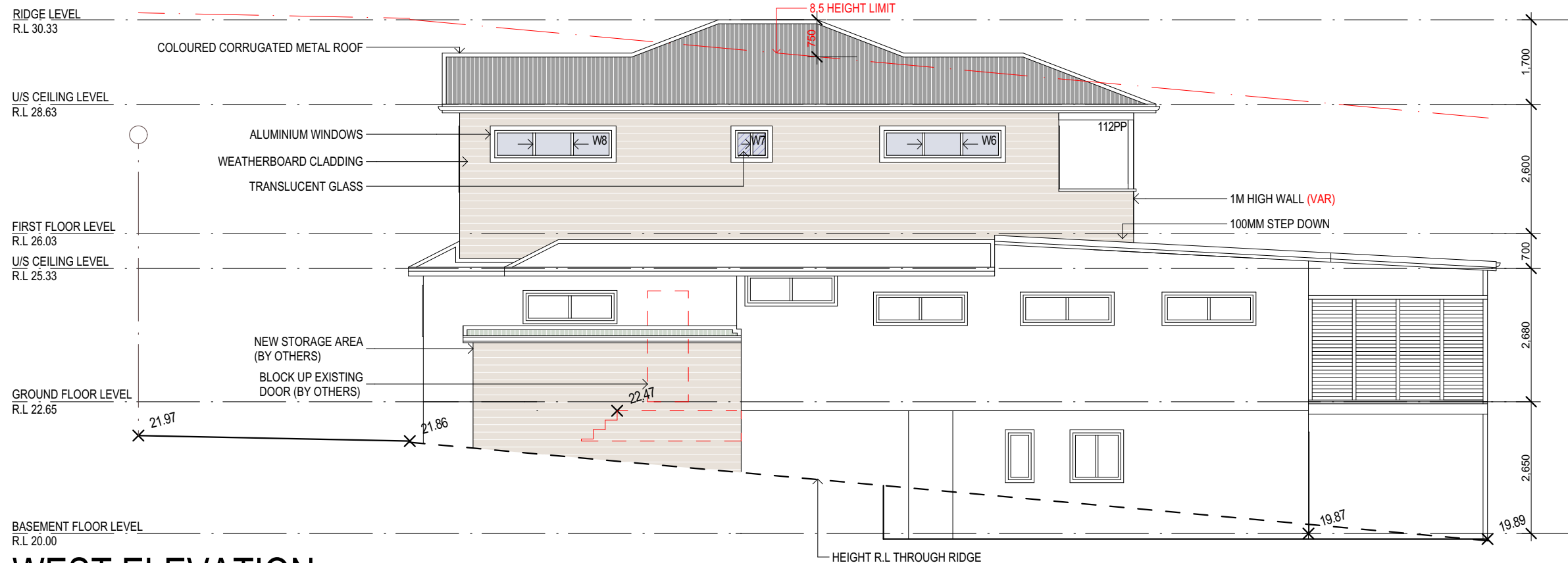
PROPOSED FIRST FLOOR PLAN
FLOOR AREA 78.2 SQM



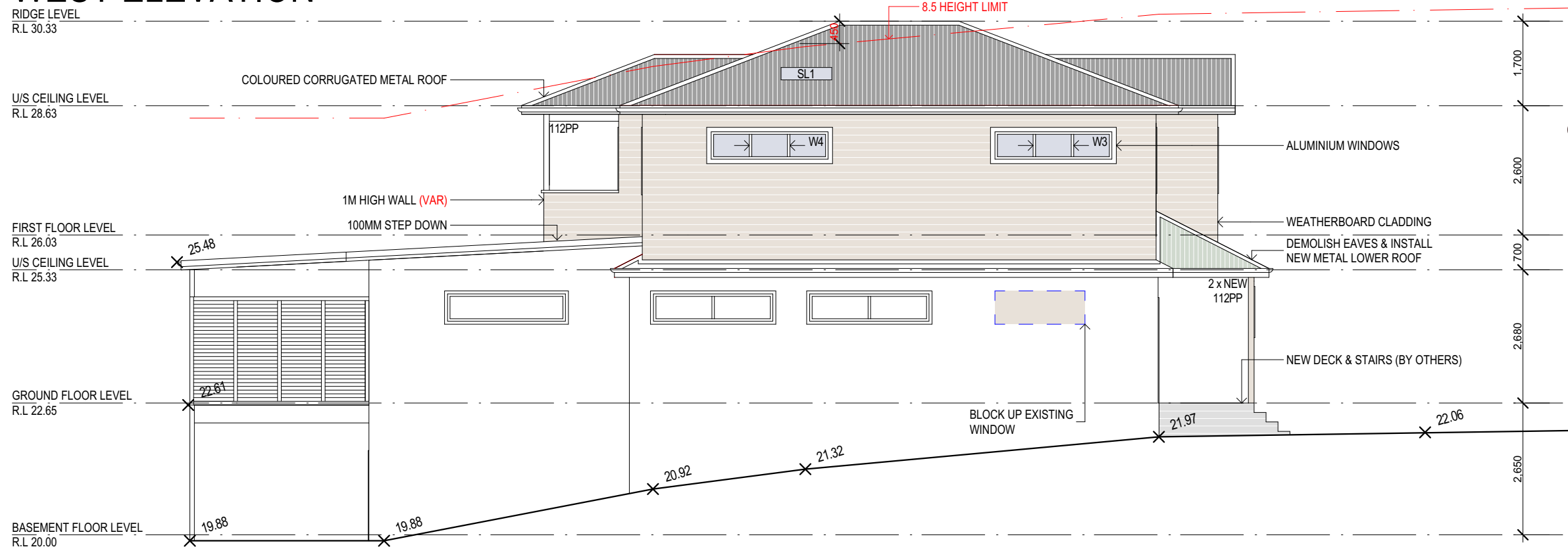
ADD-STYLE
HOME ADDITIONS
Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093 P: (02) 9907 9055 E: info@addstyle.com.au

Proposed Additions at: 1 Bellevue Parade, North Curl Curl NSW 2099		DRAWING TITLE	PLAN, ELEVATION AND SECTION DRAWINGS		DRAWING NO.	ISSUE		
DATE	29/03/2022	SCALE	DRAWN BY	CHECKED BY	1497 DA 3/5	C	C	For Council
			TH	CW			B	For Council
							A	For review
							NO.	REVISION
								DATE
								BY



WEST ELEVATION



EAST ELEVATION



ADD-STYLE
HOME ADDITIONS
Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093 P: (02) 9907 9055 E: info@addstyle.com.au

Proposed Additions at:
1 Bellevue Parade,
North Curl Curl NSW 2099

DRAWING TITLE

PLAN, ELEVATION AND SECTION DRAWINGS

DATE

29/03/2022

SCALE

1:100

DRAWN BY

TH

CHECKED BY

CW

DRAWING NO.

1497 DA 4/5

ISSUE

C

C
B
A

For Council
For Council
For review

NO.

