

CONSTRUCTION CERTIFICATE

issued under the Environmental Planning and
Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

R/138141.

COUNCIL: Pittwater

CONSTRUCTION CERTIFICATE NO: 2004/66

APPLICANT

Name **Mrs Yvonne Eden**
Address **11 Wandearah Avenue, Avalon NSW 2107**
Contact No: (telephone/fax) **9918 8020**

OWNER

Name **Mr D & Mrs Y Eden**
Address **11 Wandearah Avenue, Avalon NSW 2107**
Contact No: (telephone/fax) **9918 8020**

SUBJECT LAND

Address **11 Wandearah Avenue, Avalon**
Lot No: **39** DP: **207049**

DESCRIPTION OF DEVELOPMENT

Type of Work ☐ Building work ☐ Subdivision work
Description **Alterations and additions to an existing dwelling, including a timber deck**

Insight Development Consultants Pty Limited

**COUNCIL
COPY**

DEVELOPMENT CONSENT

Development Consent No: **NO 800/03**
Date of Determination **18 February 2004**

BUILDING CODE OF AUSTRALIA

Building Classification **1a**

BUILDER or OWNER/BUILDER **Stuart Wilson**
Contractor License No./Permit **No: 55629C**
No. in case of Owner Builder

\$ VALUE OF WORK

Building/Subdivision **\$58,972.00**

DATE C.C APPLICATION RECEIVED

Date Received **11 March 2004**

DETERMINATION

Decision **Approved**
Date of Decision **15 March 2004**

ATTACHMENTS **Nil**

PLANS AND SPECIFICATIONS**APPROVED/REFUSED**

List plan no(s) and specifications
Reference

1. Architectural details and Construction Specifications, Reference No. 0318 A.01, A.02 & A.03 (Issue A), prepared by Sean Gartner Architects, dated 31 March 2003.
2. Structural Details, Reference No. 21203-1, prepared by Jack Hodgson Consultants Pty Ltd, dated 12 November 2003, endorsed by Jack Hodgson Geotechnical Engineer dated 13 October 2003.
3. Completed Form 2 of Pittwater Council's Geotechnical Risk Management Policy, dated 1 March 2004.
4. Weed Control Plan prepared by Karen Ross Gardens Pty Ltd. dated January 2004 and letter prepared by Pittwater Council's Natural Resources Officer (Eva Twarkowski), dated 3 March 2004.
5. Submission and supporting documentation in response to Conditions B15a (1,2,11,12 &17), & B16.
6. Bank Guarantee for \$10,000.00 in favour of Pittwater Council, as required by Condition B52

RIGHT OF APPEAL

under S109K where the Certifying Authority is a Council an applicant may appeal to the Land and Environmental Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision.

CERTIFICATE

Certificate Final

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A(5) of the Environmental Planning and Assessment Act 1979.

CERTIFYING AUTHORITY

Name of Certifying Authority Insight Development Consultants Pty. Limited

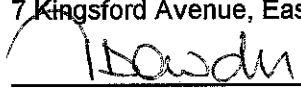
Name of Accredited Certifier Tom Bowden

Registration No 93

Contact No (02) 9999 0003

Address 7 Kingsford Avenue, Eastwood NSW 2122

SIGNED



15 MAR 2004

DATE

Insight Development Consultants Pty Limited

ATTENTION: TOM BOWDEN
FAX No: 9889 4771
Residential Construction Warranty

FROM:
YVONNE
EDEN

vero
construction and engineering

Certificate of Insurance

Master Builders Association of Victoria
CX 128 Melbourne

Form 1
Section 32
Home Building Act 1989

CERTIFICATE IN RESPECT OF INSURANCE

Broker's Copy
Issue Date: 10/03/2004
Certificate No: RCWT1428641

Contract Of Insurance Complies With: Section 32
Of The: Home Building Act 1989

Issued By: Vero Insurance Limited
ABN 48 005 287 807

Building Contract Details

Contract Date: March 03, 2004
Declared Building Contract Value: \$74,831.00
(Nett policy for indemnity limit)

Carried Out By: Stuart Wilson
ABN: 61482402541
Licence No: 558290

For: David and Yvonne Eden

In Respect Of: Alterations and Additions

At:

11
Wanderer Avenue
AVALON NEW SOUTH WALES 2107

Power Authority: Pioneer Council

Subject to the Act, the Home Building Regulation 1989 and the conditions of the insurance contract, cover will be provided by a beneficiary designated in the contract and successors in the title to the beneficiary. Please note that the insurer has issued this certificate. The insurer is not obliged to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording. If you have not received a copy of the policy wording please contact the insurer Vero Construction and Engineering a division of Vero Insurance Limited.

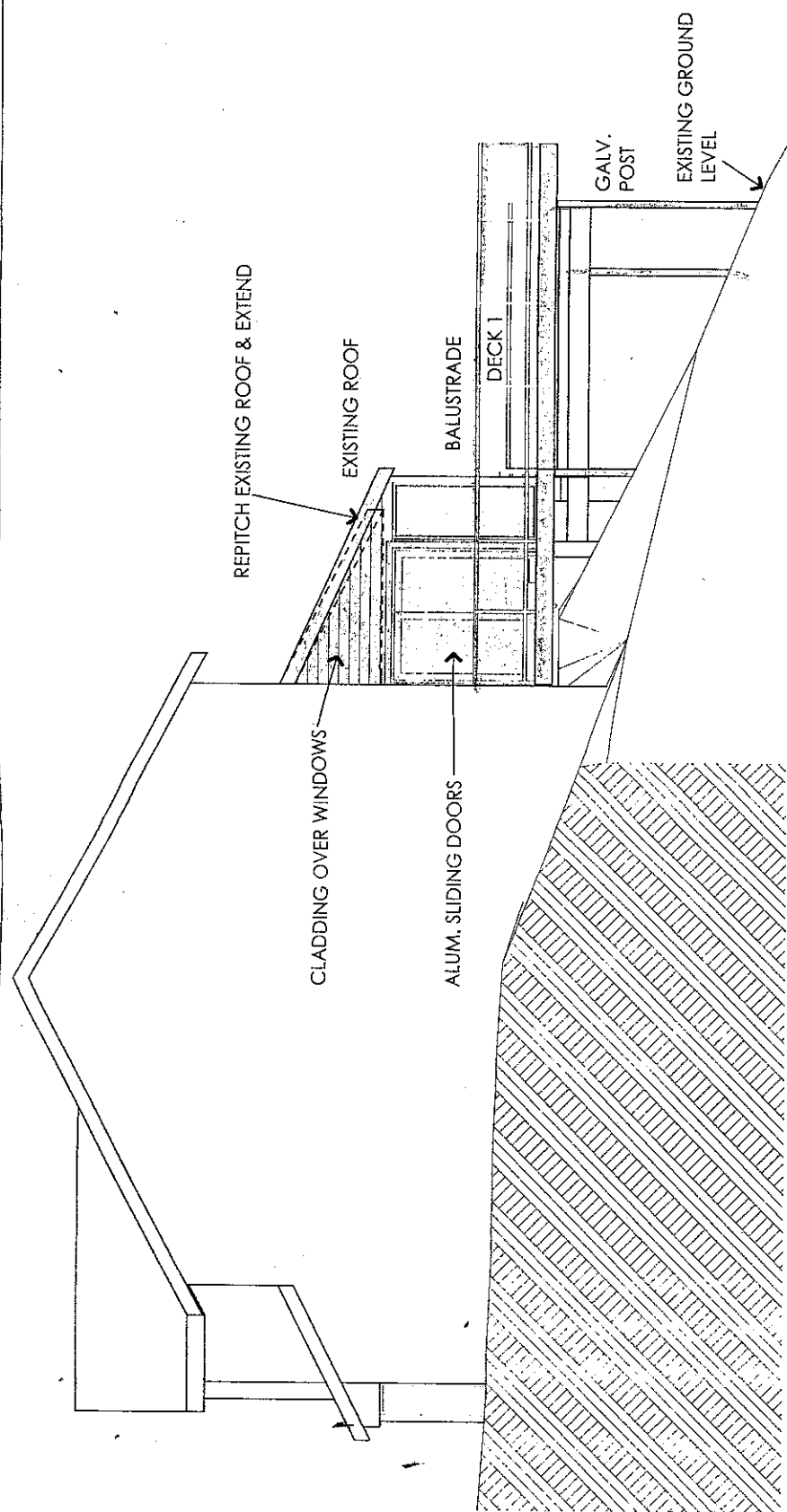
INSURANCE
Total Price: \$1,823.51

Signed for and on behalf of the insurer:

