

SYDNEY BUILDING APPROVALS CENTRE

- Principle Certifying Authority
- Building Regulation Consultation
- NatHERS Certifications
- Town Planning
- Building Approvals
- Inspections

SYDNEY BUILDING APPROVALS CENTRE PTY LTD

ABN 96 081 945 904

Unit 18 Christies Homemaker Centre

173-185 Canterbury Road, Bankstown NSW 2200

Phone: 9790 4741

Fax: 9796 4792

DX 11215 BANKSTOWN www.sbac.com.au

RESIDENTIAL • INDUSTRIAL • COMMERCIAL

Date: 11 August 2003

Pittwater Council
DX 9018, MONA VALE

PREMISES: Lot 13, 12 North Avalon St. North Avalon
CONSTRUCTION CERTIFICATE: CC280/03

Dear Sir/Madam,

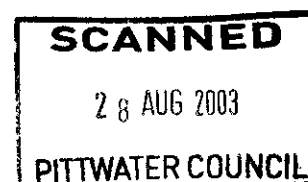
Please find enclosed a Construction Certificate, Notification of work to commence (Form 7), Plans, Engineers details & specification for the above premises.

Should you require any further assistance to the matter please do not hesitate to contact Sydney Building Approvals Centre on Tel: 9790 4741.

Yours Faithfully



Peter Ruck
Building Surveyor



Our ref: 114-03

25 July 2002

Mr and Mrs Johnson
12 North Avalon Road
North Avalon NSW 2107

**RE: ALTERATIONS AND ADDITIONS
12 NORTH AVALON ROAD, NORTH AVALON
STORMWATER DRAINAGE CERTIFICATE**

We certify that we have inspected the existing stormwater drainage system on the site and advise that subject to the augmentation shown on drawing 114-03/C1 it complies with:

1. Australian Rainfall and Runoff published by The Institution of Engineers, Australia.
2. The following Australian Standard: AS3500.3.2.
3. Accepted Engineering Practice and Principles.

No standards or practices other than the relevant Australian Standards have been relied upon for this certification.

Yours faithfully,

WOOLACOTTS



Stephen Branch
BE(Hons) MEngSc FIEAust CPEng
NPER Structural and Civil – Membership No. 312987



N0012/03

- 7 SEP 2003

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CONSTRUCTION CERTIFICATE No.CC280/03

Environmental Planning and Assessment Act 1979 (as amended)

Date of determination:

11 August 2003

Attachments:

Development address:

Lot 13, DP 8394, 12 North Avalon Rd
NORTH AVALON NSW 2107

Applicant:

Mr. Daryl Johnson
12 North Avalon Rd
NORTH AVALON NSW 2107

**Plans and specifications
approved**

Plans drawings & Specifications
Alterations & Additions to existing dwelling Class 1a

Certificate

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of s 81 A(5) of the *Environmental Planning and Assessment Act 1979*

Signature:



Date of endorsement:

11 August 2003

Certificate no:

CC280/03

Certifying Authority

Name of certifying authority:

Peter Ruck

Accreditation no.: B.S.A.P.

2603

Development consent

Number and date of

N0022/03

Determination:

2 May 2003

Sydney Building Approvals Centre

Application for a construction certificate

Date received: 4/6/03 DA no: N0022/03

If you want to carry out some building work, you need a construction certificate before you can start work. You can use this form to apply to us for a construction certificate.

If you propose to submit this application for a construction certificate with your development application please talk to us first. Phone our Sydney Building Approvals Centre on (02)9790 4741.

To complete the form, please place a cross in the boxes ☐ and fill out the white sections as appropriate. To minimise delay in receiving a decision about your application, please ensure you submit all relevant information.

1. Details of the applicant

NAME

Mr ☒ Ms ☐ Mrs ☐ Dr ☐ Other ☐

First name

Daryl

Family name

Johnson

Company/organisation

ABN

STREET ADDRESS

Unit/street no.

12

Street name

NORTH AVALON ROAD

Suburb or town

NORTH AVALON

State

NSW

Postcode

2107

POSTAL ADDRESS (or mark 'as above')

As Above

CONTACT DETAILS

Daytime telephone

02-9918 3733

Fax

Mobile

Email

daryldj@dodo.com.au

2. Identify the land

Unit/street no.

12

Street or property name

NORTH AVALON ROAD

Suburb, town or locality

NORTH AVALON

Postcode

2107

Local government area

Lot/DP or Lot/Section/DP or Lot/Strata no. ^{(1) (2)}

Please ensure that you put a slash (/) between lot, section, DP and strata numbers. If you have more than one piece of land, you will need to separate them with a comma eg 123/579, 162/2.

Lot 13 / DP 8394

(1) Note: You can find the lot, section, DP or strata number on a map of the land or on the title documents for the land, if title was provided after 30 October 1983. If you have documents older than this, you will need to contact Land and Property Information NSW for updated details.

3. Estimated cost of the development

\$ 110,000 Including GST

4. Describe the development

What type of work do you propose to carry out?

Building work ☒

Subdivision work ☐

Describe the work

Alterations and additions to house.

For building work, what is the class of the building under the Building Code of Australia?

class 1A and 10A.

This can be found on the development consent

Has development consent been granted for the development?

No ☐

Yes ☒

What is the development application no.?

N 0022/03

What date was development consent granted?

2-05-03

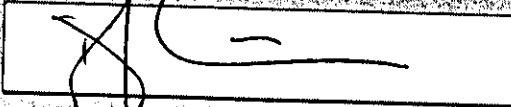
5. Signatures

The owner(s)* of the land to be developed must sign the application.

If you are not the owner* of the land, you must have all the owners sign the application. If the land is Crown land, an authorised officer of the Department of Land and Water Conservation must sign the application.

As the owner(s)* of the above property, I/we consent to this application:

Signature



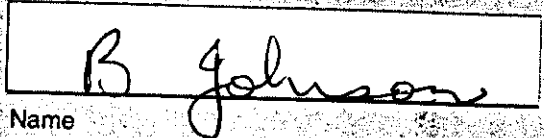
Name

Daryl Johnson

Date

4/6/03

Signature



Name

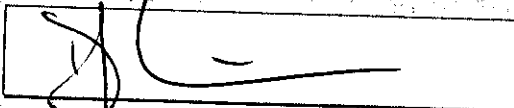
Barrie Johnson

Date

4/6/03

The applicant, or the applicant's agent, must sign the application.