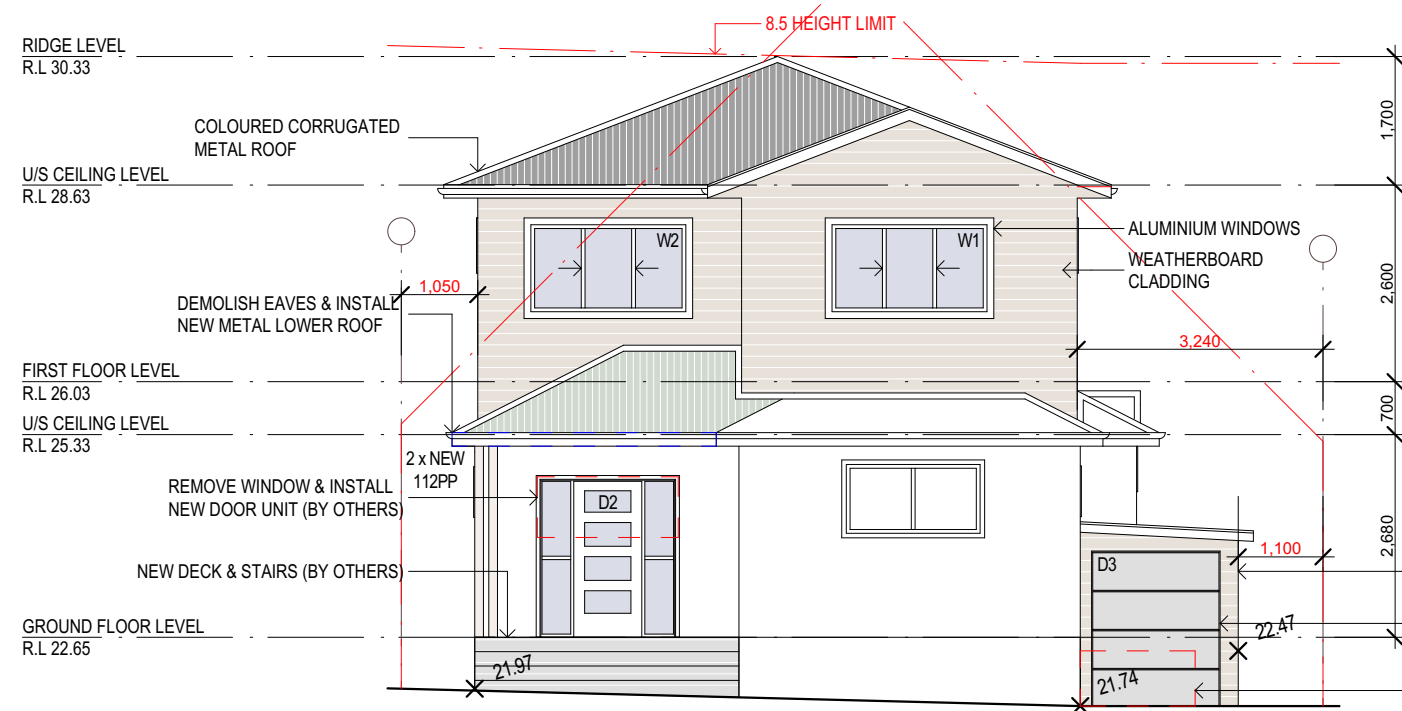
REVISION

29/03/22
17/03/22
28/01/22

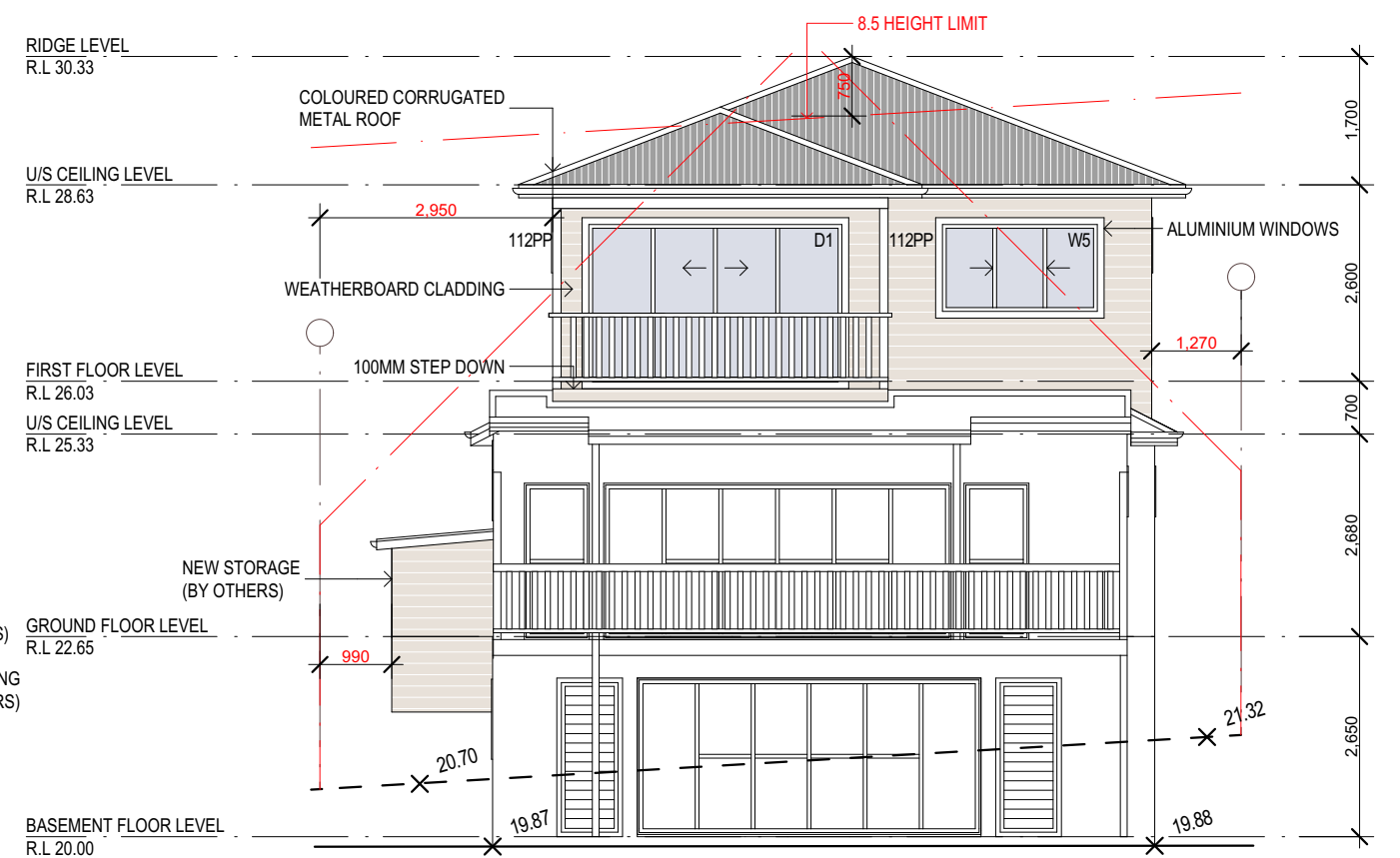
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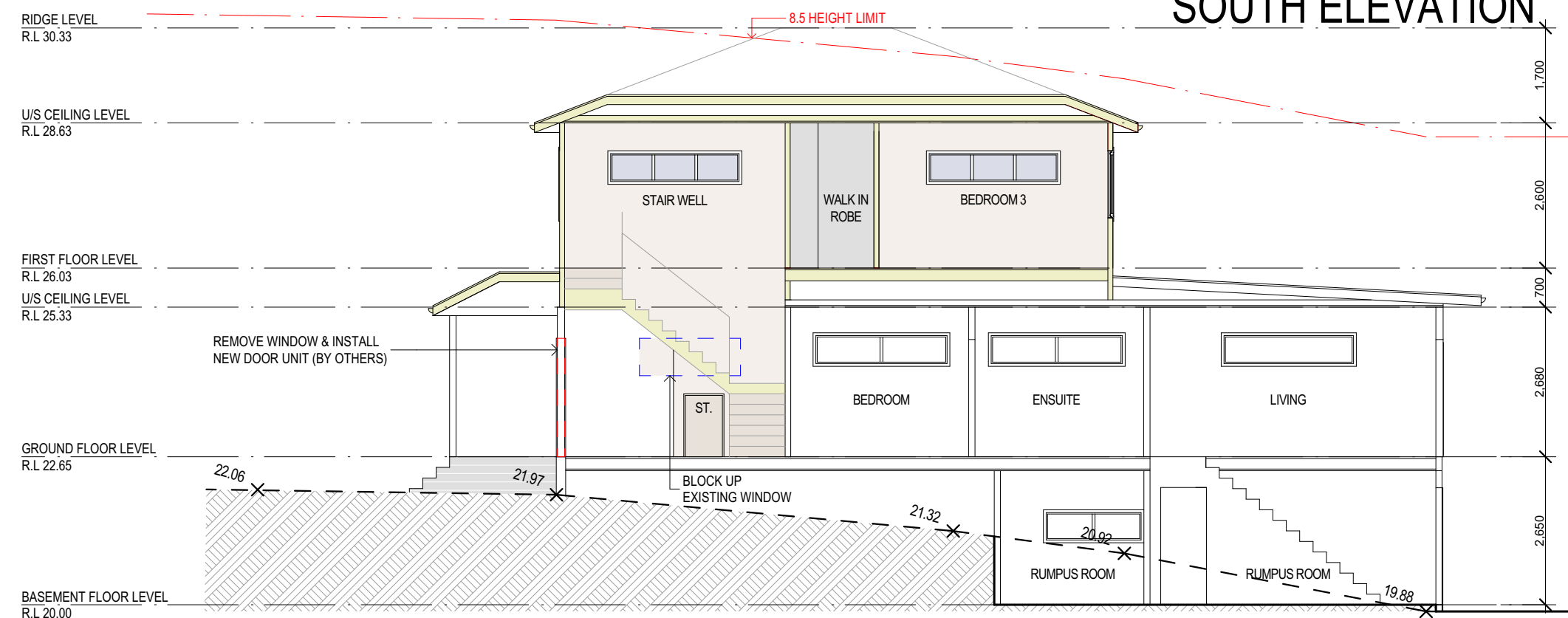
BY