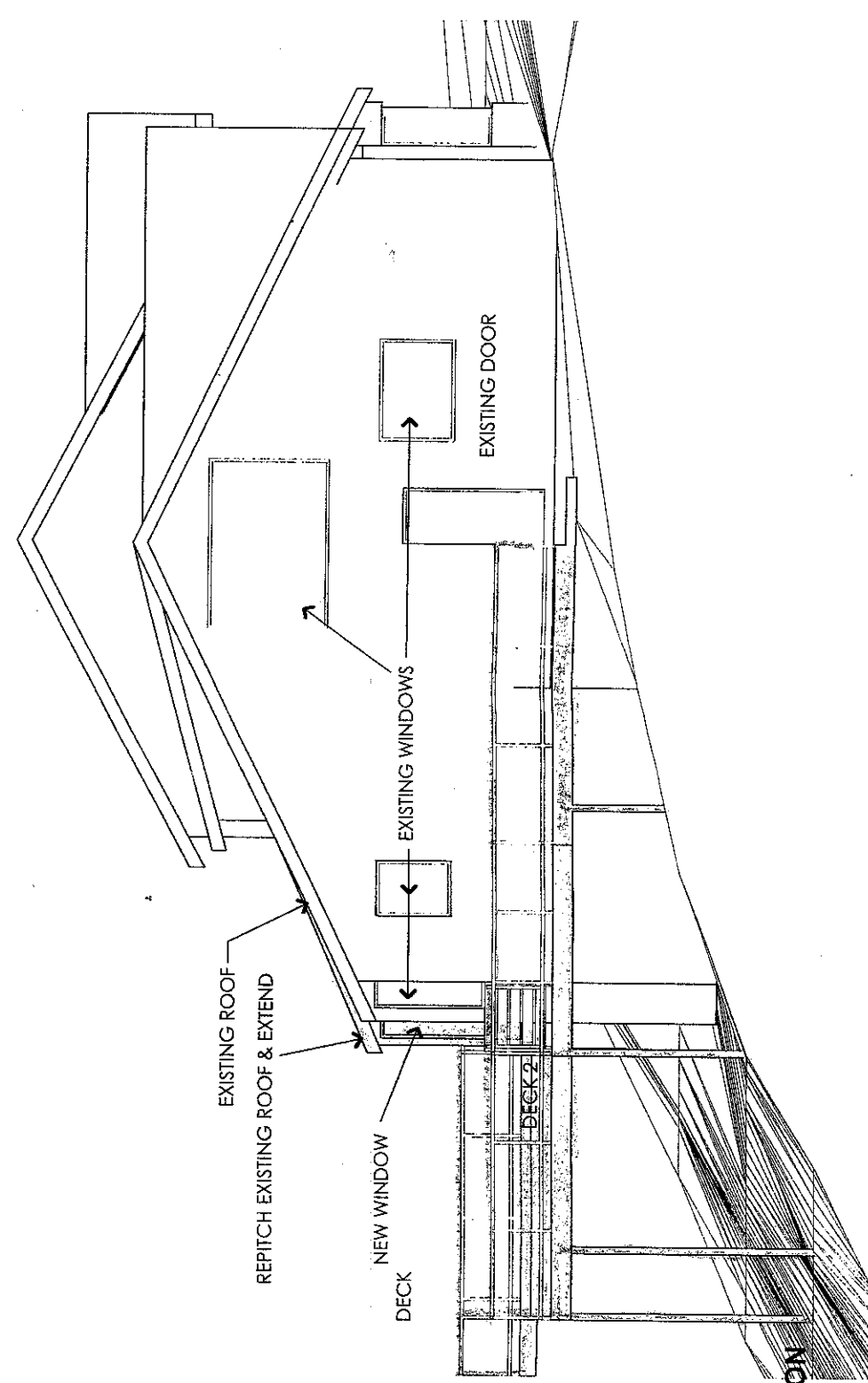
[Signature]

Insurer: Vero Insurance Limited ABN 48 005 287 807

Vero Construction and Engineering is a division of Vero Insurance Limited.
Vero Insurance Limited
12000 100 4100

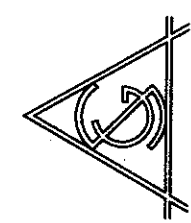


SOUTH WEST ELEVATION



NORTH EAST ELEVATION

1.0m HIGH BALUSTRADE TO BE PROVIDED WITH NO OPENINGS GREATER THAN 125 mm. NOTE: WHERE THE FINISHED LEVEL OF THE BALUSTRADE IS MORE THAN 4.0 m ABOVE THE SURFACE BENEATH NO HORIZONTAL MEMBERS ARE PERMITTED IN THE DESIGN OF THE BALUSTRADE TO A HEIGHT 760mm ABOVE THE FINISHED FLOOR



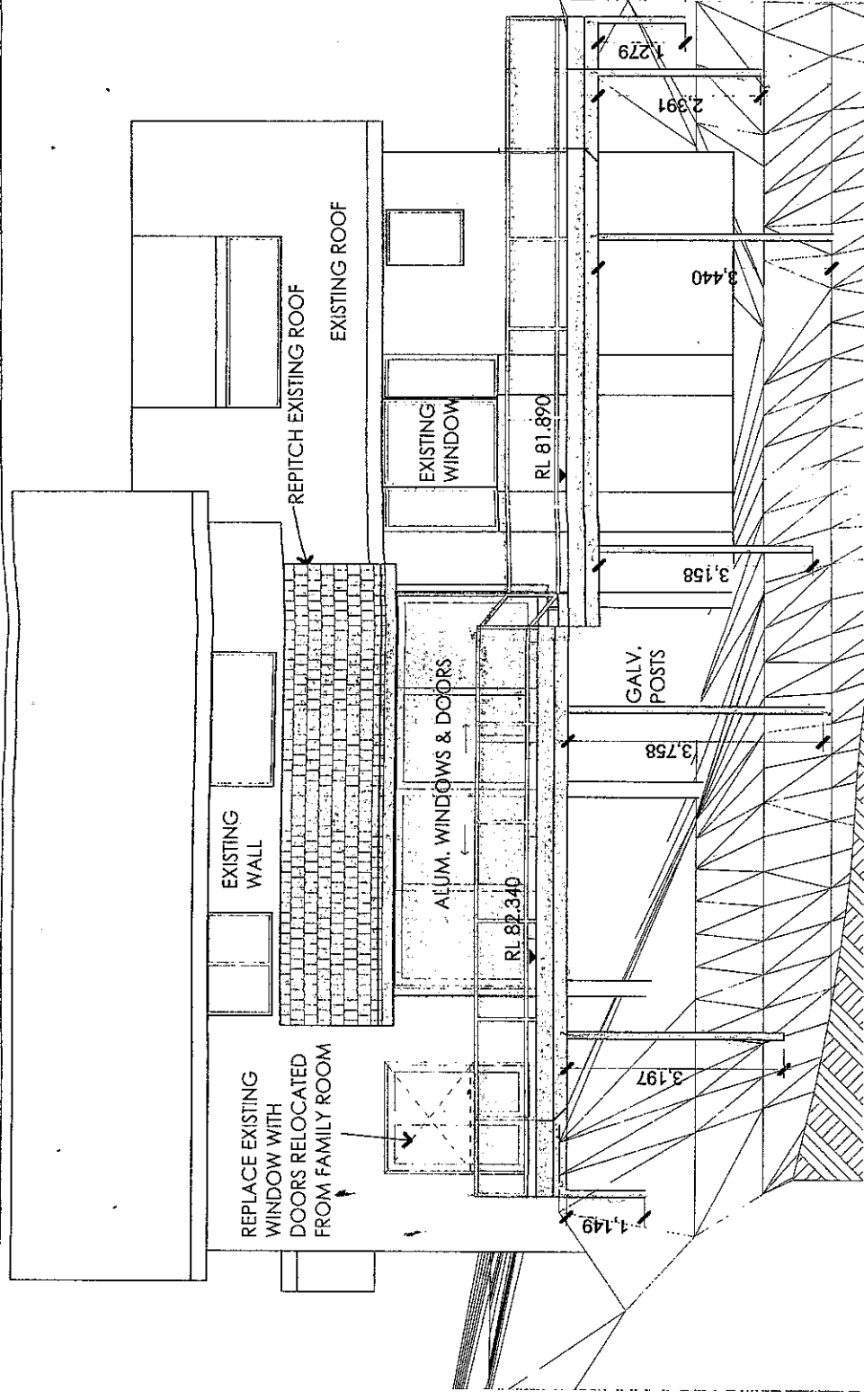
SEAN GARTNER ARCHITECTS

SUITE 15/9 BUNGAN STREET (PO BOX 1122)
MONA VALE NSW 2103
P 02 9979 4411
F 02 9979 4422
E . . . sg@optunet.com.au

