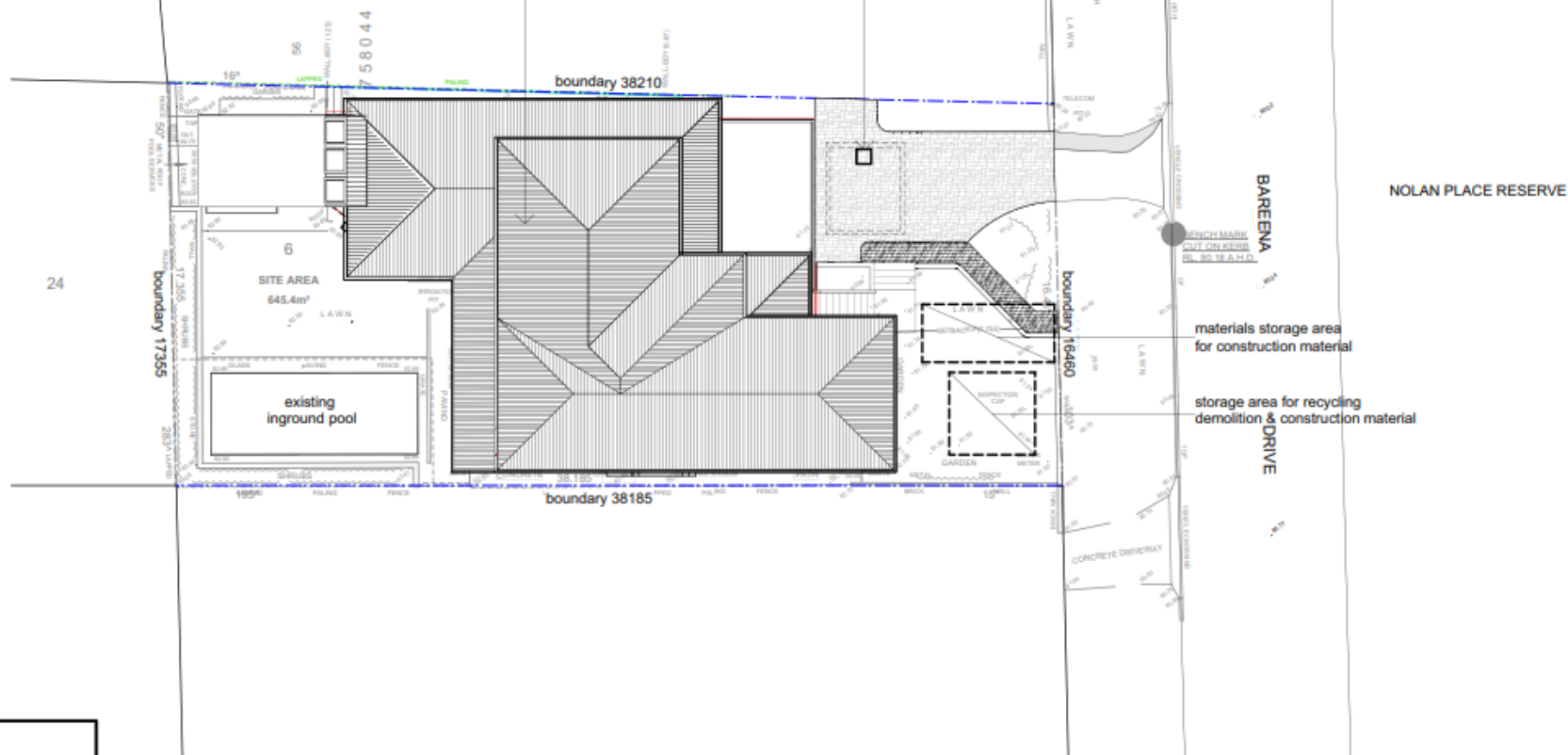


Replace existing tiles with
Lysaght Enseam roofing in
Colourbond Monument in lieu of
approved tiled roof

rainwater tank and access hatch to
hydraulic engineer's detail



SITE PLAN
Scale: 1:200

ENTIRE PROJECT TO REMAIN UNALTERED FROM THAT
APPROVED BY DA2021/1222 WITH THE EXCEPTION OF
THE ROOFING MATERIAL

AREA CALCULATIONS

SITE AREA:	645.4m ²
Existing Floor Area	234.88m ²
Additional Floor Area	53.92m ²
Total proposed Floor Area	288.84m ²
Proposed soft landscaping Area	157.3m ²