Signature



Name, if you are not the applicant

Daryl Johnson

Date

4/6/03

In what capacity are you signing if you are not the applicant?

6. Privacy policy

The information you provide in this application will enable us to assess your application under the *Environmental Planning and Assessment Act 1979*. If the information is not provided, your application may not be accepted. You have the right to access and have corrected information provided in your application. Please ensure that the information is accurate and advise us of any changes.

Schedule to application for a construction certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

Please complete the following:

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

two
272 m ²
1226.3 m ²

Residential buildings only

Please complete the following details on residential structures:

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

one
one
none

Yes ☐ No ☒

Yes ☒ No ☐

Yes ☐ No ☒

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s):

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	☐ 11	Tiles	☐ 10	Concrete or slate	☐ 20	Timber	☒ 40
Brick (veneer)	☐ 12	Concrete or slate	☐ 20	Timber	☒ 40	Steel	☐ 60
Concrete or stone	☐ 20	Fibre cement	☐ 30	Other	☐ 80	Aluminium	☐ 70
Fibre cement	☐ 30	Steel	☒ 60	Not specified	☐ 90	Other	☐ 80
Timber	☒ 40	Aluminium	☐ 70			Not specified	☐ 90
Curtain glass	☐ 50	Other	☐ 80				
Steel	☐ 60	Not specified	☐ 90				
Aluminium	☐ 70						
Other	☐ 80						
Not specified	☐ 90						



OFFICE OF FAIR TRADING

NSW Consumer Protection Agency

Department of Commerce

HOME BUILDING ACT 1989

OWNER BUILDER PERMIT

**DARYL JOHNSON
12 NORTH AVALON ROAD
NORTH AVALON 2107**

**Permit :261190P
Receipt:AA1760984**

**Issued:02/07/2003
Amount:\$126.00**

Building Site:

LOT 13, 12 NORTH AVALON ROAD, NORTH AVALON 2107

Authorised Building Work:

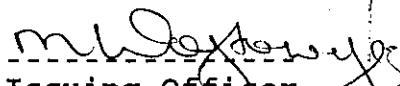
**N022/03-ADD FL/2BD/LOUNGE/KIT/LAUNDRY/SHED/110SQ
BUILDING WORK AS PER BA NO.
ISSUED BY PITTWATER COUNCIL**

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$12,000. A certificate of insurance must be attached to any contract for sale.

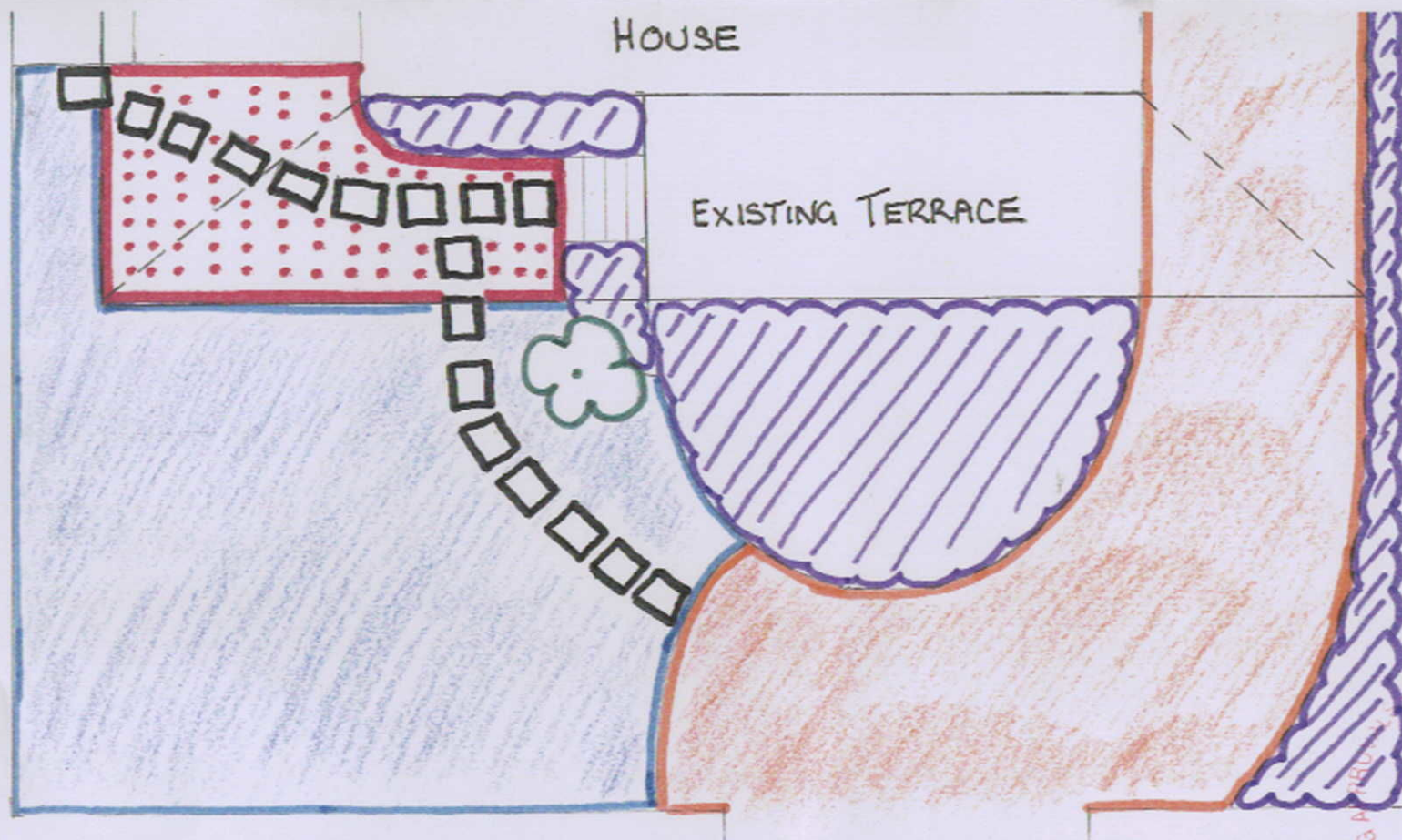
You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.