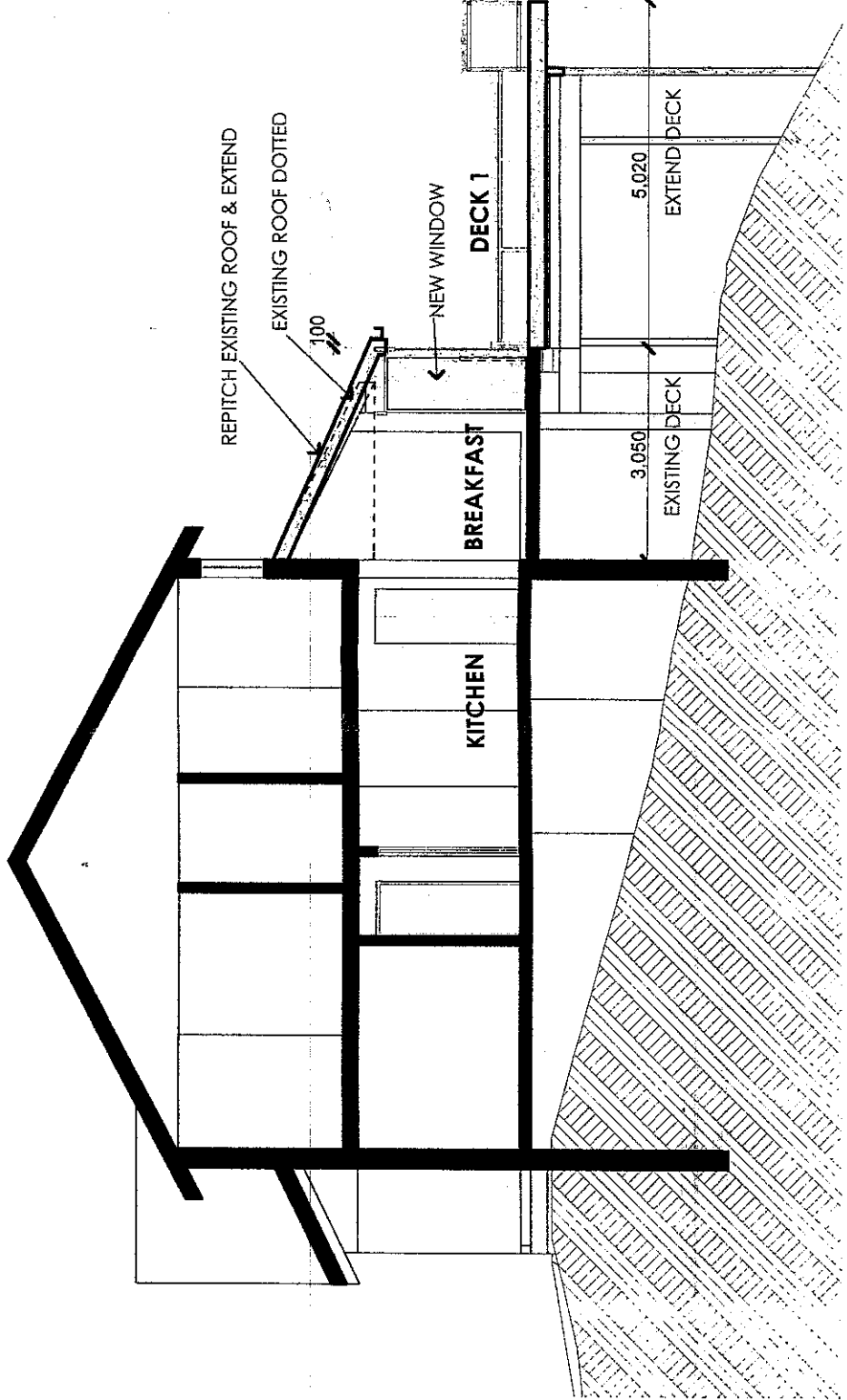
Project : ALTERATIONS & ADDITIONS -
DECK EXTENSION & ADDITIONAL ROOM TO
11 WANDEARAH AVENUE, AVALON
EDEN
Client :
Drawing : ELEVATIONS

Drawn/Designed : JT	Date : 31.03.2003
Project Number : 0318	Scale : 1:100 (A3)
Drawing Number : A.02	Issue : A

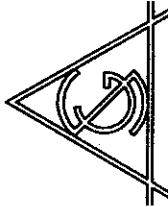
Date :	Issue :	Description :
11.06.2003	A	ISSUED FOR DEVELOPMENT APPLICATION



SOUTH EAST ELEVATION



SECTION AA

		SEAN GARTNER ARCHITECTS SUITE 15/9 BUNGAR STREET IPO BOX 1127 MONA VALE NSW 2103 P 02 9979 4411 F 02 9979 4422 E .sga@optusnet.com.au		Project: ALTERATIONS & ADDITIONS - DECK EXTENSION & ADDITIONAL ROOM TO 11 WANDEARAH AVENUE, AVALON Client: EDEN	Drawn/Designed: JT Project Number: 0318 Drawing Number: A.03	Date: 31.03.2003 Scale: 1:100 (A3) Issue: A
11.06.2003 • A • ISSUED FOR DEVELOPMENT APPLICATION Date: • Issue: • Description:						

Bank Guarantee

Details

A. Beneficiary

Name

PITTWATER COUNCIL

A.C.N./A.R.B.N./ABN

Address

PO Box 882

MONA VALE NSW 1660

Name

A.C.N./A.R.B.N./ABN

Address

B. Customer

Name 1

DAVID GERARD EDEN

A.C.N./A.R.B.N./ABN

Address 1

11 WANDEARAH AVENUE

AVALON NSW 2107

Name 2

YVONNE EDEN

A.C.N./A.R.B.N./ABN

Address 2

11 WANDEARAH AVENUE

AVALON NSW 2107

C. Outlet (of Bank)

Financial Service Centre Inner West

D. Agreement (Insert short description of agreement *between Beneficiary and Customer* giving rise to guarantee, including any identifying number, contract or reference number. Note, where item No. 2 of the Details section of the Indemnity for Bank Guarantee has been completed, this description must match Agreement in that section)

RETENTION OF SPOTTED GUM AT 11 WANDEARAH AVENUE AVALON NSW DURING CONSTRUCTION OF DECK

E. Amount (Insert total amount of guarantee and currency in which it is to be paid)

Amount

10,000.00

Currency of

AUSTRALIA

Amount in words

TEN THOUSAND

F. Termination Date (if appropriate, insert latest date guarantee will be in force, otherwise delete.)

31/03/2007

Terms printed in bold in the Details have the same meaning in the Provisions below where those terms commence with a capital letter.

Provisions

To: The Beneficiary

1. In consideration of the Beneficiary agreeing at the request of the Customer and the Bank to accept this guarantee in connection with the Agreement, the Bank undertakes to pay the Beneficiary an amount or amounts not exceeding the Amount in total.
2. Payment of the Amount or any part or parts of the Amount will be made by the Bank to the Beneficiary:
 - a) upon the Bank receiving at its Outlet while this guarantee remains in force an unconditional written demand from the Beneficiary accompanied by this guarantee; and
 - b) whether or not the Bank gives prior notice of the payment to the Customer; and
 - c) despite any notice given to the Bank by the Customer not to pay to the Beneficiary any moneys payable under this guarantee; and
 - d) irrespective of the performance or non-performance by the Customer or the Beneficiary of the Agreement in any respect; and
 - e) with no obligation on the Bank to enquire as to the performance or non-performance of the Agreement in any respect by the customer or the Beneficiary; and
 - f) with no obligation on the Bank to enquire as to the correctness or validity of any demand pursuant to sub-clause 2(a) of this clause.
3. Where a demand and payment is made pursuant to clause 2, for a sum that is less than the Amount, the Bank will issue to the Beneficiary a replacement guarantee for the balance of the Amount then remaining, after such part payment or payments.
4. The Bank's liability under this guarantee is not affected or discharged in any way by any variation of the Agreement or by any extension of time or other forbearance on the part of the Beneficiary or the Customer to the other.
5. The Bank may terminate this guarantee at any time upon payment to the Beneficiary of the Amount or the balance of the Amount remaining after any part payment of the Amount, or such lesser amount as the Beneficiary requires.
6. If two or more persons are named as the Beneficiary, this guarantee takes effect for the benefit of them jointly and a demand under this guarantee by any one or more of them is deemed to be a demand by both or all of them jointly. Payment by the Bank under this guarantee to any one or more of them discharges this guarantee to the extent of the amount so paid.
7. The benefit of this guarantee is not assignable by the Beneficiary.
8. This guarantee continues in force until the earliest of the following events occurs:
 - a) this guarantee is returned to the Bank at its Outlet (other than for a payment in accordance with clause 2(a));
 - b) notification in writing has been received by the Bank at its Outlet from the Beneficiary that this guarantee is no longer required;
 - c) payment is made under clause 2 or 5 to the Beneficiary by the Bank of the whole of the Amount or the balance of the Amount remaining after any part payment or payments of the Amount, or such lesser amount as the Beneficiary requires;
 - d) the close of business on the Termination Date (if any).
9. In the events of clause 8 (b), (c) & (d), the Beneficiary must return this guarantee to the Bank at its Outlet as recorded in (c) of Details.
10. This guarantee is governed by and is to be construed in accordance with the laws of the place where it is executed by the Bank.