NORTH ELEVATION



SOUTH ELEVATION



SECTION A-A



ADD-STYLE
HOME ADDITIONS
Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093 P: (02) 9907 9055 E: info@addstyle.com.au

Proposed Additions at:
1 Bellevue Parade,
North Curl Curl NSW 2099

DRAWING TITLE PLAN, ELEVATION AND SECTION DRAWINGS

DATE 29/03/2022

SCALE 1:100
DRAWN BY TH
CHECKED BY CW

DRAWING NO.

1497 DA 5/5

ISSUE

C

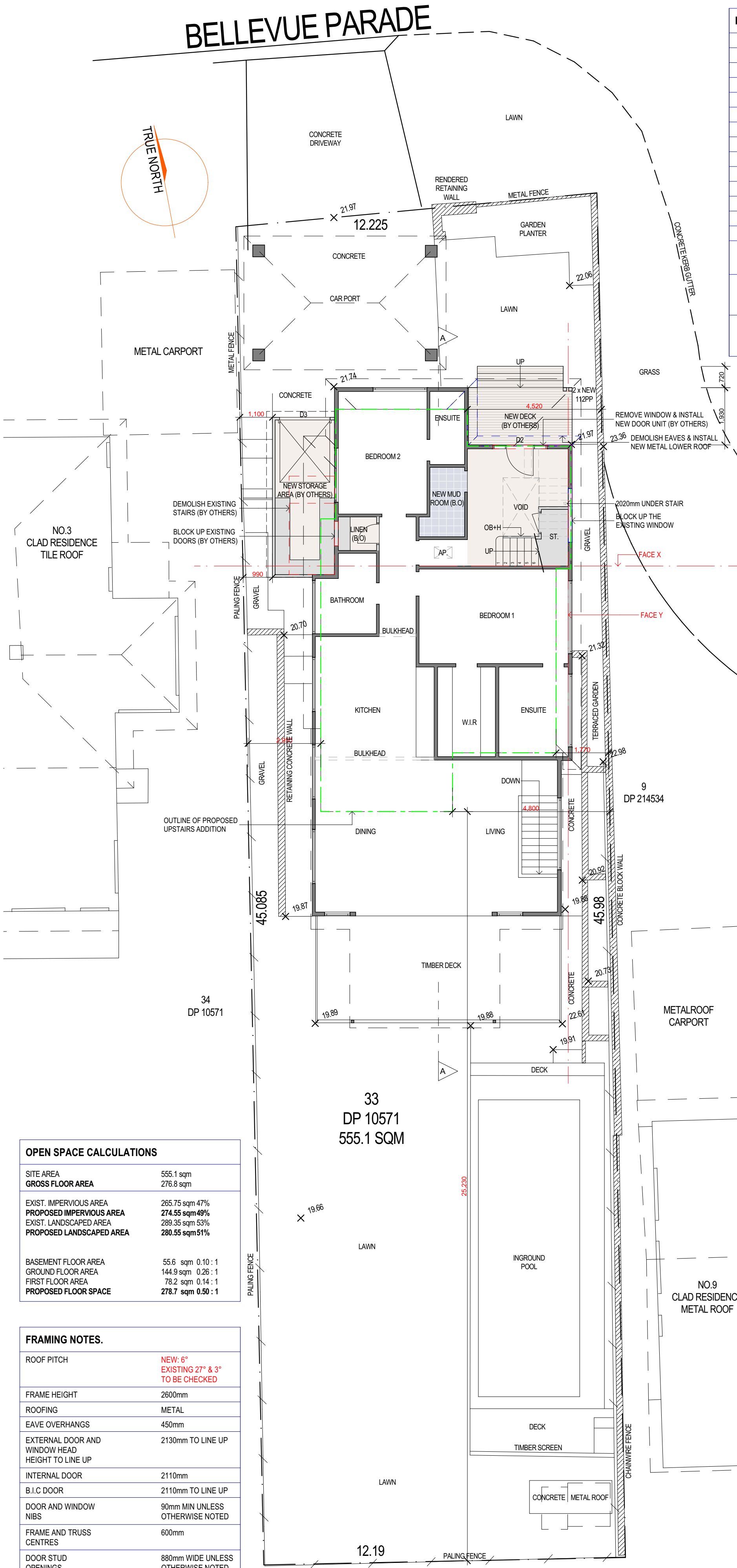
C For Council
B For Council
A For review