If payment is made by cheque, the permit is conditional on the cheque being met at presentation.


Issuing Officer

******* END OF PERMIT *******



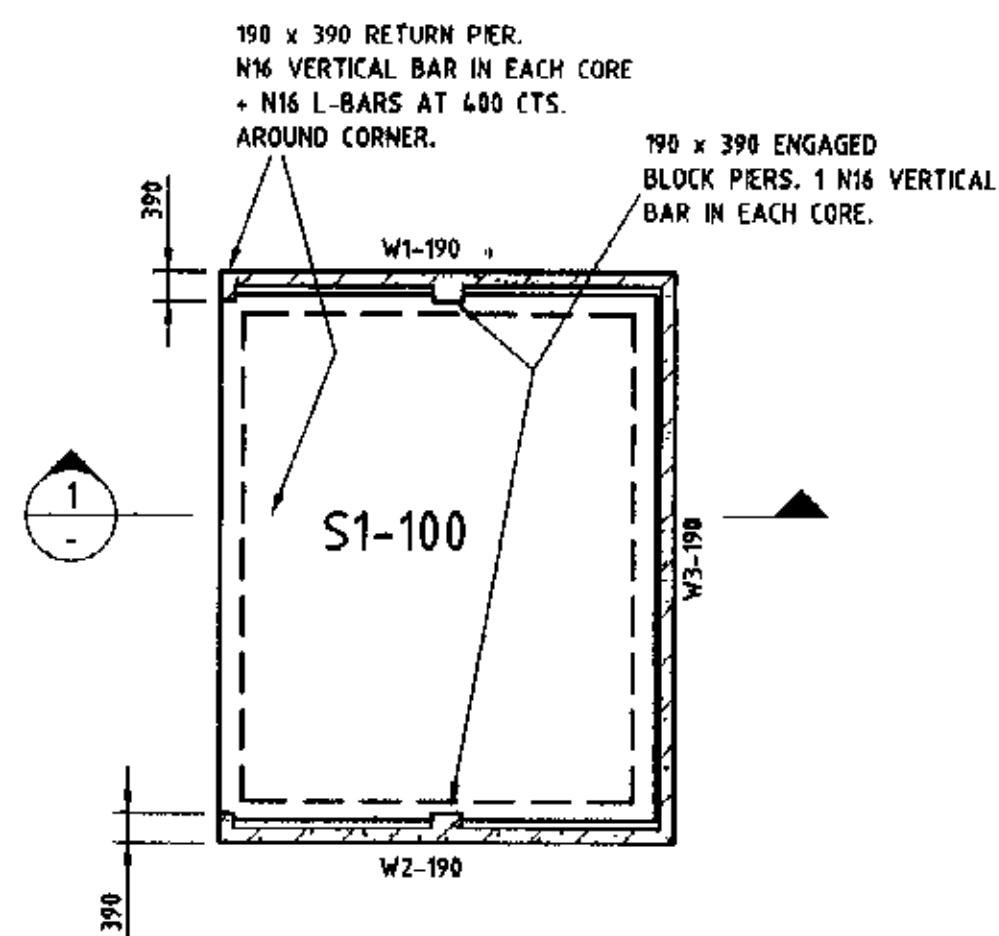
LEGEND:

-  EXISTING TREES TO BE RETAINED
-  EXISTING GARDENS TO BE RETAINED
-  PAVERS 600x600 CONCRETE
-  PEBBLED UNDERCOVER AREA (NAPARRA RIVER PEBBLES)
-  PAVED DRIVEWAY
-  GRASSED AREA (soft tip Buffalo)

Peter Miller
Landscape Services
Lic No 1643C

DATE 20/06/03.

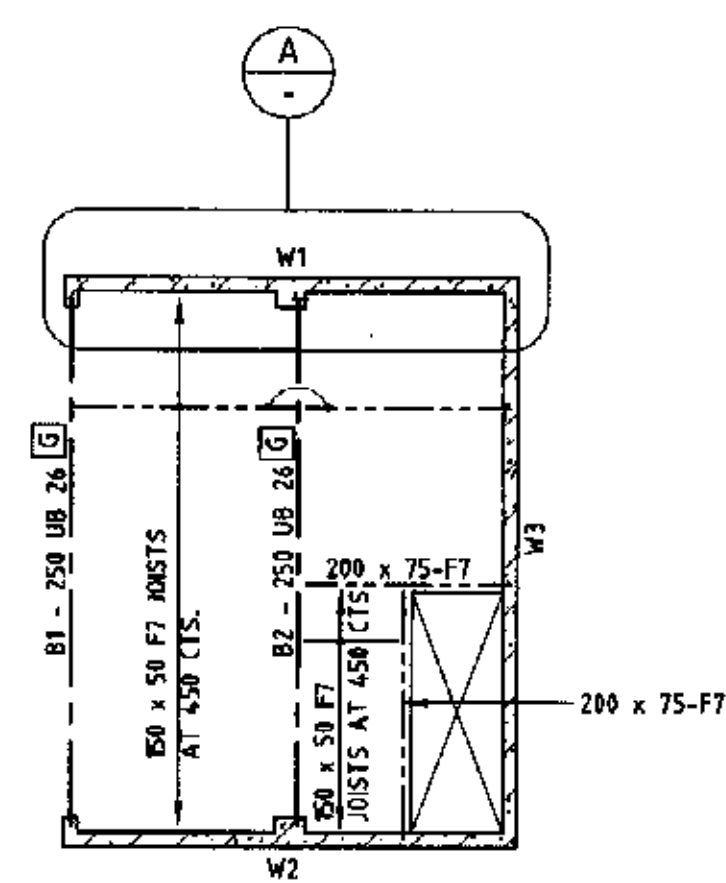
SCALE 1:100



STORE SLAB PLAN.