Dated 2nd March 2004
(day) (month) (year -ccyy)

**Executed on behalf of the National Australia Bank
Limited by its Attorney**

KATE O'CONNELL

Name of Attorney

under Power of Attorney dated 28 February 1991 (who states that he/she holds the position in the Bank indicated under his/her signature) in the presence of:

Signature of witness

PETER NIKOLAOU

Name of witness

Signature of Attorney

Relationship Manager

Position

WEED CONTROL PLAN

FOR

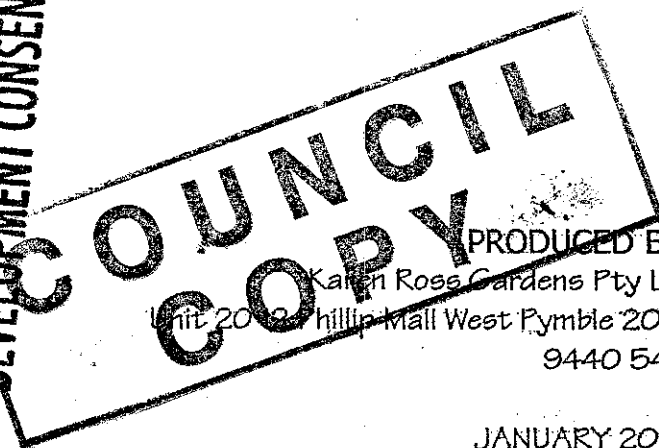
MR & MRS EDEN

AT

11 WANDEARAH AVENUE,
AVALON

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT



PRODUCED BY:
Karen Ross Gardens Pty Ltd
Unit 20/21 Phillip Mall West Pymble 2073
9440 5451

JANUARY 2004

INTRODUCTION

This report has been produced for Mr D and Mrs Y Eden of 11 Wandearah Avenue, Avalon. The report has been requested by Pittwater Council to accompany a Development Application for enclosure of an existing deck and the construction of a new timber deck at 11 Wandearah Avenue.

LOCATION

The subject site is located on the corner of Wandearah Avenue and Riviera Avenue in Avalon. It is on the high side of Wandearah Avenue, and the low side of Riviera Avenue.

It is located within a residential area.

SITE DESCRIPTION

This site is approximately 844 sq metres. There is an existing ~~single~~^{two} storey brick residence with an adjoining garage on the site. The north-west facing front yard is relatively level, and provides entry from Wandearah Avenue. The rear yard of the site is south-east facing and steeply sloping.

A number of mature and semi mature trees and palms are found on the site. There are a significant number of weed species in the southern section of the site. Both noxious and nuisance weeds are represented.

DESCRIPTION OF PROPOSAL

It is proposed to make some minor alterations and additions to the existing residence including the construction of a timber deck across the rear of the residence.

BACKGROUND

This site is currently highly disturbed. The steeply sloping area of disturbance across the south of the site has a variety of weeds represented. Pittwater Council has requested a 12 month Weed Control Plan be developed for this area.

VEGETATION

INDIGENOUS PLANTS

The site is recognized as being part of Pittwater's Spotted Gum Forest Community. This community has been declared an endangered ecological community by the NSW Scientific Committee (1998). It is characterized by the species listed in Table 1.

Acacia floribunda
Acrotriche divaricata
Adiantum aethiopicum
Allocasuarina litoralis
Allocasuarina torulosa
Angophora costata
Angophora floribunda

Billardiera scandens
Breynia oblongifolia
Cassytha paniculata
Cayratia clematidea
Cissus hypoglauca
Corymbia gummifera
Corymbia maculata
Dianella caerulea
Dodonaea triquetra
Doodia caudata
Elaeocarpus reticulatis
Entolasia stricta
Eucalyptus botryoides
Eucalyptus paniculata
Eucalyptus punctata
Eucalyptus umbra
Eustrephus latifolius
Geitonoplesium cymosum
Glochidion ferdinandi
Gymnostachys anceps
Hakea sericea
Hydrocotyle peduncularis
Livistona australis
Lomandra longifolia
Macrozamia communis
Notelaea longifolia
Oxylobium ilicifolium
Pandorea pandorana
Pittosporum undulatum
Platylobium formosum
Pseuderanthemum variabile
Pteridium esculentum
Pultenaea flexilis
Syncarpia glomulifera
Synoum glandulosum
Themeda australis
Xanthorrhoea macronema

TABLE 1: Plant species associated with Pittwater Spotted Gum Forest
 Community. SOURCE: NSW National Parks & Wildlife Service
 Pittwater Spotted Gum Forest - Endangered ecological community listing.
www.nationalparks.nsw.gov.au

The total species list of the community is larger than that given above, with many species present only in one or two sites or in very small quantity. In any particular site not all of the assemblage listed may be present at any one time (at least above ground), seeds of more species may be present in the soil seed bank. The plants listed in Table 1 are to form the basis of acceptable plants for the subject area.

WEEDS

The variety of weeds present on the site compete with native plants for light, water and nutrients. The weeds require removal to allow the desired plant community to develop.

Appendix A details the Categories of noxious weeds as determined in the Noxious Weeds Act (1993). Appendix B lists the Noxious weeds in NSW for the Pittwater Area.

Tables 2 and 3 detail the major weed species found within the subject area.

MANAGEMENT AIMS & OBJECTIVES

- Clear general weed infestations by 50% within 12 months.
- Establish an appropriate vegetation regime as areas are cleared of weeds utilizing plant species known to naturally occur in *Pittwater Spotted Gum Forest* and detailed in Table 4 and the Landscape Concept Plan.
- Encourage diversity in plant species and structure throughout the area.
- Protect the existing soil from erosion.

12 MONTH MANAGEMENT PROGRAMME

BACKGROUND

It is noted that the eradication of weeds from the site will be a lengthy process.

- The existing vegetation structure is providing good habitat for a range of fauna. Wholesale clearing will destroy this habitat. The removal of weed species must be balanced against the loss of fauna habitat.
- The steepness of the slope requires careful retention and provision of binding material within and over the soil profile to limit erosion.
- There may be a significant mixed propagule bank on the site, and disturbance through weed clearing will encourage germination to some extent. Desired plants naturally germinating are to be retained and protected.

1. GENERAL

- Begin weed removal along the higher levels of the disturbed slope, adjoining the area of least infestation.
- Remove weeds according to the Weed Control Measures listed below.
- Retain existing soil levels.
- Retain existing plant species that are associated with *Pittwater's spotted Gum Forest* listed in Table 1.
- Provide protection to all exposed soil after clearing.
- Protect species of locally occurring plants that naturally regenerate (if any) from the existing propagule bank.
- Revegetate according to the Landscape Plan - Planting Detail where natural regeneration requires supplementing.
- Introduce organic mulch to a depth of 50mm minimum to areas cleared of weeds.

2. WEED CONTROLS

Table 2 represents the noxious weed species found on site and appropriate methods of treatment for this site.

BOTANIC NAME	COMMON NAME	CATEGORY	METHOD OF TREATMENT
<i>Asparagus densiflorus</i>	Asparagus Fern	W4c	Remove rhizome with growing plate.
<i>Lantana camara</i>	Lantana	W2	Hand remove including main taproot and larger surface roots.
<i>Ligustrum lucidum</i>	Broadleaf Privet	W4b	Small seedlings by hand, cut and paint larger plants.
<i>Ligustrum sinense</i>	Narrowleaf Privet	W4b	Small seedlings by hand, cut and paint larger plants.
<i>Acetosa sagittata</i>	Turkey Rhubarb	W4b	Dig out underground structures.

TABLE 2: Noxious weed species at 11 Wandearah Ave, Avalon

Table 3 represents nuisance weed species found on site and appropriate methods of treatment for this site.

BOTANIC NAME	COMMON NAME	METHOD OF TREATMENT
<i>Paspalum dilatatum</i>	Paspalum	Crown out with knife.
<i>Solanum mauritianum</i>	Wild Tobacco	Remove smaller plants, cut and paint larger plants with glyphosate.
<i>Cardiospermum grandiflorum</i>	Balloon Vine	Hand remove small plants. Scrape and paint larger plants with glyphosate.
<i>Sida rhombifolia</i>	Paddy's Lucerne	Cut and paint the swollen node at base.
<i>Impatiens</i> spp.	Impatiens	Hand remove.
<i>Hedychium gardnerianum</i>	Ginger Lily	Mattock out.
<i>Jasminum polyanthum</i>	Jasmine	Scrape and paint with glyphosate.
<i>Bidens pilosa</i>	Cobbler's Pegs	Bag seed heads. Hand remove with knife.
<i>Setaria</i> spp.	Pigeon Grass	Hand pull or crown in early spring before seedling stage. If rhizomatous, crown and ensure removal of rhizome.
<i>Ehrharta</i>	<i>Ehrharta erecta</i>	Hand remove
<i>Tradescantia albiflora</i>	Wandering Jew	Roll and rake initially, then hand remove.

TABLE 3: Nuisance weeds species at 11 Wandearah Ave, Avalon

3. ADDITIONAL PLANTING

Plant species known to naturally occur in *Pittwater Spotted Gum Forest* are to be utilized in the landscaping. Supplementary planting is to occur when natural regeneration fails to provide adequate numbers or diversity. Plant selection and placement is to follow the Landscape Concept Plan. Any further additional planting is to be selected from plants listed in Table 4.

