

EXACT HEIGHT AND LOCATION OF ALL PROPOSED NEW RETAINING WALLS ARE TO BE CONFIRMED ON SITE BY THE OWNER AND CONTRACTOR

Reinforced concrete block retaining wall or similar

Location of a minimum 3,400 litre rainwater tank as per the BASIX requirements

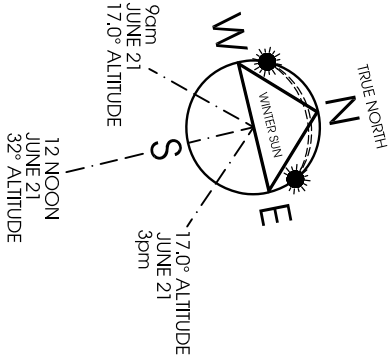
900 cut

Reinforced concrete block retaining wall or similar

GROUND FLOOR
FFL 44.75

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Reinforced concrete block retaining wall or similar





WILSON'S QUALITY DRAFTING & DESIGN.
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- DO NOT SCALE OFF DRAWING use all specified dimensions.

ISSUE	DATE	REVISION
D	14.03.18	Amended for Section 96 application
C	12.10.17	Amended for Construction Certificate issue
B	07.06.17	Amended for Council submission
A	05.04.17	Amended for Council submission

SCALES: 1:100

DRAWN: B. Wilson

REF No. MB21062016

SHEET: 2 of 10

ISSUE: D

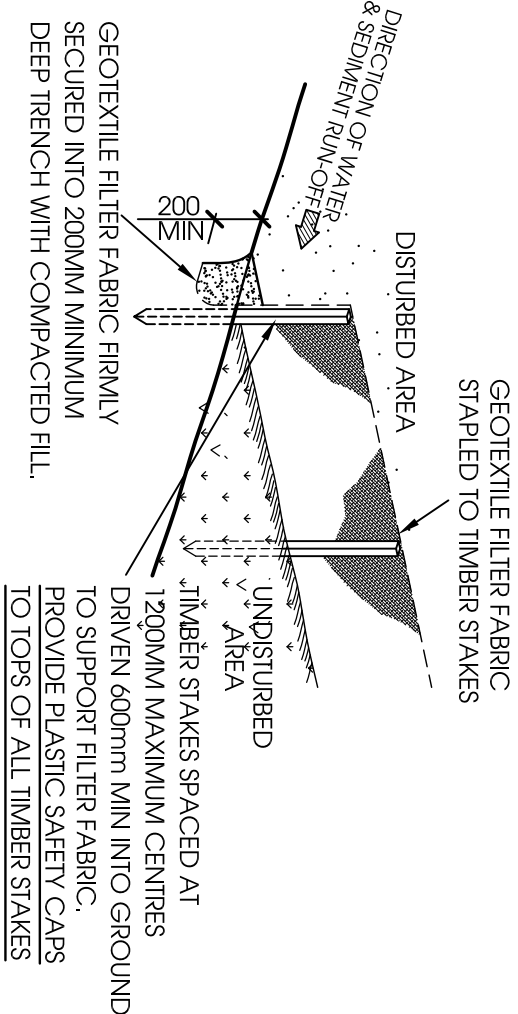
PROPOSED ALTERATIONS & ADDITIONS AT

LOT 9/NO.10 DAISY STREET,

NORTH BALGOWLAH.