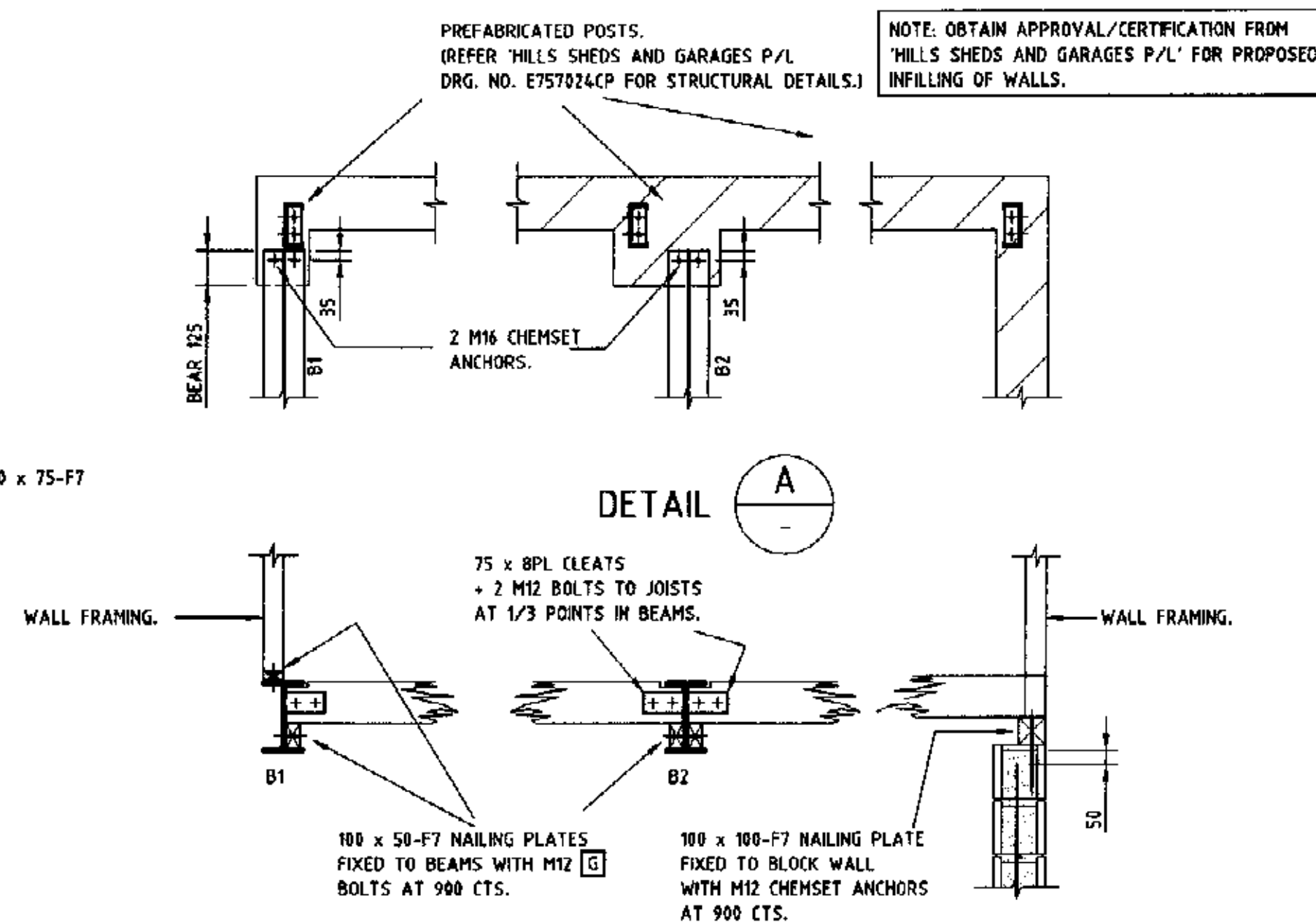
DESIGN LIVE LOAD 3.0 kPa.

POUR SLAB ON 75MM DRAINAGE LAYER CONSISTING OF 10MM NOMINAL SINGLE SIZED AGGREGATE TOPPED WITH A 0.2MM POLYTHENE MEMBRANE.