GROUND COVERS & GRASSES

<i>Adiantum aethiopicum</i>	Common Maidenhair Fern
<i>Dianella caerulea</i>	Blue Flax Lily
<i>Doodia caudata</i>	
<i>Entolasia stricta</i>	
<i>Gymnostachys anceps</i>	Settler's Flax
<i>Lomandra longifolia</i>	Spiny Mat Rush
<i>Pseuderanthemum variabile</i>	Pastel Flower
<i>Themeda australis</i>	Kangaroo Grass
<i>Xanthorrhoea macronema</i>	Grass Tree

CLIMBERS

<i>Eustrephus latifolius</i>	Wombat Berry
<i>Geitonoplesium cymosum</i>	Scrambling Lily
<i>Cayratia clematididea</i>	Slender Grape
<i>Cissus hypoglauca</i>	Native Grape
<i>Pandorea pandorana</i>	Wonga-Wonga Vine

SHRUBS

<i>Macrozamia communis</i>	Burrawang
<i>Acacia floribunda</i>	White Sallow Wattle
<i>Acrotriche divaricata</i>	
<i>Hakea sericea</i>	Bushy Needlebush
<i>Oxylobium ilicifolium</i>	Native Holly
<i>Platylobium formosum</i>	Bush Pea
<i>Synoum glandulosum</i>	Scentless Rosewood
<i>Pultenaea flexilis</i>	Graceful Bush-Pea

TREES

<i>Allocasuarina littoralis</i>	Black She-oak
<i>Allocasuarina torulosa</i>	Forest Oak
<i>Angophora costata</i>	Sydney Red Gum
<i>Angophora floribunda</i>	Rough Barked Apple
<i>Corymbia gummifera</i>	Red Bloodwood
<i>Corymbia maculata</i>	Spotted Gum
<i>Eucalyptus botryoides</i>	Bangalay

Eucalyptus paniculata	Grey Ironbark
Eucalyptus punctata	Grey Gum
Eucalyptus umbra	Broad-leaved White Mahogany
Livistona australis	Cabbage Tree Palm
Syncarpia glomulifera	Turpentine

TABLE 4: Plants Species for Supplementary Planting at 11 Wandearah Ave, Avalon.

CONCLUSIONS

The southern area of this site will be enhanced with the introduction of a control plan for weeds. Increased species and structural diversity will contribute to an improved plant community.

Protection of exposed soil and management of soil binding material is necessary to limit any erosion on the site.

The eradication of weeds is to be balanced against the existing provision of fauna habitat. Wholesale clearing will reduce the existing habitat.

RECOMMENDATIONS

- Retain existing ground levels .
- Plant species known to occur naturally in *Pittwater Spotted Gum Forest* are to be utilized in the Landscape.
- Plant species that naturally germinate and are known to occur naturally in *Pittwater Spotted Gum Forest* are to be retained and protected.
- Protect soil on the site with the use of appropriate mulches and soil binders.

REFERENCES

- | | | |
|---------------------------------------|---|--|
| National Heritage Trust 2003 | <i>National Weeds Strategy</i> | www.weeds.org.au |
| NSW Agriculture | <i>Noxious Weeds in NSW</i> | www.agric.nsw.gov.au/noxweed |
| NSW National Parks & Wildlife Service | Pittwater Spotted Gum Forest - Endangered ecological community listing. | www.nationalparks.nsw.gov.au |
| Pittwater Council 1995 | <i>Conservation Strategy No 1 Habitat and Wildlife Corridors</i> | Pittwater Council |
| Robinson,L 1994 | <i>A Field Guide to the Native Plants of Sydeny</i> | Kangaroo Press, Roseville |

APPENDIX A

Categories of Noxious Weeds

New South Wales

Weed legislation contact

Richard Carter
Program Leader (Weeds)
NSW Agriculture
Ph (02) 6391 3172

Email: carterr@agric.nsw.gov.au

Relevant legislation

The relevant legislation is the *Noxious Weeds Act 1993* (NWA). The NWA is administered by NSW Agriculture, with Local Control Authorities (LCAs) responsible for implementing the noxious weed control functions of the Act. The Act also established the Noxious Weeds Advisory Committee which:

- Provides a forum for all matters relating to control of noxious weeds;
- Provides advice to the Minister on all matters related to noxious weed control;
- Recommends to the Minister allocations from the Government's Noxious Weeds Grants and to ensure public authorities are accountable for those funds; and
- Recommends to the Minister plant species to be declared as noxious weeds.

A number of working groups support the Noxious Weeds Advisory Committee in these functions.

Extracts

Section 7 of the Act states:

1. This Act applies to a plant declared, by order of the Minister published in the Gazette, to be a noxious weed for the purposes of this Act.
2. The order may declare a plant to be a noxious weed in respect of the whole of the State or a part of the State.
3. An order takes effect from the date of its publication in the Gazette or on a later date specified in the order.
4. The Minister may not make an order declaring any tree, shrub, fern, creeper, vine, palm or plant that is native to the State to be a noxious weed, except with the consent of the Minister administering the *National Parks and Wildlife Act 1974*.

Section 28 of the Act states:

1. A person (including a public authority) must not sell or purchase any:
 - a. notifiable weed material or other noxious weed material prescribed by the regulations; or
 - b. animal or thing which has on it, or contains, notifiable weed material or other noxious weed material prescribed by the regulations, knowing it to be, or have on it or to contain, any such weed material.
2. An occupier of land (including a public authority) must not knowingly remove or cause to be removed from the land any animal or thing which has on it, or contains, notifiable

weed material or other noxious weed material prescribed by the regulations.

Noxious weeds are declared on either a statewide or regional basis, with the State being divided into 138 LCAs. The LCAs usually consist of municipal, city, shire or council areas except for Western Lands and Lord Howe Island. Depending on the size of the municipal, city, shire or council area, a number of these areas will form a LCA.

Private landowners and managers are responsible for control of noxious weeds on their land. The LCAs are responsible for implementation of the NWA on private land and for noxious weed control on council land. Public authorities are only required to control those weeds likely to spread onto other land.

Key points are that the Act:

- Makes provisions to prevent the spread of notifiable weeds prevalent in Queensland from entering NSW through the requirement for agricultural machinery to be thoroughly cleaned at the border. This is aimed principally at reducing the risk of parthenium weed spreading into NSW;
- Makes provisions to prevent the sale of noxious weed seed and noxious weeds in the LCA;
- Refers to weeds occurring as a contaminant in produce; and
- Has provision to prohibit specific actions by prescribing them under a separate control category (W4).

There are four categories of noxious weeds defined under the NWA:

- **W1** - the presence of the weed on land must be notified to the LCA and the weed must be fully and continuously suppressed and destroyed;
- **W2** - the weed must be fully and continuously suppressed and destroyed;
- **W3** - the weed must be prevented from spreading and its numbers and distribution reduced; and
- **W4** - the action specified in the declaration must be taken in respect of the weed. The action specified in relation to a W4 weed may be more or less stringent, and more specific, than the action required to be taken under the other control categories. There are currently seven sub-categories (a-g) of W4 noxious weeds.

Further information can be found on the NSW Agriculture website (<http://www.agric.nsw.gov.au>), including a searchable noxious weeds database (<http://www.agric.nsw.gov.au/noxweed/>).

Key

Category	
W1	Notifiable weed. The presence of the weed on land must be notified to the Local Control Authority within three days of detection and the weed must be fully and continuously suppressed and destroyed. It is an offence to sell, move or cause to be moved any W1 weed material, or any animal or thing which has W1 weed material in or on it in the Local Control Area.
W2	The weed must be fully and continuously suppressed and destroyed on land that is the responsibility of all private landowners and managers, Local Control Authorities and public authorities.
W3	The weed must be prevented from spreading and its numbers and distribution

	reduced.
W4	The action specified in the declaration must be taken in respect of the weed.
(a)	The weed must not be sold, propagated or knowingly distributed and any part of the weed must be prevented from growing within 3 metres of the boundary of a property.
(b)	The weed must not be sold, propagated or knowingly distributed and any existing weed must be prevented from flowering and fruiting.
(c)	The weed must not be sold, propagated or knowingly distributed and the weed must be prevented from spreading to an adjoining property.
(d)	The weed must not be sold, propagated or knowingly distributed and the weed must be fully and continuously suppressed and destroyed if it is: 3 metres in height or less, or within half a kilometre of remnant urban bushland, as defined by SEPP 19, and is not deemed by council as having historical or heritage significance or is over 3 metres in height and not included in a Management Plan approved by the Local Control Authority.
(e)	The weed must be fully and continuously suppressed and destroyed. All reasonable precautions must be taken to ensure produce, soil, livestock, equipment and vehicles are free of the weed before sale or movement from an infested area of the property.
(f)	The weed must not be sold, propagated or knowingly distributed. Any biological control or other control program directed by a Local Control Authority must be implemented.
(g)	The weed must not be sold, propagated or knowingly distributed.
Notes	
S	All <i>salix</i> spp. other than <i>S. babylonica</i> , <i>S. X calodrendron</i> , <i>S. X reichardtii</i> . <i>S. nigra</i> is also a W2 weed in the Maclean Local Control Area.
Regional Declarations Weeds are declared on a Local Control Authority (LCA) basis and declarations for the same noxious weed can vary across the State. There are 138 LCAs. The NSW Agriculture noxious weeds database lists weeds by council area plus the Western Lands LCA and the Lord Howe Island LCA. There are 187 local council areas plus the two other LCAs.	
m	Applies to a majority of local council areas of the State.
p	Applies to a minority of local council areas of the State.
For a noxious weed declaration for a specific area of the State, check the NSW Agriculture's weeds database (http://www.agric.nsw.gov.au/ap/weeds/).	