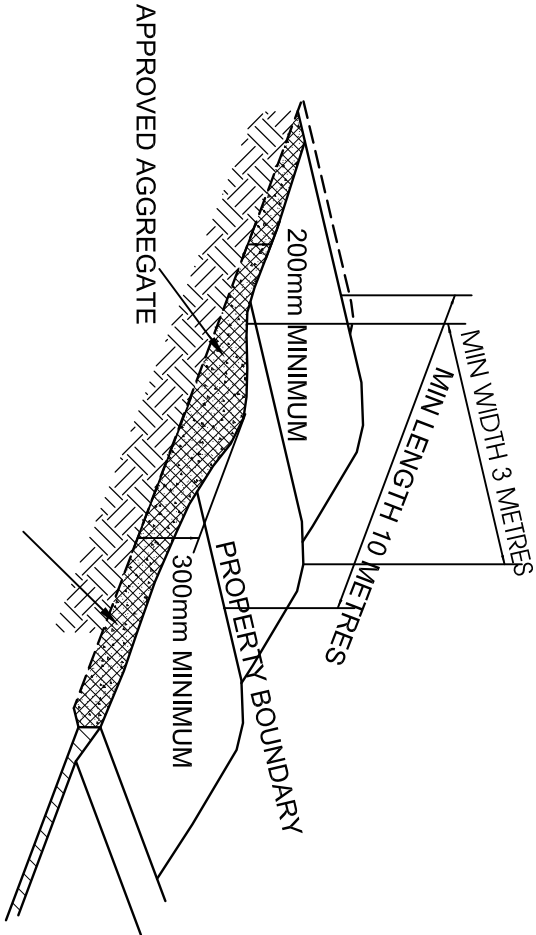
FOR: MR M. BLAKE

RETAINING WALL LAYOUT



DETAIL - GEOTEXTILE FILTER FABRIC FENCE. NOT TO SCALE

EXACT LOCATION OF GEOTEXTILE FILTER FENCE TO BE DETERMINED ON SITE BY THE BUILDER AND RELEVANT COUNCIL ENGINEER.



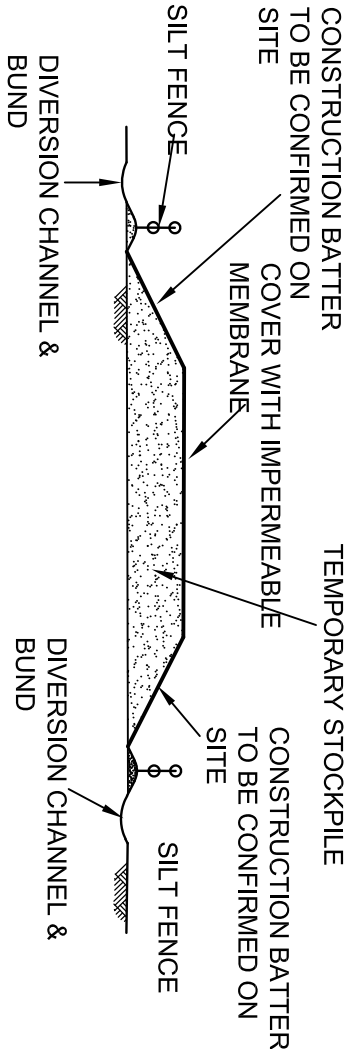
GEOTEXTILE FABRIC DESIGNED TO PREVENT INTERMIXING OF SUBGRADE AND BASE MATERIALS AND TO MAINTAIN GOOD PROPERTIES OF THE SUB-BASE LAYERS.

STABILISED SITE ACCESS

NOT TO SCALE
(IF REQUIRED CONFIRM ON SITE)

- ### EROSION & SEDIMENT CONTROL NOTES:
1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION - VOLUME 1" MARCH 2004 BY LANDCOM.
 2. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE SET IN PLACE PRIOR TO ANY WORKS COMMENCING.
 3. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED TO THE SATISFACTION AND DIRECTION OF THE COUNCIL'S ENGINEER.
 4. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN %60 OF THEIR CAPACITY IS LOST. NO SILT SHALL BE PLACED OUTSIDE THE LIMIT OF WORKS.
 5. ALL DISTURBED AREAS SHALL BE STABILISED BY MEANS OF LANDSCAPING, TURF OR RE-VEGETATION AS SOON AS POSSIBLE.
 6. THESE DRAWINGS OUTLINE THE MINIMUM MEASURES TO BE TAKEN TO CONTROL EROSION AND TO ARREST THE TRANSPORT OF SEDIMENT. ADDITIONAL MEASURES MAY BE REQUIRED TO SUIT STAGING OF WORKS OR AS DIRECTED BY THE SUPERVISOR OR COUNCIL'S ENGINEER.