29/03/22 TH
17/03/22 TH
28/01/22 TH

NO. REVISION

DATE BY

BELLEVUE PARADE

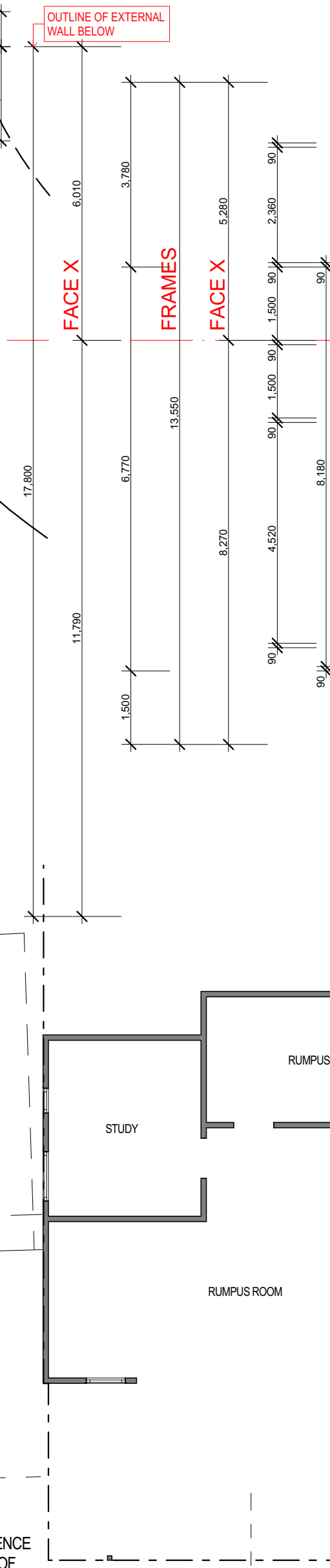


OPEN SPACE CALCULATIONS	
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GROSS FLOOR AREA	276.8 sqm
EXIST. IMPERVIOUS AREA	265.75 sqm 47%
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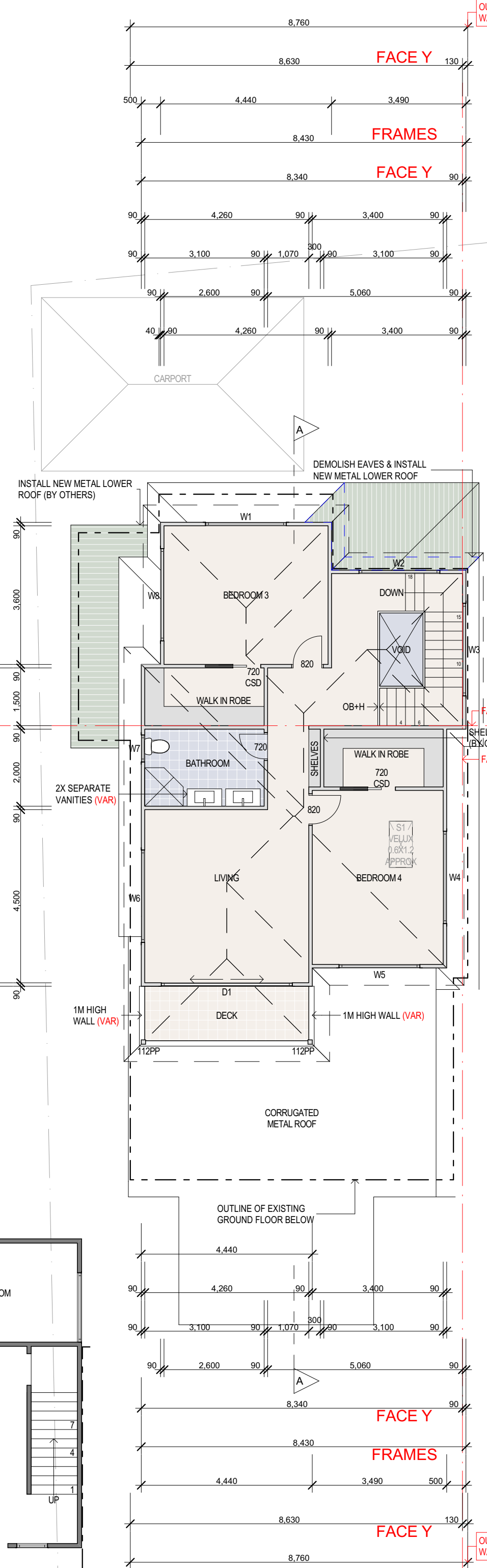
FRAMING NOTES.	
ROOF PITCH	NEW: 8° EXISTING: 27° & 3° TO BE CHECKED
FRAME HEIGHT	2600mm
ROOFING	METAL
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EXTERNAL DOOR AND WINDOW HEAD HEIGHT TO LINE UP	2130mm TO LINE UP
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GROUND FLOOR PLAN

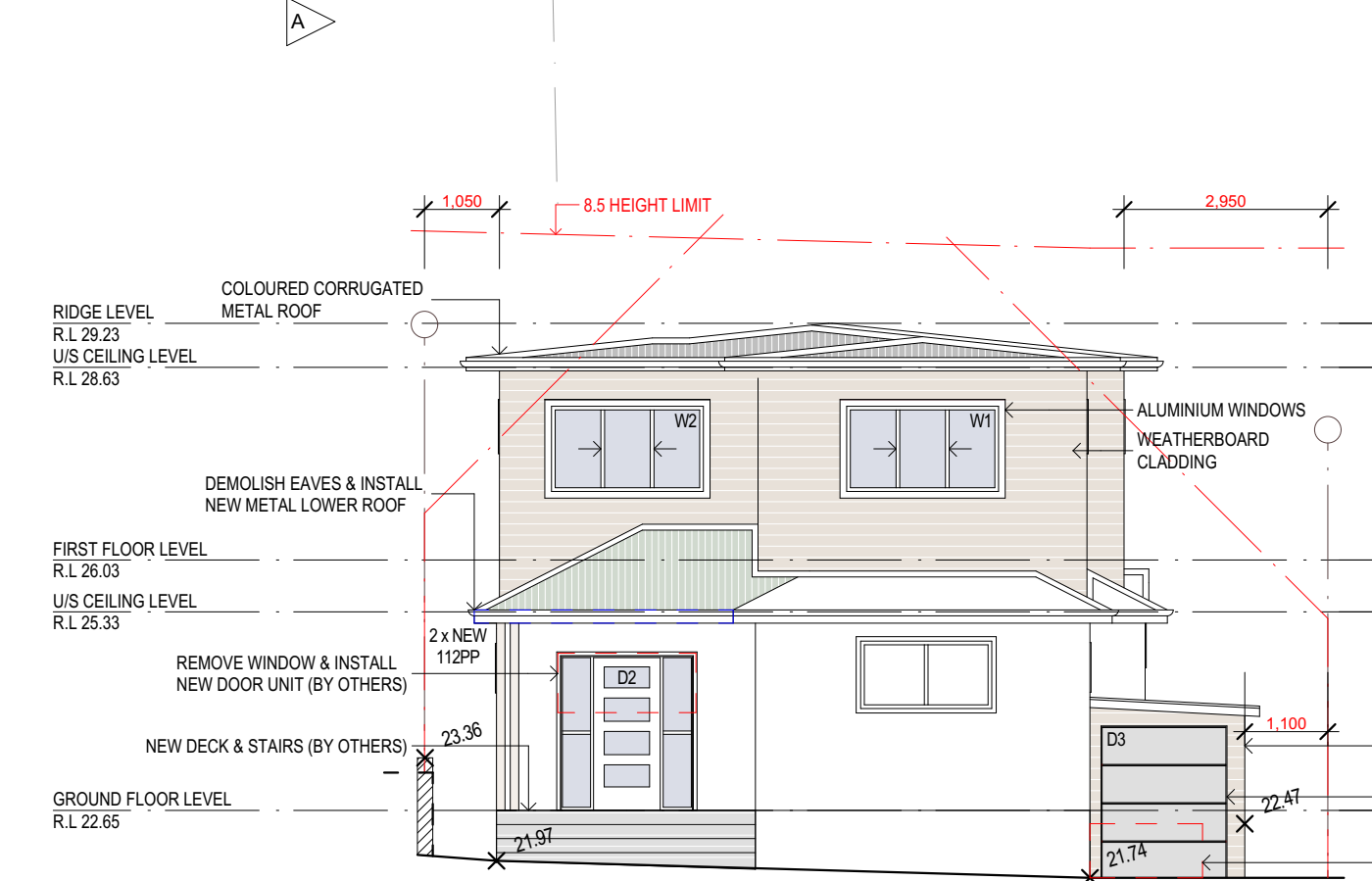
LEGEND & GENERAL NOTES	
(VAR)	VARIATION
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90PP	90 x 90 PRIMED POST
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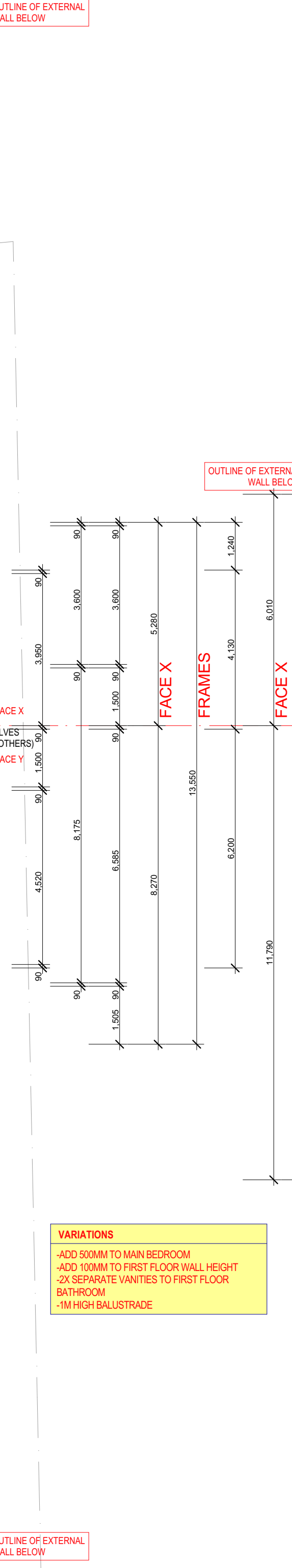
BASEMENT FLOOR PLAN