APPENDIX B

Noxious Weeds for Pittwater LGA

Noxious weeds



Noxious Weeds in NSW

[Home](#)
[Weeds page](#)
[Noxious weeds](#)


NSW Agriculture

Pittwater

The following weeds are declared noxious in the Pittwater control area. The 'details' link on each listing provides further information on the legal requirements of the weed's listing and any variation in status within the local control area. A complete list of all weeds in all control areas is also available as a PDF document.

Common name	Scientific name	Category	
Alligator weed	<i>Alternanthera philoxeroides</i>	W1	details
Asparagus fern	<i>Asparagus densiflorus</i>	W4c	details
Bitou bush	<i>Chrysanthemoides monilifera</i>	W2	details
Boneseed			
Black knapweed	<i>Centaurea nigra</i>	W1	details
Blackberry	<i>Rubus fruticosus</i> (agg. spp.)	W2	details
Broomrape	<i>Orobanche</i> spp.	W1	details
Cabomba	<i>Cabomba</i> spp.	W4g	details
Castor oil plant	<i>Ricinus communis</i>	W2	details
Climbing asparagus	<i>Asparagus plumosus</i>	W4c	details
Giant reed	<i>Arundo donax</i>	W4a	details
Elephant grass			
Green cestrum	<i>Cestrum parqui</i>	W2	details
Harrisia cactus	<i>Harrisia</i> spp.	W4f	details
Hawkweed	<i>Hieracium</i> spp.	W1	details
Horsetail	<i>Equisetum</i> spp.	W1	details
Karoo thorn	<i>Acacia karroo</i>	W1	details
Kochia	<i>Kochia scoparia</i>	W1	details
Lagarosiphon	<i>Lagarosiphon major</i>	W1	details
Lantana (Pink flowered)	<i>Lantana camara</i>	W2	details
Lantana (Red flowered)	<i>Lantana camara</i>	W2	details
Ludwigia	<i>Ludwigia peruviana</i>	W2	details
Madeira vine	<i>Anredera cordifolia</i>	W4c	details

Mexican feather grass	<i>Nassella tenuissima</i> syn <i>Stipa tenuissima</i>	W1	details
Miconia	<i>Miconia</i> spp.	W1	details
Morning glory	<i>Ipomea indica</i>	W4c	details
Morning glory	<i>Ipomea cairica</i>	W4c	details
Moth vine	<i>Araujia sericifera</i>	W4c	details
Ochna	<i>Ochna serrulata</i>	W4b	details
Pampas grass	<i>Cortaderia</i> spp.	W2	details
Parthenium weed	<i>Parthenium hysterophorus</i>	W1	details
Pellitory	<i>Parietaria judaica</i>	W3	details
Prickly pears	<i>Opuntia</i> spp.	W4f	details
Privet - broadleaf	<i>Ligustrum lucidum</i>	W4b	details
Privet - narrowleaf	<i>Ligustrum sinense</i>	W4b	details
Rhizomatous bamboo	<i>Phyllostachys</i> spp.	W4a	details
Rhus tree	<i>Toxicodendron succedaneum</i>	W2	details
Salvinia	<i>Salvinia molesta</i>	W1	details
Senegal tea plant	<i>Gymnocoronis spilanthoides</i>	W1	details
Siam weed	<i>Chromolaena odorata</i>	W1	details
Spotted knapweed	<i>Centaurea maculosa</i>	W1	details
St John's wort	<i>Hypericum perforatum</i>	W2	details
Turkey rhubarb	<i>Acetosa sagittata</i>	W4b	details
Water hyacinth	<i>Eichhornia crassipes</i>	W1	details
Water lettuce	<i>Pistia stratiotes</i>	W1	details
Willows	<i>Salix</i> spp.	W4g	details

For further information about weeds or weed control, visit the [NSW Agriculture Weeds page](#) or send an e-mail message to weeds@agric.nsw.gov.au.

The information contained in this web page is based on knowledge and understanding of Order(s) under the [Noxious Weeds Act 1993](#) at the time of writing or at the time of last review. However, because:

- there may be changes to the Order(s) users are reminded of the need to ensure that information on which they rely is up to date, and
- some weed declarations of particular weeds have explanatory or qualifying notes and users should check the accuracy, completeness and currency of information by:
 - reading the Order(s),
 - inquiring with the appropriate officer of the Local Government Authority for the user's locality, and/or
 - consulting with an independent advisor.

Eva Twarkowski, Natural Resources Officer
Pittwater Council
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1365 Mobile 0423 569 768

3 March 2004

Yvonne Eden
11 Wandearah Road
AVALON NSW 2107

Dear Ms Eden

Re: Clarification of Condition of Consent for DA N0800/03

This is in reference to Condition number **C2a**.

- C2a. In particular, the following matters are to be certified as being completed prior to commencement of works in accordance with the Bushland Management Plan/Strategy approved prior to Construction Certificate:

A Bushland Management Plan/Strategy detailed in C2a has been replaced with the Weed Control Plan, to be approved prior to issue of construction certificate. Any details relating to this condition should relate the approved Weed Control Plan.

If you have any further queries please do not hesitate to contact the undersigned officer.

Yours faithfully

Eva Twarkowski
NATURAL RESOURCES OFFICER

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Condition B15a

The following matters are to be provided:

B15a.1. Define each project task to be undertaken during regeneration/revegetation/restoration

See approved Weed Control Plan prepared by Karen Ross Gardens Pty Ltd, January 2004 (see Management Aims and Objectives).

The tasks are as follows:

- Clear weed infestations by 50% within 12 months
- Establish an appropriate vegetation regime as areas are cleared of weeds as per approved Landscape Plan
- Encourage diversity in plant species and structure throughout the area
- Protect the soil from erosion

How each task will be done

See approved Weed Control Plan prepared by Karen Ross Gardens Pty Ltd, January 2004 (see Section 1. General)

- Begin weed removal along higher levels of the disturbed slope
- Remove weeds according to the Weed Control Measures appropriate for the weed type (see Section 2. Weed Controls – cutting, removal by hand, mattock, scrape etc.)
- Retain existing soil levels
- Retain existing plant species that are associated with Pittwater's Spotted Gum Forest
- Provide protection to all exposed soil after clearing
- Protect species of locally occurring plants that naturally regenerate (if any) from the existing propagule bank
- Revegetate according to the approved Landscape Plan where natural regeneration requires supplementing
- Introduce organic mulch to a depth of 50mm minimum to areas of cleared weeds

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Duration & priority of each task

As detailed in the approved Weed Control Plan, the strategy is to be implemented over a 12 month timeframe to minimise loss of habitat for existing fauna, to limit soil erosion and to allow time for locally occurring species to germinate.

Priority 1. Eradication and control of weeds – 3 to 4 months

Priority 2a. Establish new plants as per the approved Planting Schedule (see approved Landscape Plan). Estimated timeframe: 3 months

Priority 2b. Mulch the area, concurrent with establishment of new plants

Priority 3. Monitor and continue to eradicate new emerging weeds, as well as replace any plants that die during establishment. Timeframe: 6 months

Who will be responsible for each task

Yates Garden Care Mona Vale have been retained to undertake all tasks outlined above as per the approved Weed Control Plan.

B15a.2. Prepare a timeframe for each task

Autumn (March - May 2004):	Eradication of weeds
Winter (June - August 2004) :	Establishment of new plants and mulching
Spring/Summer (Sept 2004 - Feb 2005) :	Monitoring and maintenance of weed eradication and new plant growth

B15a.11. Site and vegetation maintenance incl. sediment and erosion control, watering, replacement of plant losses, disease and insect control, mulch, maintenance for a period of 1 year commencing at Occupation Certificate

Yates Garden Care Mona Vale have already been retained to provide on-going maintenance to the property which includes lawn mowing and general garden maintenance which includes weed control (see attached agreement Ref #192, dated 10/11/2003).

The sediment and erosion control has been addressed by way of fine mesh material placed along the temporary fence which separates the construction works from the garden/bush area.

Replacement of plant losses, disease and insect control, mulch and general maintenance will be addressed as part of the scope of works recommended in the approved Weed Control Plan and as set out in the Yates Garden Care proposal (Ref #299 dated 18/2/04) which involves a monthly maintenance program to address these issues.

B15a.12. Site management to prevent placement of soil or storage of materials in the drip line of any trees or native vegetation or habitat

A temporary fence has been placed across the width of the site to separate the building works from the garden/bush area. The natural slope of the land also creates a natural deterrent for storage of materials beyond the fence line.

Building materials will be stored in the front of the property on the concrete driveway and down the left hand side of the house. They will pose no threat to any trees, vegetation or habitat.

B15a.17. Materials, stockpiles and vehicle stockpile areas are to be located on already cleared and disturbed land well away from creek line, trees, vegetation, habitat, bush rock or other natural features.

Again, the temporary fence across the width of the property separates the building works from the construction area. The natural slope of the land also creates a natural deterrent for storage of materials beyond the fence line.

Building materials will be stored in the front of the property on the concrete driveway and down the left hand side of the house. As such, they will not be near any creekline, trees, vegetation, habitat, bush rock or other natural features. Vehicles will be parked on the driveway or on the street, also away from all natural assets such as trees, creeklines, habitats and bush rock.

Condition B16. Local native species to be used

- **Identify local native plant stock source**

Species selected have been identified in the approved Weed Control Plan prepared by Karen Ross Gardens Pty Ltd, January 2004 (see Section 3. Additional Planting). Planting will be placed in accordance with the approved Landscape Plan.