This is the Sheet No. _____ of _____
Drawings referred to in the Contract dated _____
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B	12.05.22	ISSUED FOR S4.55 MODIFICATION
A	30.06.21	DEVELOPMENT APPLICATION ISSUE
ISSUE:	DATE:	NOTES:

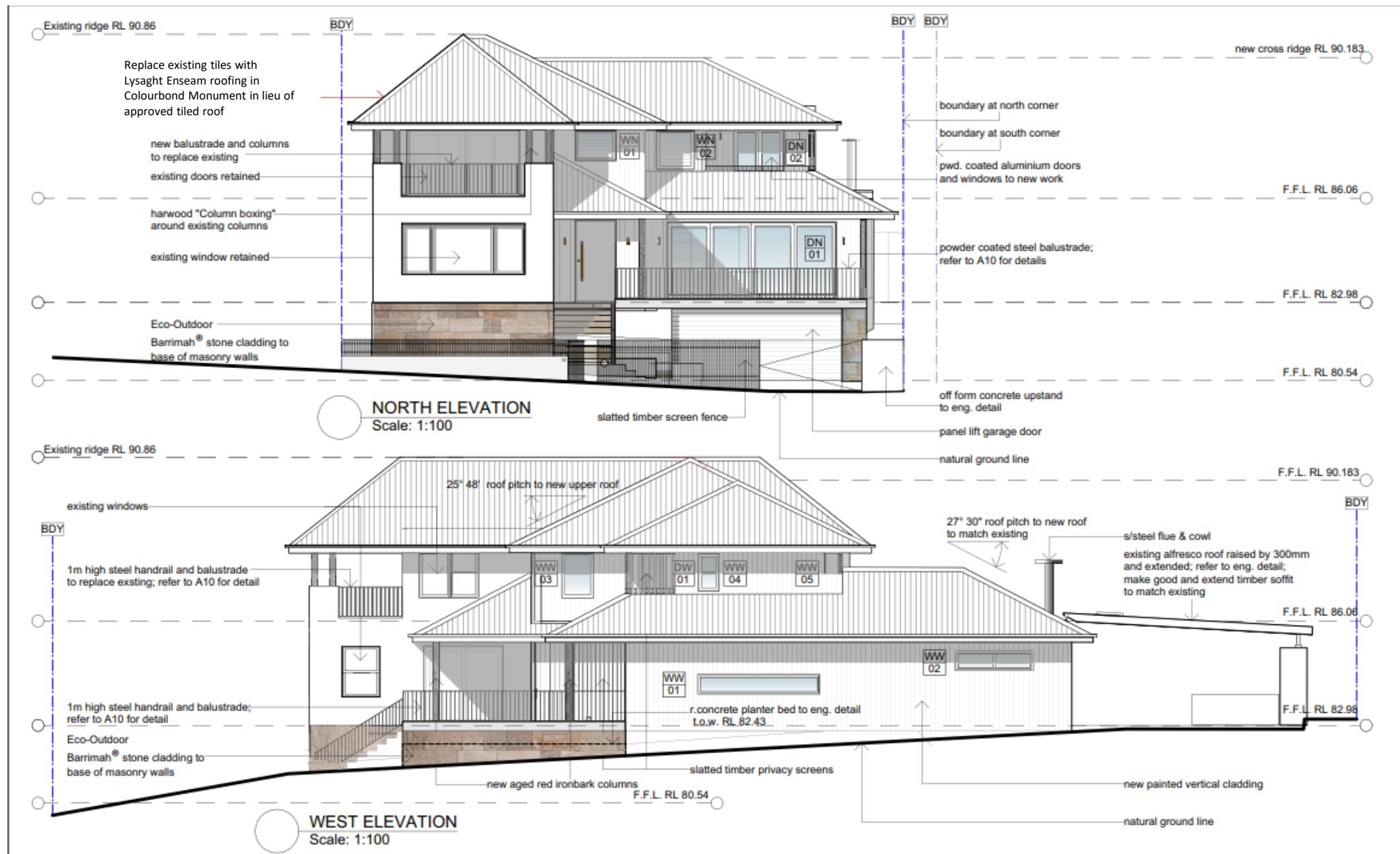
12 Bareena Drive, BALGOWLAH HEIGHTS
Lot 6 Section 56 DP 758044
Joanna and Michael Baxter