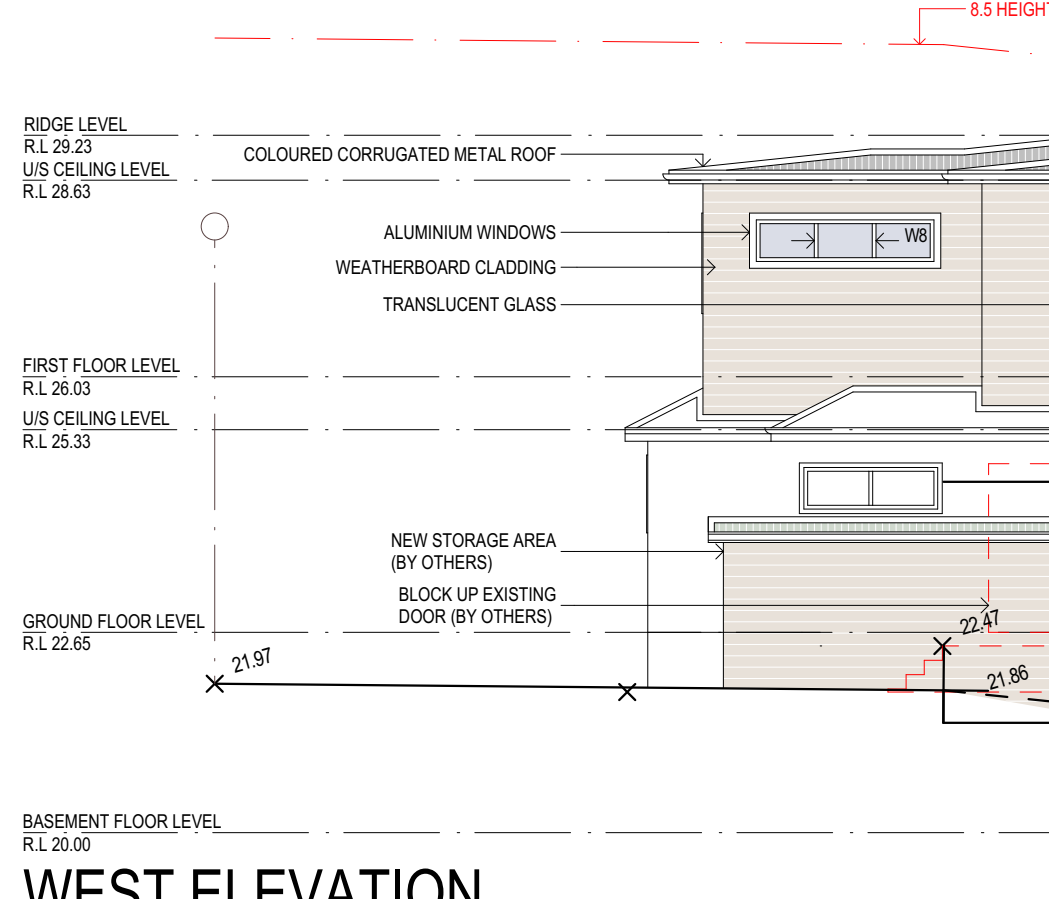
FIRST FLOOR PLAN



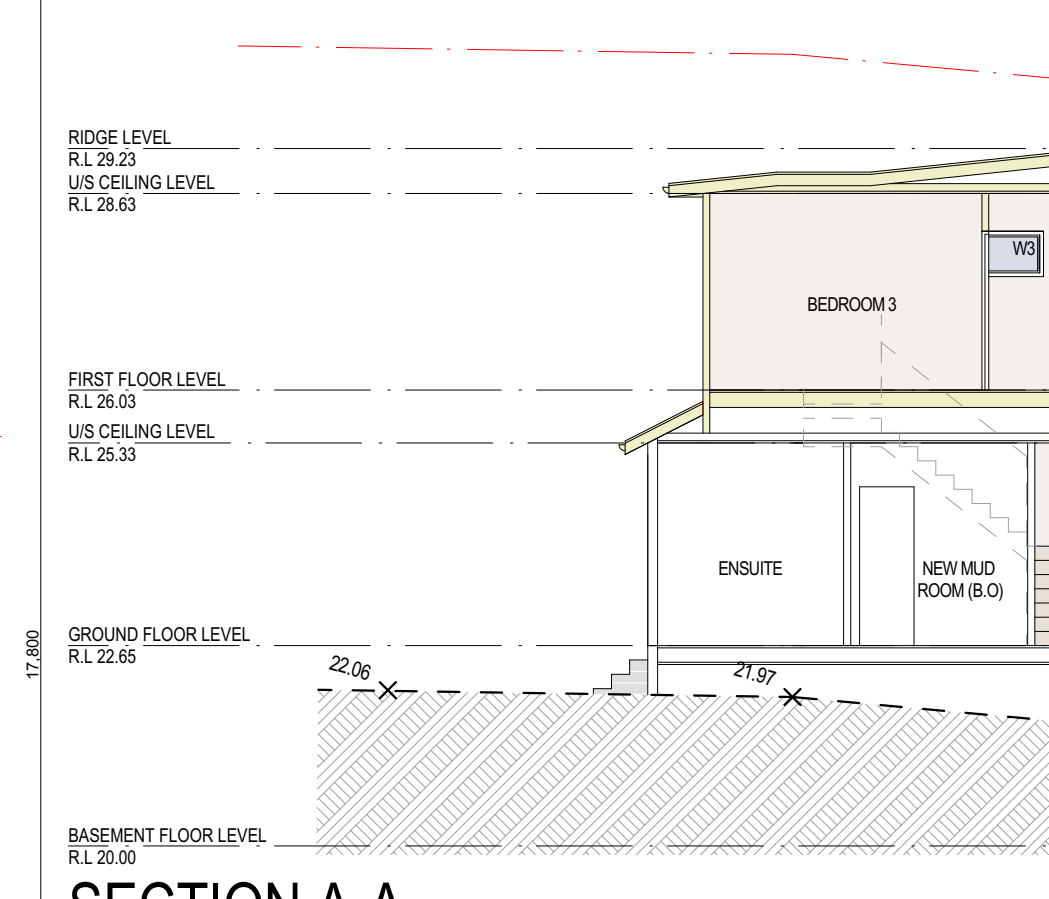
NORTH ELEVATION



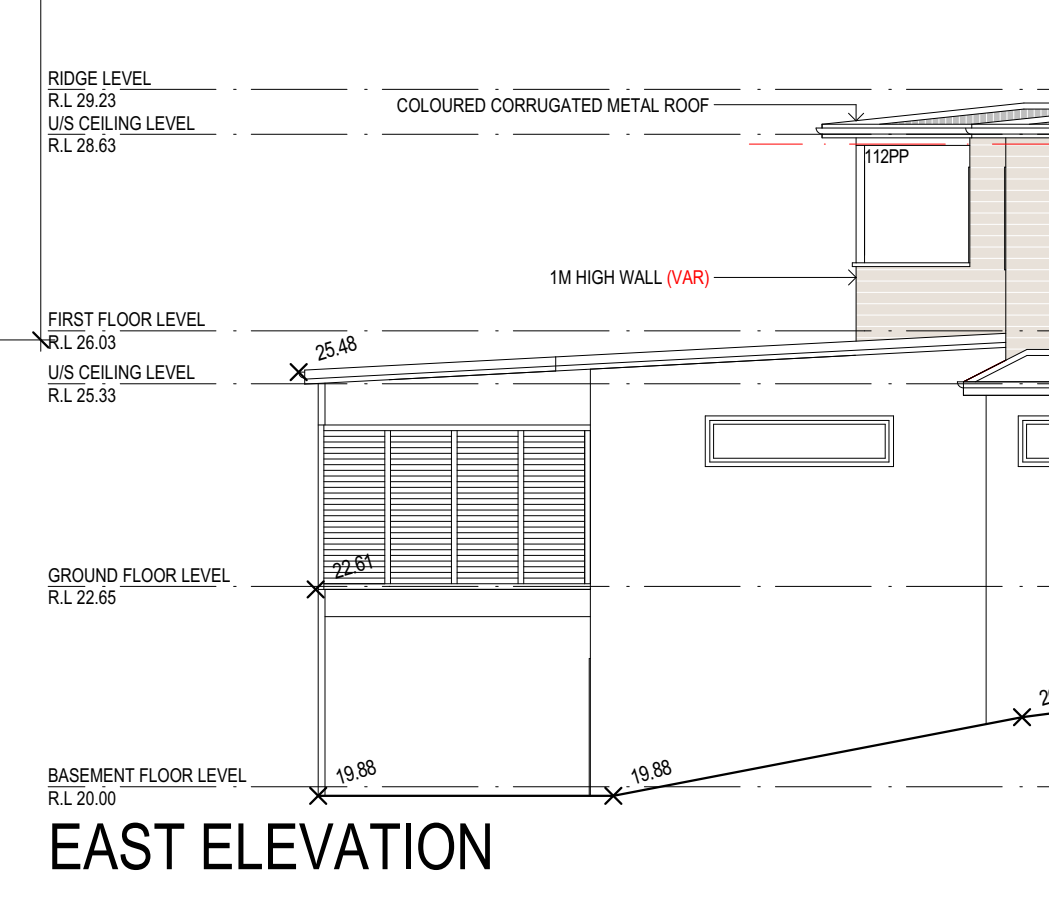
SOUTH ELEVATION



WEST ELEVATION



SECTION A-A



EAST ELEVATION

BASIX REQUIREMENTS	
40% NEW LIGHTING TO BE FLUORESCENT, COMPACT FLUORESCENT, OR LED.	
BATHROOM FIXTURES TO BE 3 STAR OR GREATER WATER RATING.	
EXTERNAL WALL TO HAVE R1.70 OR GREATER INSULATION.	
FLAT CEILING, PITCHED ROOF TO HAVE R0.45 OR GREATER, FOIL BACKED BLANKET (100mm).	