The species selected are consistent with the Pittwater Spotted Gum Forest Community and will be:

- Maidenhair fern
- Blue Flax Lily
- Wombat Berry
- Settlers Flax
- Mat Rush
- Burrawang
- Kangaroo Grass
- White Sallow Wattle
- Common Hop Bush
- Blueberry Ash
- Graceful Bush Pea

Plants will be supplied by Yates Garden Care Mona Vale, who will in turn source the plants from various local suppliers such as Kalgola, Wirreanda and Tharwa Nurseries.



Yates
GARDEN
CARE

ABN: 85 606 911 995
Terms: Payment Due on Completion
18/2/2004
Reference Number# 299

Property Address:
11 Wandearah, Avalon

Thank you for giving Yates Garden Care the opportunity to quote on your garden. You can be assured of our commitment to quality.

Damian Spinks

Yates Garden Care Mona Vale
PO Box 458
Avalon Beach, NSW 2107

Telephone: 02 9973 4699
Mobile: 0416 023 029
Facsimile: 02 9973 4699
Email: Damian_Spinks@YatesGardenCare.com.au



Quotation

ABN: 85 606 911 995
Terms: Payment Due on Completion
10/11/2003
Reference Number # 192

Quote To:
Mrs Yvonne Eden
11 Wandearah Avenue
Avalon, NSW, 2107

Property Address:
11 Wandearah Avenue, Avalon

Service\Description	Net	Gross
Lawn Mowing & Edging This quote is for a regular lawn mowing service and will include edging of the lawn plus blowing of the debris. It is recommended that the lawn be cut on a fortnightly basis as a minimum during the warmer months and as required during the cooler months.	\$40.00	\$44.00
Weed Management This quote is for a regular monthly (every 4 weeks) visit to spray the weeds in the garden to keep them under control.	\$25.00	\$27.50
Net Total	\$65.00	
GST	\$6.50	
Invoice Total		\$71.50

Thank you for giving Yates Garden Care the opportunity to quote on your garden. You can be assured of our commitment to quality.

Your Qualified Yates Garden Care Horticulturist

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 - To be submitted with detailed design for construction certificate

Development Application for YVONNE EDEN
Name of Applicant
Address of site 11 WANDEARRAH AVENUE AVALON

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design
I, JACK HODGSON on behalf of JACK HODGSON CONSULTANTS PTY LTD
(insert name) (trading or company name)

on this the 1ST MARCH 2004
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development

Geotechnical Report Details:

Report Title: RISK ANALYSIS & RISK MANAGEMENT FOR PROPOSED ADDITIONS AT
Report Date: 11 WANDEARRAH AVENUE AVALON
Author: 2ND OCTOBER 2003
JACK HODGSON

Structural Documents list:

STRUCTURAL PLANS & DETAILS DRAWINGS NO. 21203-1

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

JACK HODGSON
(name)

(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 2/10/03 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature J. Hodgson

Name JACK HODGSON

Chartered Professional Status MEMBER FIEAUS

Membership No. 149 788

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BUILDING SPECIFICATIONS : 11 WANDEARAH AVENUE, AVALON

EXTERNAL BUILDING WORKS

- Balustrades to be 66 x 18mm standard in l.o.s.p.
- Handrail as per picture supplied 1100mm high. Posts above deck 90x90mm to carry through approx. 100mm above handrail.
- Decking to be 90mm merbau fixed down with stainless steel nails
- Decking to finish at edge of deck as per request. No turn down allowed.
- Windows/doors to be made by Airlight – with flyscreens to new doors only, toughened glass, new windows fixed, primed.
- New gutters and new fascia to new area only
- Stormwater to existing downpipe

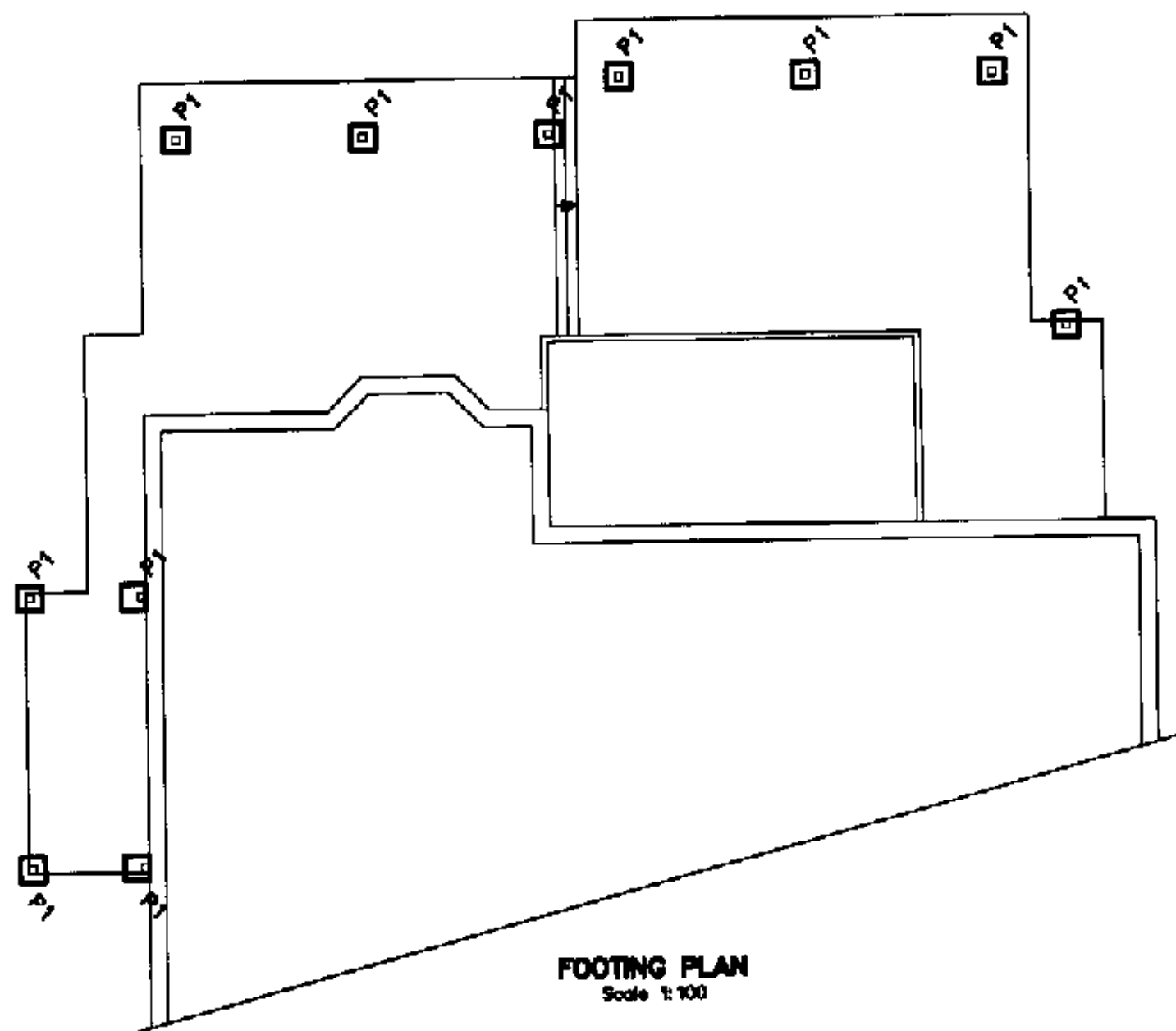
INTERNAL BUILDING WORKS.

- Plaster board to be 10mm standard on walls and 10mm uni-span to ceilings
- Cornice to match existing
- Architrave to match existing in MDF
- Skirting to match existing in MDF
- Blackbutt timber flooring throughout the family & breakfast rooms. Lay, sand and polish
- Millwood profile to wall under servery between kitchen and breakfast room
- Relocate internal access door from garage. Re-use existing door to provide access directly into laundry from garage.
- Raked plasterboard ceiling to breakfast room. R2 insulation batts to new breakfast area
- Painting to be done by owners and/or quoted nearer to completion

GENERAL

- Owners toilet to be used by trades
- All rubbish to be removed from site
- Existing dwelling is remain habitable during construction period, with services (electricity, water, phone) available, except for short periods as necessary for building works

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Note:
P1- 400x400x400 Deep Mass Concrete Pad Footings with
125x125 F7 Treated and laminated Timber Posts.

Element	Cover (mm)		F'c at 28 Days	
	Internal	External	Internal	External
Piers				
Footings		N/A	20Mpa	
Block Filling				
Slab on Ground				
- Top				
- Bottom				
Beams				
Columns				
Slabs				
Walls				

The minimum clear cover is to reinforcement ties and stirrups.