EXACT LOCATION OF ALL EROSION AND SEDIMENT CONTROL DEVICES TO BE DETERMINED ON SITE BY THE BUILDER AND THE RELEVANT COUNCIL INSPECTOR.



TYPICAL TEMPORARY STOCKPILE

NOT TO SCALE

 WILSON'S QUALITY DRAFTING & DESIGN. ABN 83 770 622 608 91 Laycock Street, CRANEEROOK NSW 2749 Phone: (0247) 301609 Mobile: (0412) 338445 Email: bgwilson3@bigpond.com										■ IT IS THE RESPONSIBILITY OF THE BUILDER TO CONFIRM ALL NEW DIMENSIONS BEFORE THE COMMENCEMENT OF ANY BUILDING WORK AND THE ORDERING OF MATERIALS. ■ DO NOT SCALE OFF DRAWING use all specified dimensions.										<table><tr><td></td><td></td><td></td><td></td><td colspan="2">SCALES: Not to Scale</td><td colspan="4" rowspan="5">PROPOSED ALTERATIONS & ADDITIONS AT LOT 9/No.10 DAISY STREET, NORTH BALGOWLAH. FOR: Mr M. BLAKE</td></tr><tr><td>D</td><td>14.03.18</td><td colspan="2">Amended for Section 96 application</td><td colspan="2">DRAWN: B. Wilson</td></tr><tr><td>C</td><td>12.10.17</td><td colspan="2">Amended for Construction Certificate issue</td><td colspan="2">REF No. MB21062016</td></tr><tr><td>B</td><td>07.06.17</td><td colspan="2">Amended for Council submission</td><td colspan="2"></td></tr><tr><td>A</td><td>05.04.17</td><td colspan="2">Amended for Council submission</td><td colspan="2">SHEET: 3 of 10</td></tr><tr><td>ISSUE</td><td>DATE</td><td colspan="2">REVISION</td><td colspan="2">ISSUE: D</td><td colspan="4">EROSION CONTROL DETAILS</td></tr></table>														SCALES: Not to Scale		PROPOSED ALTERATIONS & ADDITIONS AT LOT 9/No.10 DAISY STREET, NORTH BALGOWLAH. FOR: Mr M. BLAKE				D	14.03.18	Amended for Section 96 application		DRAWN: B. Wilson		C	12.10.17	Amended for Construction Certificate issue		REF No. MB21062016		B	07.06.17	Amended for Council submission				A	05.04.17	Amended for Council submission		SHEET: 3 of 10		ISSUE	DATE	REVISION		ISSUE: D		EROSION CONTROL DETAILS			
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SCHEDULE OF BASIX COMMITMENTS

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

WATER COMMITMENTS

Fixtures

The applicant must install showerheads with a minimum rating of 3 star (>6 but <=7.5 L/min) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development. The applicant must install taps with a minimum rating of 3 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.

Alternative Water

The applicant must install a rainwater tank of at least 3,400 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 220.3 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to all toilets in the development, the cold water tap that supplies each clothes washer in the development, at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply).

THERMAL COMFORT COMMITMENTS

Floor, walls and ceiling/roof

The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below

CONSTRUCTION	ADDITIONAL INSULATION REQUIRED (R-value)	OTHER SPECIFICATIONS
floor - concrete slab on ground	nil	
floor - suspended floor above garage, framed	nil	
external wall - framed (weatherboard, fibre cement, metal clad)	1.50 (or 1.90 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling/pitched roof	ceiling: 2.5(up), roof: foil/sarking	unventilated: medium (solar absorptance 0.475-0.70)

Note: Insulation specified in this certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia

THERMAL COMFORT COMMITMENTS

Windows, glazed doors:

The applicant must install the windows, glazed doors and shading devices as listed in the window schedule, in accordance with the specifications listed in the window schedule. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The dwelling may have 1 skylight (<0.7 square metres) and up to 2 windows/glazed (<0.7 square metres) which are not listed in the table.