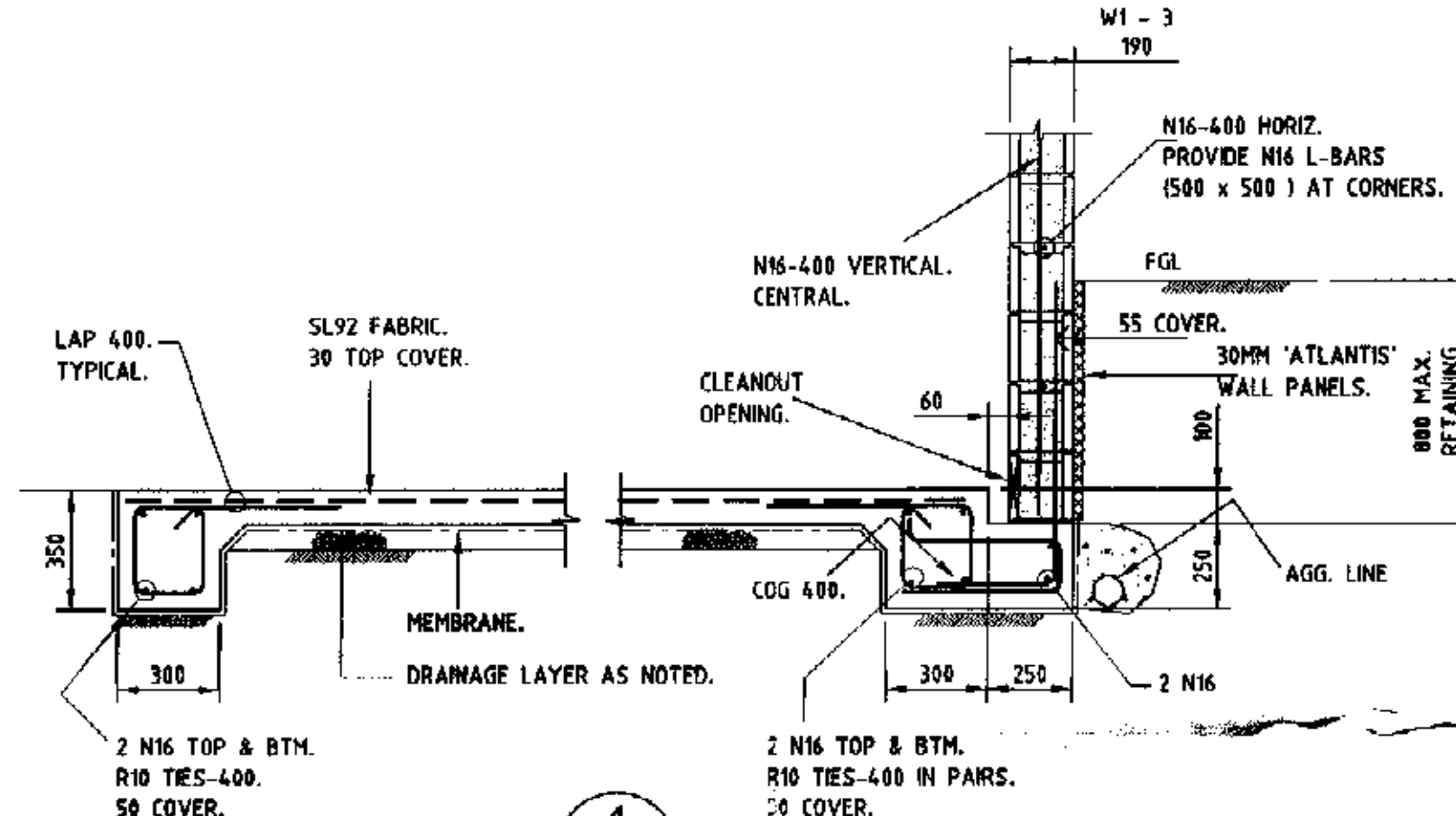


WORKSHOP FLOOR PLAN.

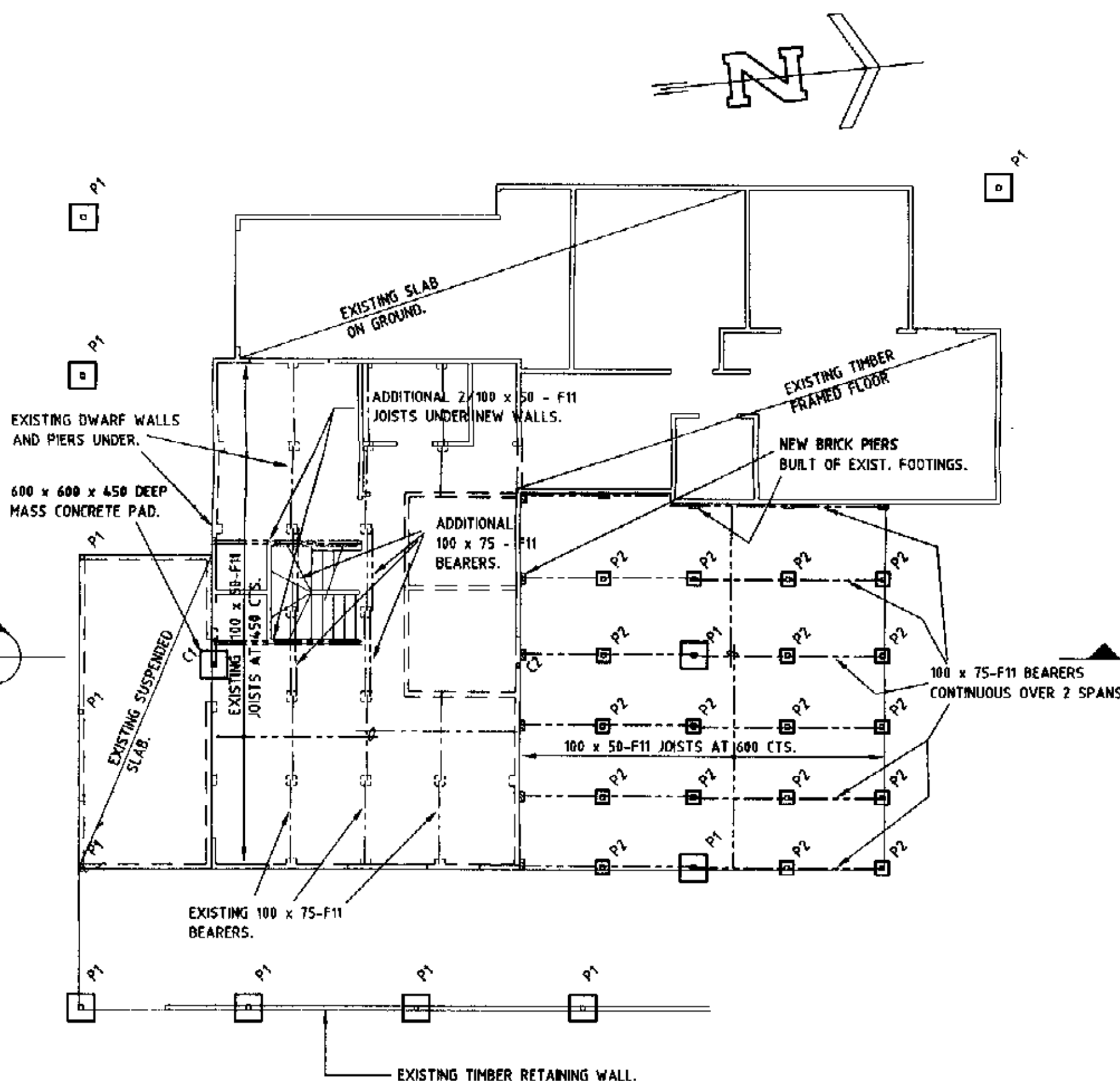
DESIGN LIVE LOAD 1.5 kPa.