INSIGHT DEVELOPMENT CONSULTANTS PTY LTD

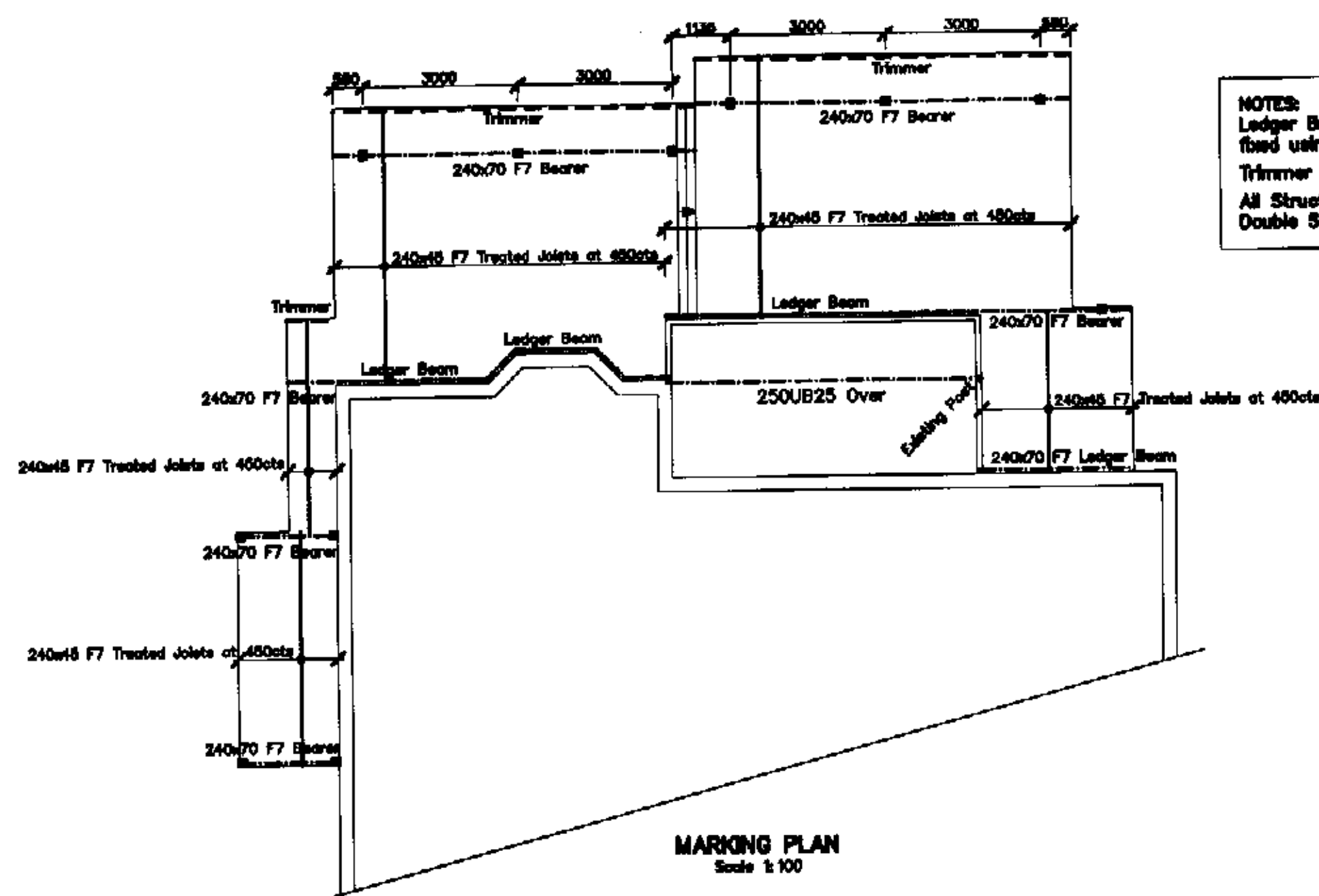
Structural Details C.O. No. 2004/66

PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Structural Engineers of their responsibility to ensure the structural adequacy of this project.

WARNING

PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Applicant's responsibility to obtain approval from Sydney Water or other utilities prior to the commencement of any works.
Dial Before You Dig 1100

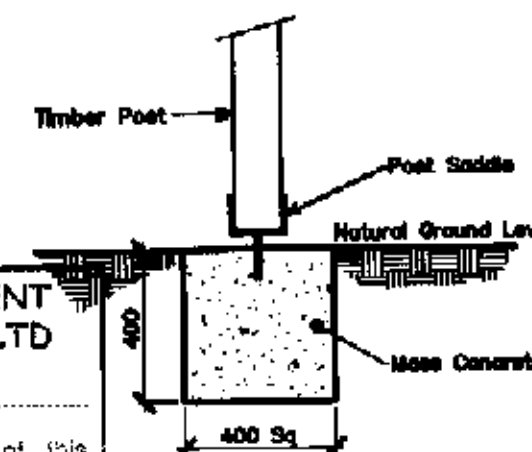
NOTES:
Ledges Beams 240x70 F7 Treated fixed using M12 Masonry Anchors at 500c/c.
Trimmer Beam same size as adjacent joists.
All Structural Beams to bear on Double Stud. Unless Noted Otherwise.



INSIGHT DEVELOPMENT CONSULTANTS PTY LTD

Structural Details C.O. No. 2004/66

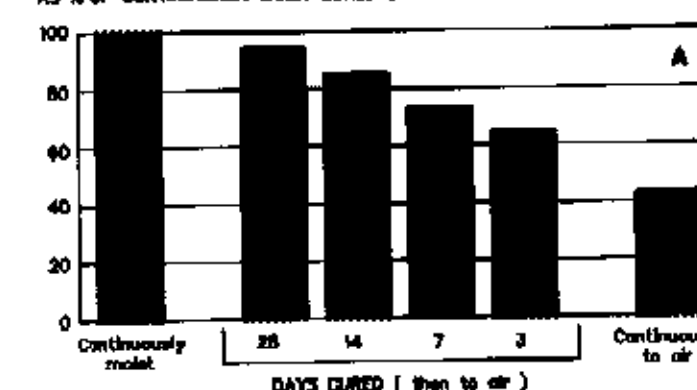
PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Structural Engineers of their responsibility to ensure the structural adequacy of this project.



PAD FOOTING DETAIL-P1
Scale 1:20

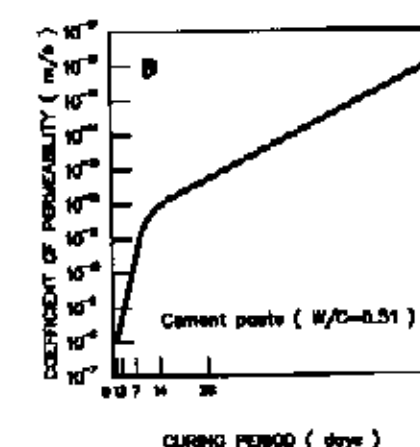
IMPORTANCE OF CURING CONCRETE

COMPRESSIVE STRENGTH AT 180 DAYS
AS % OF CONTINUOUSLY MOIST CURED SAMPLE



Effect of curing duration on : (A) compressive strength; and (B) concrete permeability

Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/NSB:1998)



CONCRETE NOTES:

- All concrete work to be in accordance with AS 3600.
- F'c Refer to table.
- Maximum aggregate size = 20 for footings, slabs & beams.
= 10 for block filling.
- Slump = 80.
- All concrete, including block filling, to be vibrated.
- Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
- Bar Chairs to be no more than 50mm str to str spacing.
- Reinforcing Steel to comply with AS/NZS 4671:2001, and to be D500N unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class)
- Reinforcement to be tied at every other intersection minimum.

STEELWORK NOTES:

- Fabricate and erect all structural steelwork in accordance with AS 4100, AS 1584 and the Specification.
- Do not obtain dimensions by scaling the structural elements.
- Chop all welds free of slag.
- All steelwork to be Hot Dipped Galvanized. Unless Otherwise Noted.
- Unless otherwise noted use:
 - 6mm continuous fillet weld
 - 10mm thick gusset, fin and end plates, weld all round.
 - 16mm dia. 4.8/s bolts
- Minimum end bearing 150mm.

TIMBER NOTES:

- All work (including bracing, wind bracing & tie downs) shall be carried out in accordance with AS 1684.2, AS 1720.1 & the specification.
- Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
- All timber shall be free of gum veins, pockets, knots holes or splits within 250mm of any connection.
- Refer to specification for preservatives and finishes to timbers.
- All bolts, nuts, washers and timber connectors shall be hot dip galvanized unless noted otherwise.

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.M.Eng.Sc.
.....F.I.E.Aust.Nper3.Struct.Civil.No.148788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.
A.S.1170., A.S.1170.1, A.S.1170.2, A.S.1684., A.S.2570., A.S.3600., A.S.3700, A.S.4100

Jack D. Hodgson 12/11/03
Name Date Signature

No. Amendment Drawn Date

STRUCTURAL PLANS AND DETAILS

PROPOSED ALTERATIONS AND ADDITIONS
11 WANDEARAH AVENUE
AVALON

The Structural Details shown on this Drawing are not to change under any circumstances. No variations shall be issued for work Not in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.

Consulting Civil, Geotechnical and Structural Engineers.
11 Bungon Street, WANDARAH VALLEY, NSW 2143. Post Code 2143.
Telephone (02) 9979 9733. Facsimile (02) 9979 9828. A.C.N. 063 406 911

Designed JDH Drawn ED Job No. Drawing No.

Checked JDH Scale 1:100, 20 mm

Date 12 NOVEMBER 2003

21203-1