SKYLIGHT SL1 TO HAVE U-VALUE NO GREATER THAN 6.21 AND SOLAR HEAT GAIN COEFFICIENT OF 0.808	
IMPROVED ALUMINIUM WINDOWS TO HAVE U-VALUE NO GREATER THAN 6.44 AND SHGC OF 0.75	
W1, W2, W3, W4, W6 AND W8 TO HAVE PYRO LOW-E GLASS WITH U-VALUE NO GREATER THAN 4.48 AND SHGC OF 0.46)	

VARIATIONS	
-ADD 500MM TO MAIN BEDROOM	
-ADD 100MM TO FIRST FLOOR WALL HEIGHT	
-2X SEPARATE VANITIES TO FIRST FLOOR	
BATHROOM	
-1M HIGH BALUSTRADE	

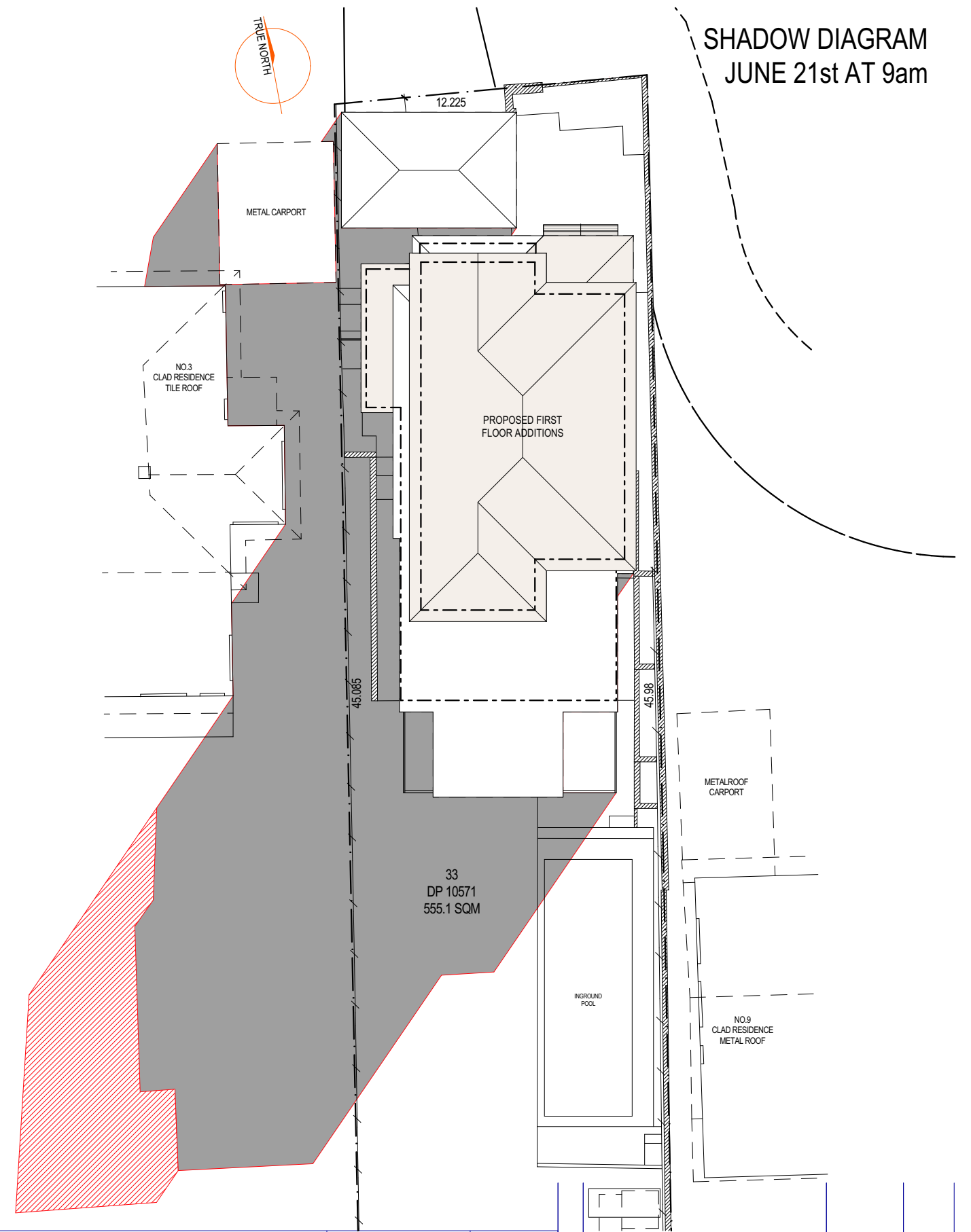
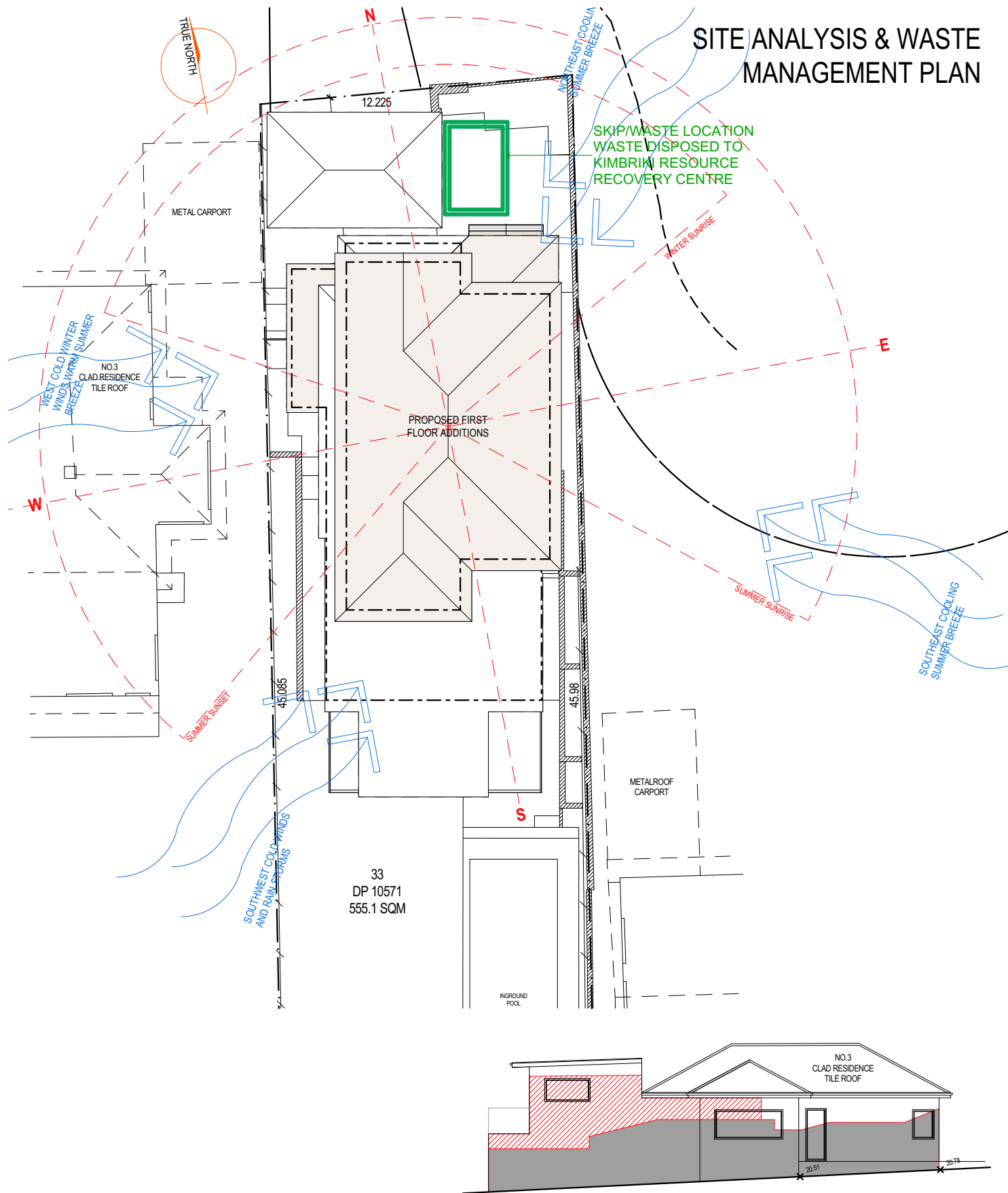