DETAIL A



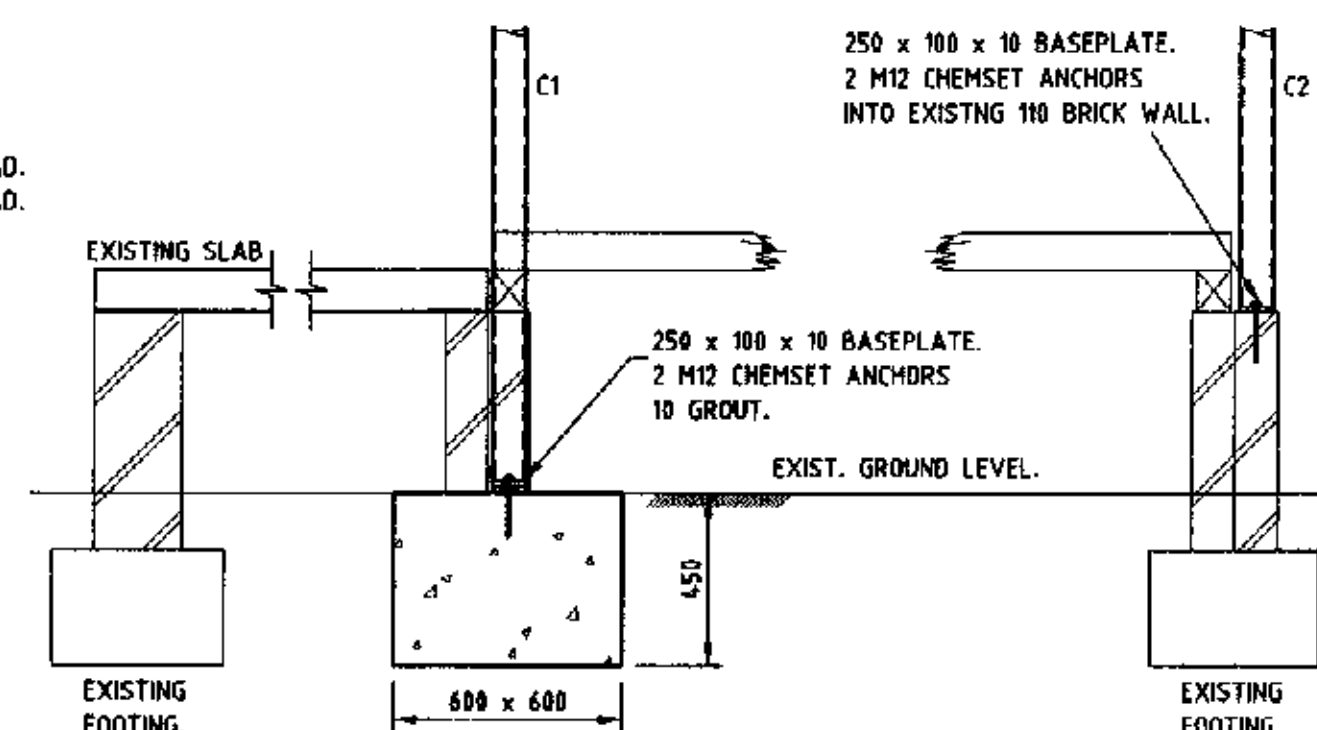
SECTION 1



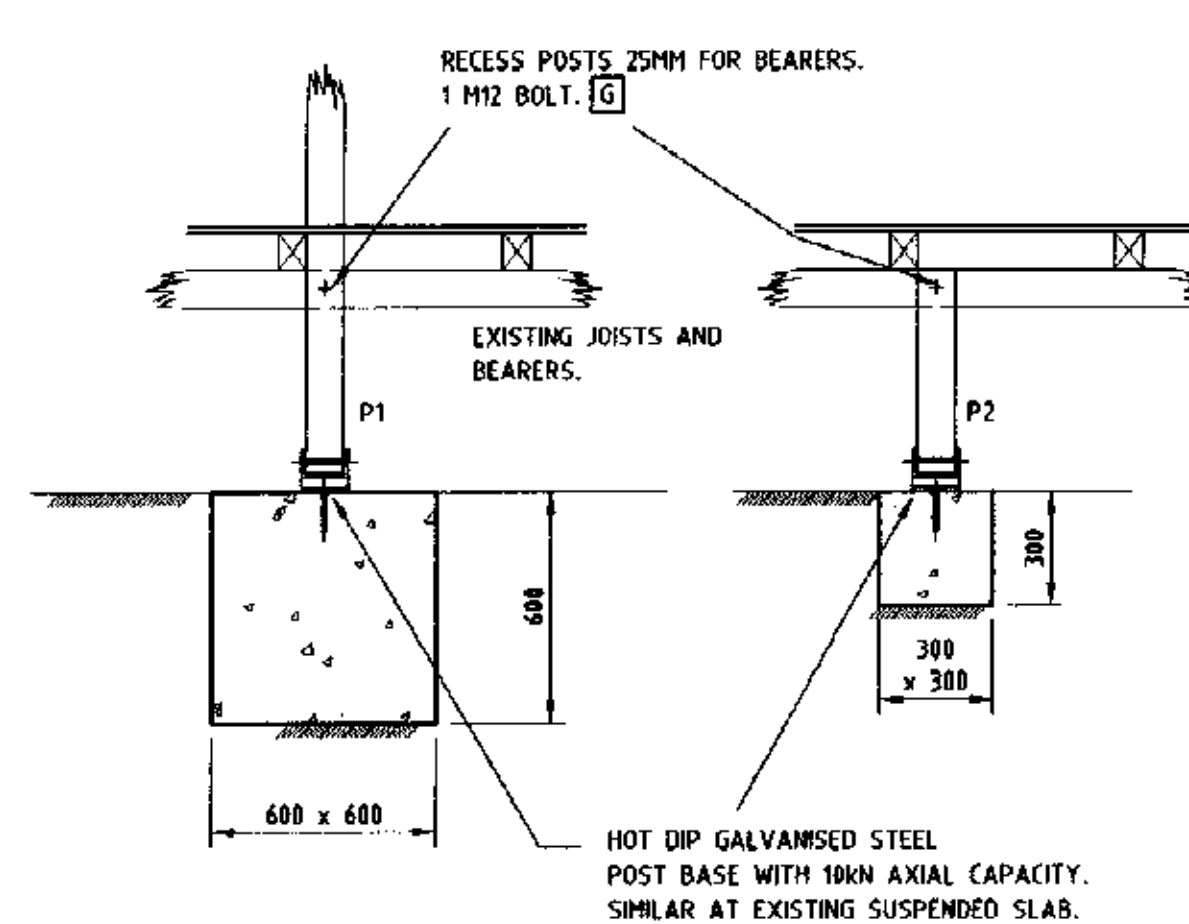
FOOTING/GROUND FLOOR PLAN.