SITE PLAN/SITE ANALYSIS

Project Engineer	Michael Korecky Ph.0438 148 944
Consultant Engineer	Kyle Hill Ph.0412 221 962
Client	Brent Guest Ph.0414 825 022
Drawn by	Ph. 9966 8630

Draw No.	Project No.
DA01	19.002

finesline
building design professionals
abn 17612552 870
57 Tennyson Road, CROMER
Email: paul@thefinesline.com.au
Web: www.thefinesline.com.au Ph: 0410 132 241



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F	12.05.22	ROOFING MATERIAL CHANGED TO STEEL
E	11.10.21	ENTOURAGE REMOVED FOR CO-ORDINATION
D	07.07.21	DEVELOPMENT APPLICATION ISSUE
C	08.06.21	CLADDING OPTION
B	23.04.21	ISSUE FOR DISCUSSION; finish resolution
A	26.03.21	PRELIMINARY ISSUE FOR DISCUSSION
ISSUE:	DATE:	NOTES:

Project address: 12 Bareena Drive, BALGOWLAH HEIGHTS
Lot 6 Section 56 DP 758044

Client: Joanna and Michael Baxter

Project: NORTH & WEST ELEVATIONS

Architect: Fineline

Architect's Representative: Michael Korecky Ph.0438 148 944

Consultant: Kyle Hill Ph.0412 221 962

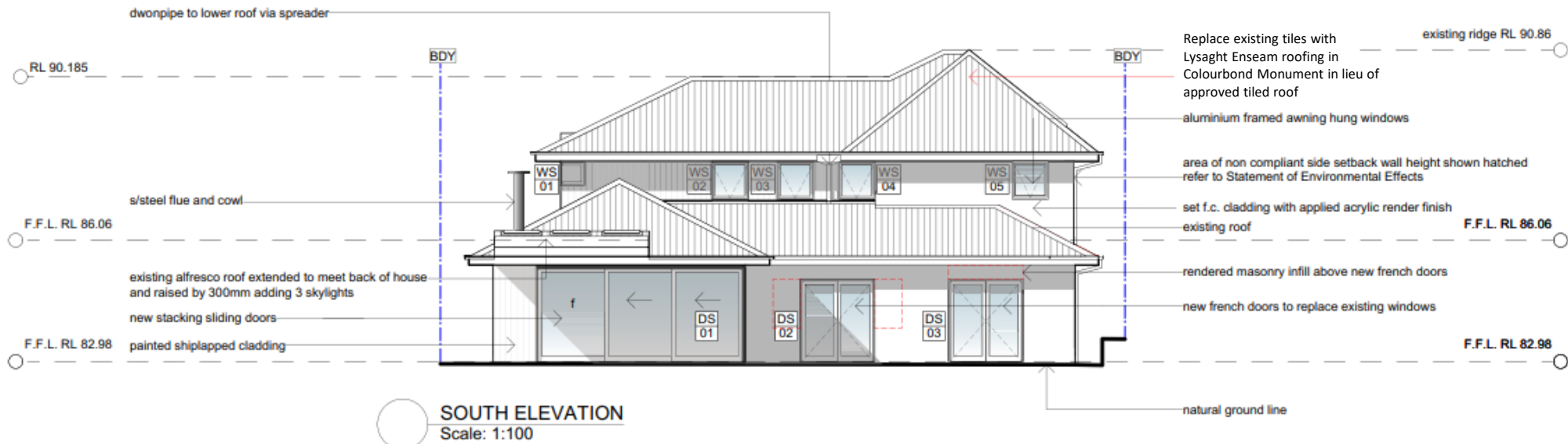
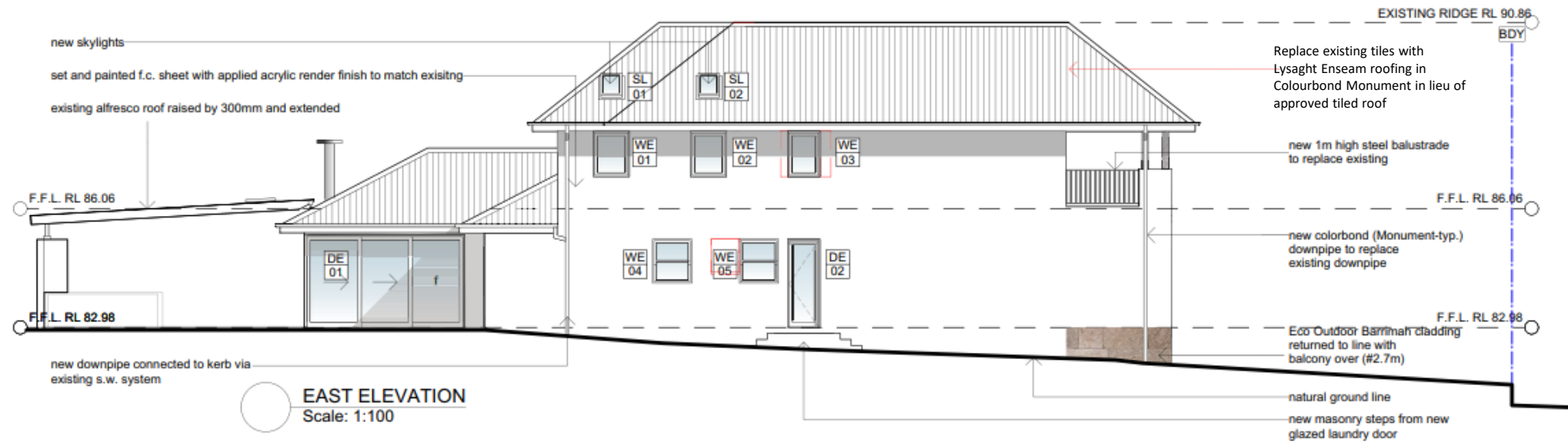
Structural Engineer: Brent Guest Ph.0414 825 022