ARTIST'S IMPRESSION FOR ILLUSTRATION PURPOSES ONLY. NOT TO BE READ AS A WORKING DRAWING

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**ADD-STYLE**
HOME ADDITIONS
Upstairs Specialists

ADD-STYLE HOME ADDITIONS
5018 CONDOMINE ST MALL V VALE 2003
PHONE: (02) 9907 8050
EMAIL: info@addstyle.com.au



ADD-STYLE
HOME ADDITIONS
Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093 P: (02) 9907 9055 E: info@addstyle.com.au

Proposed Additions at:
1 Bellevue Parade,
North Curl Curl NSW 2099

DRAWING TITLE SITE ANALYSIS AND SHADOW DIAGRAMS

DATE 15/03/2022

SCALE 1:200
DRAWN BY TH
CHECKED BY CW

DRAWING NO.

1497 DA 1/2

ISSUE

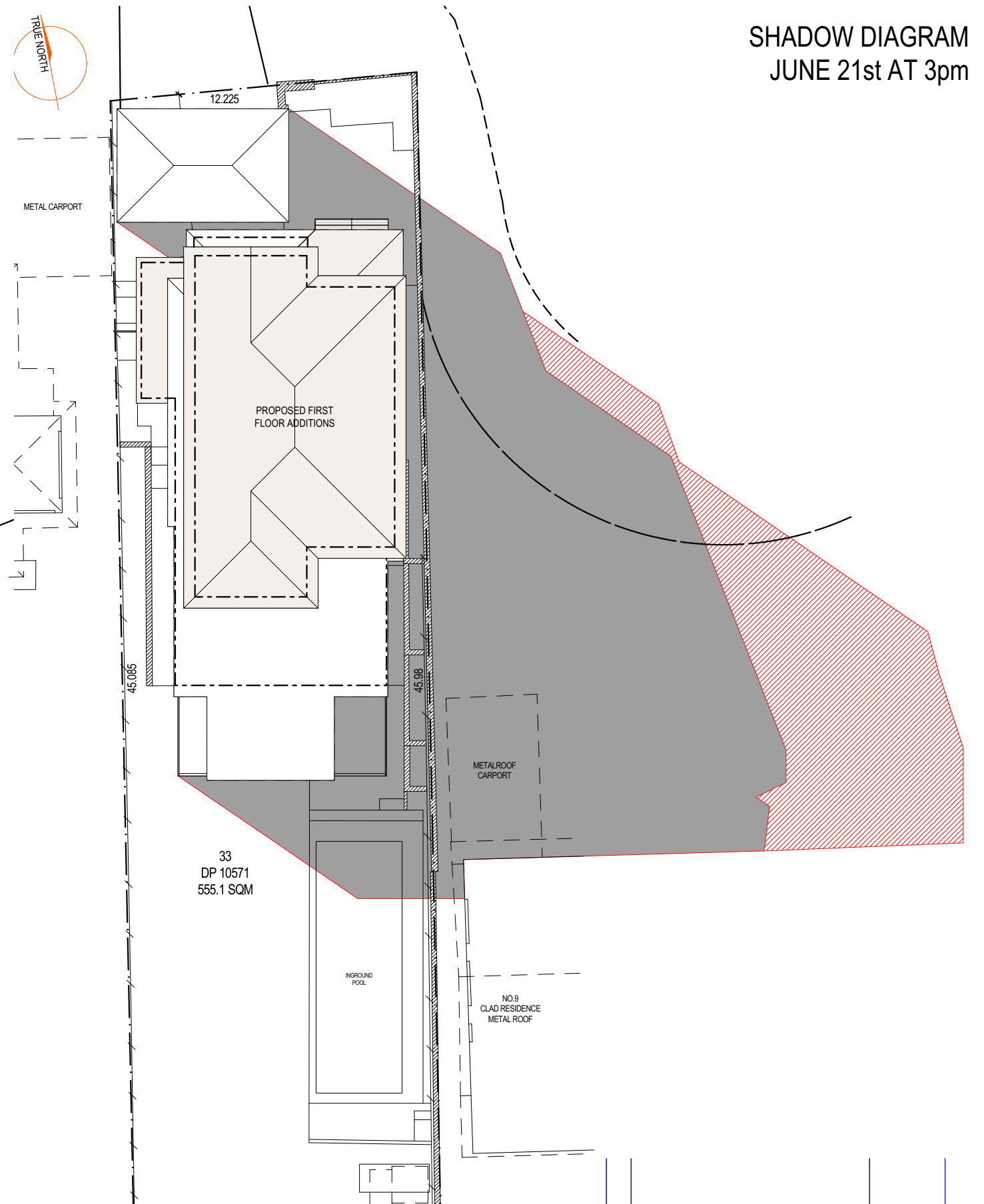
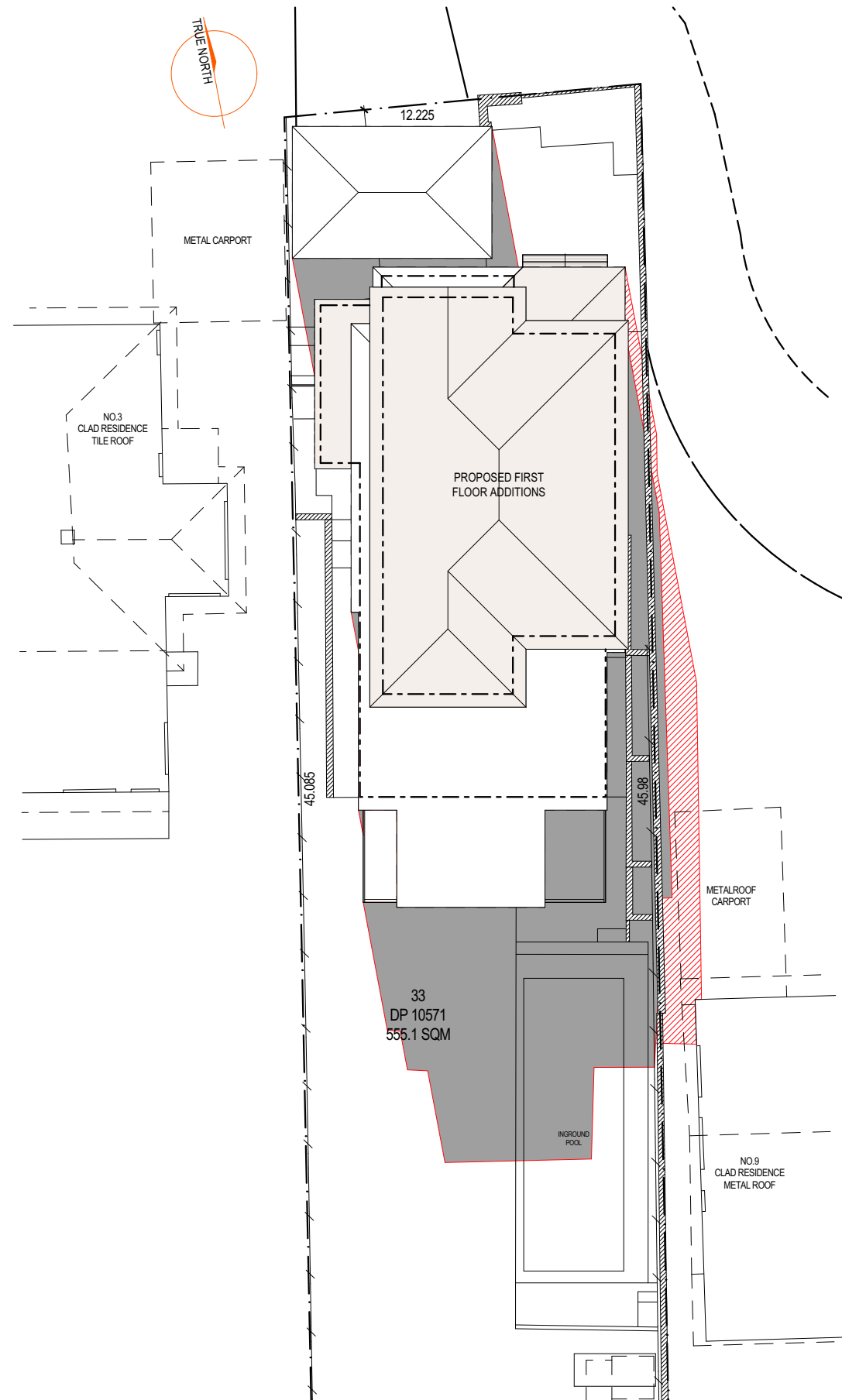
C