The following requirements must also be satisfied in relation to each window and glazed door:

- Except where the glass is 'single clear' or single toned, each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) +/-10% of that listed. Total system U-values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.
- The leading edge of eave, pergola, verandah, balcony or awning must be no more than 500 millimetres above the head of the window or the glazed door, except that the projection greater than 500mm and up to 1500mm above the head must be twice the value in the table.
- Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
- Unless they have adjustable shading, pergolas must have fixed battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50mm.

WINDOW SCHEDULE (Refer to sheet 5 for full BASIX schedule)

WINDOW No. height x width	ORIENTATION	MAX AREA (m ²)	TYPE	SHADING	OVERSHADOWING
1 - double hung 2.1 x 0.9	East	2.04	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony >2,000mm	not overshadowed
2 - french doors 2/2.1 x 0.72	East	3.20	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony >2,000mm	not overshadowed
3 - double hung 2.1 x 0.9	East	2.04	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony >2,000mm	not overshadowed
4 - double hung 2.1 x 0.9	South	2.04	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	none	not overshadowed
5 - double hung 2.1 x 0.9	South	2.04	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	none	not overshadowed
6 - 4 x door, 3.6 wide bi-folds	West	7.85	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony >2,000mm	not overshadowed
7 - double hung 2.1 x 1.2	West	2.69	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony >2,000mm	not overshadowed
8 - french doors 2/2.1 x 0.72	West	3.20	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony >2,000mm	not overshadowed
9 - Fixed 0.7 x 1.6	North	1.24	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	none	not overshadowed
10 - double hung 0.9 x 0.9	North	0.90	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	none	not overshadowed
11 - double hung 1.5 x 0.9	North	1.47	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	none	not overshadowed
12 - double hung 2.1 x 0.9	North	2.04	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	none	not overshadowed
13 - double hung 2.1 x 2.1	East	4.62	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony >2,000mm	not overshadowed
14 - double hung 1.2 x 2.6	East	3.31	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony 450mm	not overshadowed
15 - double hung 1.2 x 0.9	South	1.19	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony 450mm	not overshadowed
16 - double hung 1.2 x 0.9	South	1.19	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony 450mm	not overshadowed
17 - double hung 1.2 x 0.9	South	1.19	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony 450mm	not overshadowed
18 - fixed 2.1 x 1.8	South	3.98	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony 450mm	not overshadowed
19 - awning 0.6 x 2.1	South	1.40	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony 450mm	not overshadowed
20 - double hung 1.2 x 1.8	West	2.31	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony 450mm	not overshadowed
21 - double hung 1.5 x 0.9	North	1.47	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony 450mm	not overshadowed
22 - double hung 1.5 x 0.9	North	1.47	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony 450mm	not overshadowed
23 - double hung 1.2 x 1.8	North	2.31	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony 450mm	not overshadowed
24 - double hung 2.1 x 0.9	North	2.04	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	eave/verandah/pergola/ balcony 450mm	not overshadowed
90 - Fixed 0.7 x 1.6	North	1.24	Improved aluminium, single clear, (or U-value: 6.44, SHGC: 0.75)	none	not overshadowed

Section 96
amendments



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ISSUE	DATE	REVISION	BASIX CERTIFICATE REQUIREMENTS		

ENERGY COMMITMENTS

Hot Water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3.5 stars

Cooling System

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: air conditioning ducting only; Energy rating: n/a
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a

Heating System

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: wood heater; Energy rating: n/a
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedrooms: air conditioning ducting only; Energy rating: n/a

Ventilation

The applicant must install the following exhaust system in the development:

At least 1 bathroom: individual fan, not ducted; Operation control: manual switch on/off
Kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off
Laundry: individual fan, not ducted; Operation control: manual switch on/off