Other: Ph. 9966 8630

Reg. No.: DA05

Project No.: 19.002

fineline
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401 1761 2652 470
57 Tennyson Road, CROMER
Email: paul@fineline.com.au
Web: www.fineline.com.au
Ph: 0410 132 241



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F	12.05.22	ROOFING MATERIAL CHANGED TO STEEL
E	11.10.21	ENTOURAGE REMOVED FOR CO-ORDINATION
D	07.07.21	DEVELOPMENT APPLICATION ISSUE
C	08.06.21	CLADDING OPTION & ADDITIONAL WINDOWS
B	03.05.21	ISSUE FOR SIGN OFF
A	23.04.21	ISSUE FOR DISCUSSION; finish resolution
ISSUE:	DATE:	NOTES:

project address: **12 Bareena Drive, BALGOWLAH HEIGHTS**
 Lot 6 Section 56 DP 758044
 Clients: **Joanna and Michael Baxter**
 Drawing: **SOUTH & EAST ELEVATIONS**

Architect: **Fineline**
 Consultant Architect: **"BUILDING MY WAY"**
 Architects: **BVC Architects**
 outdoor establishments
 Michal Korecky Ph.0438 148 944
 Kyle Hill Ph.0412 221 962
 Brent Guest Ph.0414 825 022
 Ph. 9966 8630

Dwg No. **DA06**
 Project No. **19.002**

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 Email: info@fineline.com.au
 Web: www.fineline.com.au
 Ph: 0410 132 241



COLOUR AND FINISHES
Scale: 1:100

This is the Sheet No. _____ of _____	Builder
Drawings referred to in the Contract dated _____	Proprietor
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B	19.07.22	ROOFING MATERIAL CHANGED
A	30.06.21	DEVELOPMENT APPLICATION ISSUE
ISSUE:	DATE:	NOTES:

project address:	12 Bareena Drive, BALGOWLAH HEIGHTS Lot 6 Section 56 DP 758044
clients:	Joanna and Michael Baxter
drawing:	COLOUR AND FINISHES SCHEDULE

Landscape Architect outdoor establishments	Ph. 9966 8630

Dwg.No. DA08	Project No: 19.002

fineline

building design professionals

abn 1761 2952 870

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