DESIGN LIVE LOAD 1.5 kPa.

POSTS/PADS
P1 100 x 100 - F11 ON 600 x 600 x 600 DEEP MASS CONCRETE PAD.
P2 100 x 100 - F11 ON 300 x 300 x 300 DEEP MASS CONCRETE PAD.



SECTION 2

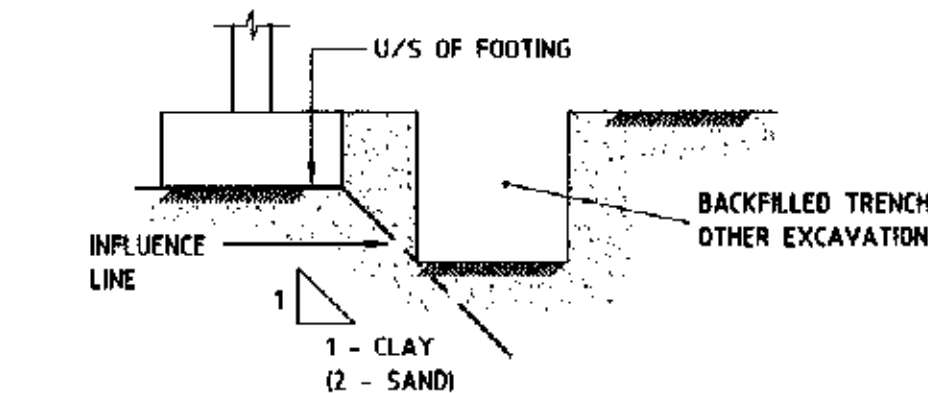


REFERENCE DRAWINGS:
FOR STRUCTURAL STEELWORK AND TIMBER FRAMING NOTES
REFER TO DRG. NO. S2.

CONCRETE QUALITY				
ELEMENT	Strength Grade	Slump mm	Max. Agg. mm	Cement type
FOOTINGS	M25	80	20	GP
STORE SLAB	M32	80	20	GP

FOUNDATION NOTES

- F1 UNLESS NOTED FOOTINGS SHALL BEAR UPON NATURAL GROUND WITH A MINIMUM SAFE BEARING CAPACITY OF 100 kPa.
- F2 FOUNDATION MATERIAL SHALL BE APPROVED BY THE SUPERINTENDENT BEFORE COMMENCING FOOTING CONSTRUCTION.
- F3 FOOTINGS SHALL BE LOCATED CENTRAL UNDER WALLS AND COLUMNS UNLESS NOTED OTHERWISE.
- F4 UNLESS OTHERWISE APPROVED, EXCAVATIONS NEAR NEW OR EXISTING FOOTINGS SHALL NOT BE WITHIN THE FOOTING INFLUENCE LINE.



MASONRY NOTES

- M1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3700 AND CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY CONTRACT DOCUMENTS.
- M2 CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH OF BRICK (f_{uc}) = 15 MPa.
MORTAR TYPE: CEMENT 1, LIME 1, SAND 6.
- M3 CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH OF BLOCKWORK (f_{uc}) = 15 MPa.
MORTAR TYPE: CEMENT 1, LIME 0.5, SAND 4.5.
- M4 UNLESS NOTED OTHERWISE MASONRY WALLS BUILT AGAINST STEEL OR CONCRETE COLUMNS, WALLS OR BEAMS SHALL BE FIXED TO THOSE ELEMENTS USING 50 mm WIDE x 1.5 mm THICK WITH 50 mm UPTURN GALVANISED STEEL WALL TIES AT 600 mm MAXIMUM CENTRES, POWER FIXED WITH 3.8 DIA. DRIVE PINS. EMBED EACH TIE A MINIMUM OF 150 mm INTO COURSEWORK OF HOLLOW BLOCKWORK, 300 INTO SOLID BLOCK WORK AND BRICKWORK.
- M5 CAVITY AND VENER TIES TO BE TYPE A, MEDIUM DUTY, SPACED AT 600mm MAX CTS (VERTICAL AND HORIZONTAL). ADJACENT TO COLUMNS, CROSS WALLS, CONTROL JOINTS AND AROUND THE PERIMETER OF OPENINGS. PROVIDE WALL TIES AT 300mm MAX CTS.
- M6 CAVITIES IN BRICKWORK SHALL BE FILLED WITH MORTAR TO FINISH GROUND LEVEL PRIOR TO BACKFILLING AGAINST WALL. BACKFILLING AND COMPACTION OF FILL MATERIAL AGAINST BRICK WALLS SHALL BE CARRIED OUT SIMULTANEOUSLY ON EACH SIDE OF THE WALL.
- M7 CHASES AND RECESSES IN LOAD-BEARING MASONRY SHALL NOT BE MADE WITHOUT THE APPROVAL OF THE SUPERINTENDENT.
- M8 NON LOAD-BEARING MASONRY WALLS SHALL STOP 15 mm BELOW THE UNDERSIDE OF SLABS AND BEAMS.
- M9 REINFORCED CONCRETE BLOCK WALLS SHALL COMPLY WITH THE FOLLOWING:
 1. ALL BLOCKS SHALL BE DOUBLE BLOCKS WITH SHALLOW TOP GROOVES FOR REINFORCEMENT.
 2. ALL MORTAR DAGS SHALL BE REMOVED BEFORE FILLING CORES WITH GROUT. PROVIDE CLEAN OUT HOLES AT THE BASE OF ALL WALLS AND EACH POUR BREAK.
 3. FILL ALL CORES WITH GROUT OF f_{c} 20 MPa SLUMP 230. 10 mm AGGREGATE SIZE. MINIMUM CEMENT CONTENT = 300kg/m³.
 4. ALL PERPENDS, EXCEPT WHERE REQUIRED FOR WEEPHOLES SHALL BE FULLY FILLED WITH MORTAR.
 5. CORE GROUT IS TO BE COMPACTED TO ENSURE COMPLETE FILLING OF ALL CORES.
 6. PROVIDE TEMPORARY PROPPING TO WALLS WHERE REQUIRED FOR STABILITY DURING CONSTRUCTION.
 7. STARTER BARS SHALL BE ACCURATELY POSITIONED BY TEMPLATES OR SIMILAR MEANS.
 8. STARTER BARS SHALL BE TIED TO VERTICAL WALL BARS THROUGH INSPECTION OPENINGS AT THE BASE OF THE WALL AND ALSO ACCURATELY FIXED IN POSITION AT THE TOP BY AN APPROPRIATE METHOD.
 9. REINFORCEMENT SHALL BE ACCURATELY PLACED AND FIRMLY HELD IN POSITION TO A TOLERANCE OF ± 10 mm.