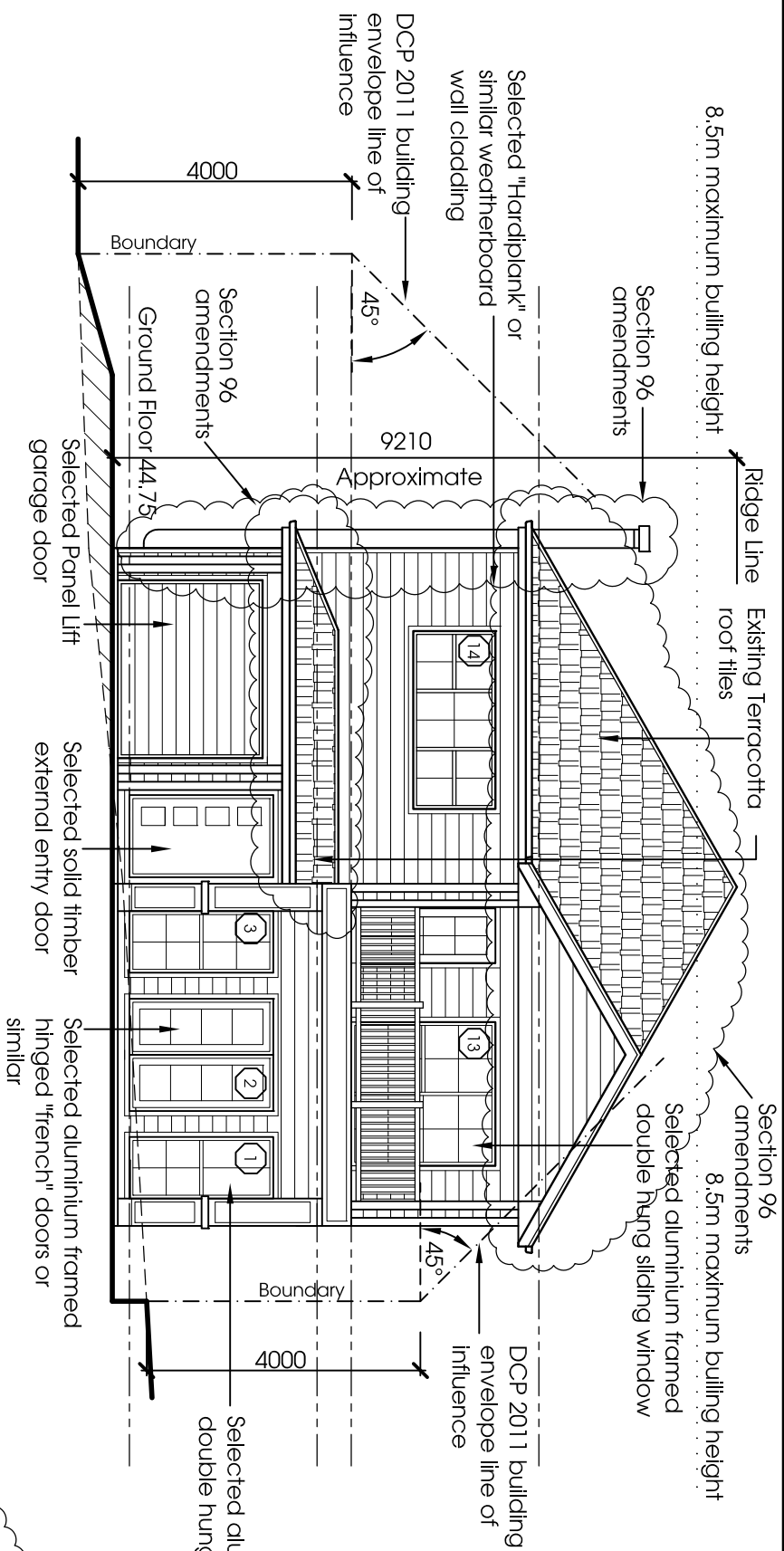
Artificial Lighting

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must be only be capable of accepting fluorescent or light emitting diode (LED) lamps: kitchen, all bathrooms/toilets, the laundry and all hallways

Natural Lighting

The applicant must install a window and/or skylight in 3 bathrooms/toilets in the development for natural lighting.