C B A
Amended for Council
For Council
For review

NO. REVISION

15/03/22 GK
15/03/22 TH
28/01/22 TH

DATE BY



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North Curl Curl NSW 2099

DRAWING TITLE

SITE ANALYSIS AND SHADOW DIAGRAMS

DRAWING NO.

ISSUE

DATE

15/03/2022

SCALE

DRAWN BY

CHECKED BY

1:200

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1497 DA 2/2

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Amended for Council
For Council
For review

15/03/22
15/03/22
28/01/22

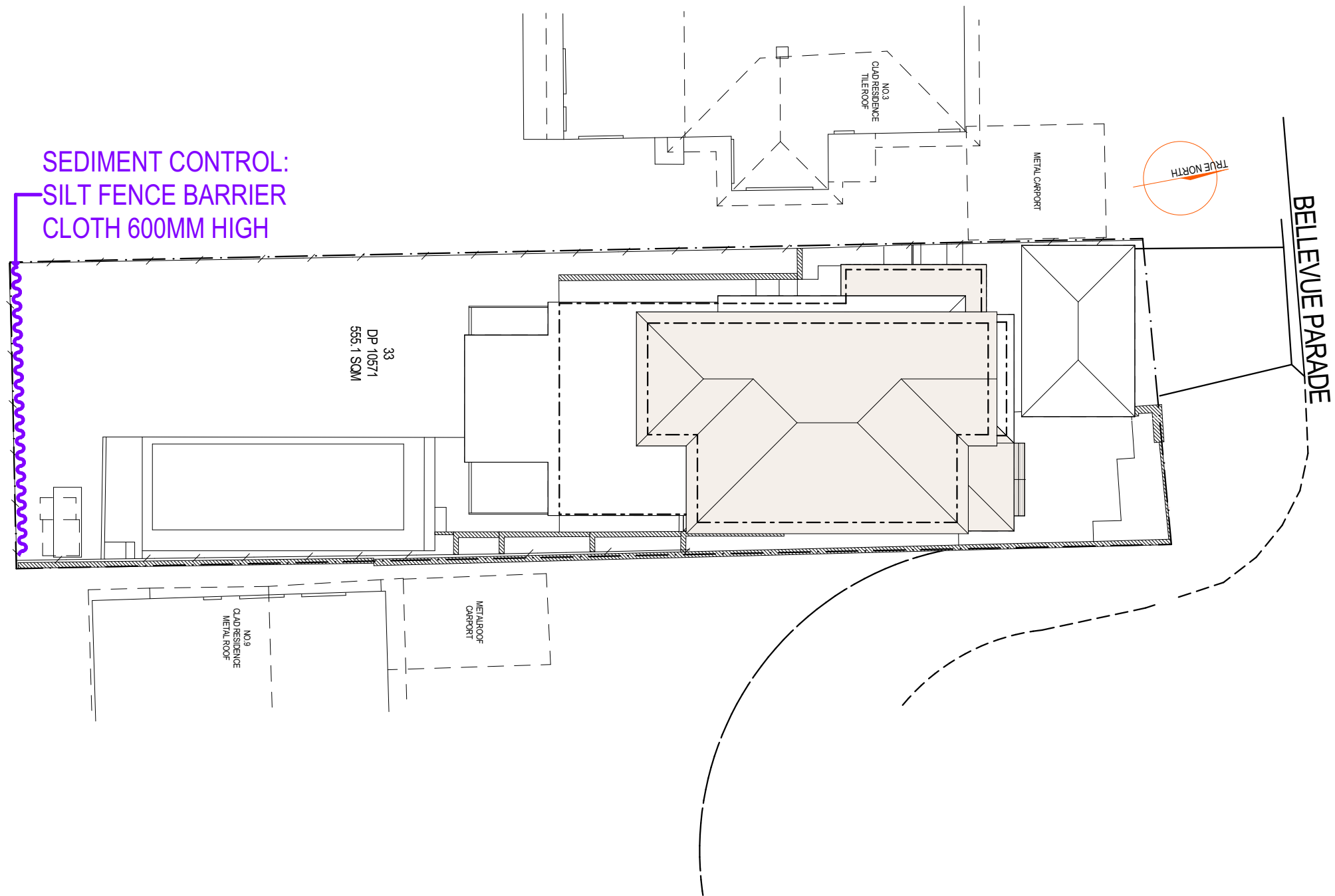
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REVISION

DATE

BY



ADD-STYLE
HOME ADDITIONS
Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093 P: (02) 9907 9055 E: info@addstyle.com.au

Proposed Additions at:
1 Bellevue Parade,
North Curl NSW 2099

DRAWING TITLE SEDIMENT AND EROSION CONTROL PLAN

DATE 15/03/2022

SCALE 1:200
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DRAWING NO.

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ISSUE

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For Council
For review

NO. **REVISION**

24/02/22
28/01/22

DATE

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