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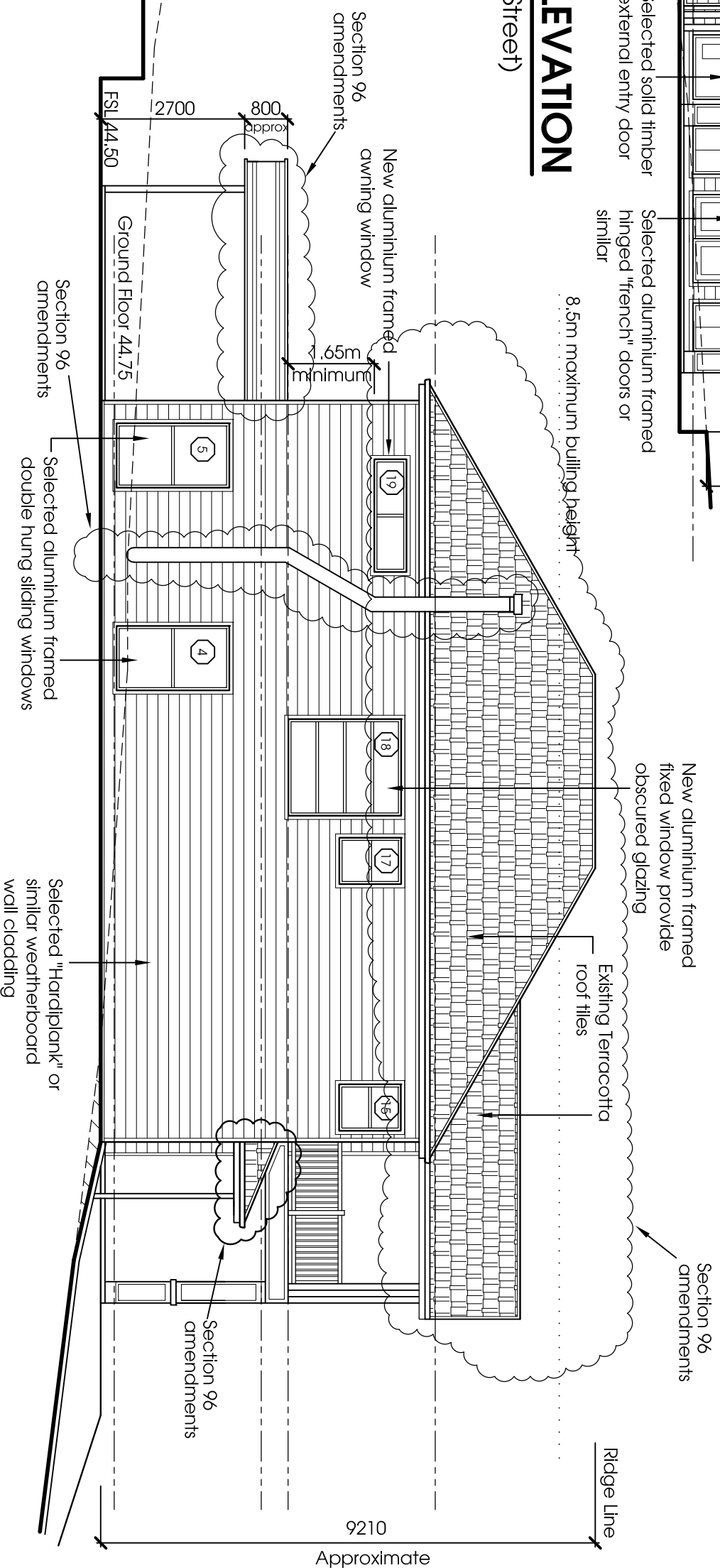


NOTE: EXTERNAL FINISH TO ALL ROOFS SHALL HAVE A MEDIUM TO DARK RANGE IN ORDER TO MINIMISE SOLAR REFLECTIONS TO NEIGHBOURING PROPERTIES. LIGHT COLOURS SUCH AS OFF WHITE, CREAM, SILVER OR LIGHT GREY ARE NOT PERMITTED.

EASTERN ELEVATION

(View from Daisy Street)

(View from Daisy Street)



SOUTHERN ELEVATION



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