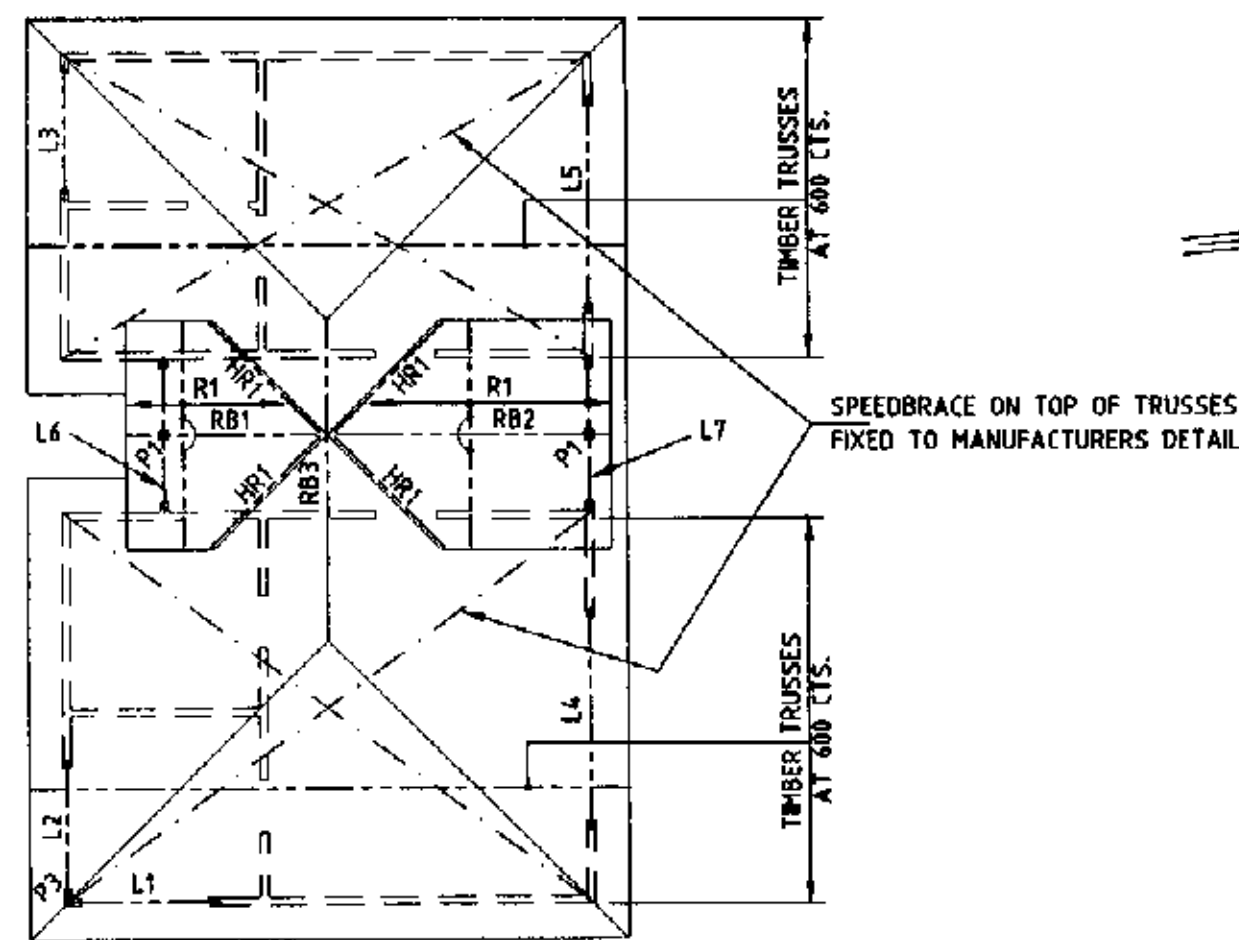
GENERAL NOTES

- G1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS, SPECIFICATIONS AND AS1100 TECHNICAL DRAWING.
- G2 ANY DISCREPANCIES SHALL BE REFERRED TO THE SUPERINTENDENT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G3 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- G4 ANY SETTING OUT DIMENSIONS SHOWN ON THE DRAWING SHALL BE VERIFIED BY THE BUILDER.
- G5 DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE STRUCTURE IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- G6 ALL WORK SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA, CONDITIONS OF THE DEVELOPMENT CONSENT AND RELEVANT AUSTRALIAN STANDARD CODES.

CONCRETE NOTES

- C1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- C2 CONCRETE QUALITY - AS NOTED ON THE DRAWINGS. PROJECT ASSESSMENT OF STRENGTH GRADE SHALL BE USED.
- C3 CLEAR COVER OF REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS. REINFORCEMENT SHALL BE RIGIDLY SUPPORTED TO MAINTAIN SPECIFIED COVER DURING CONSTRUCTION.
- C4 SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISH.
- C5 CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE SUPERINTENDENT.
- C6 BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS.
- C7 NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE SUPERINTENDENT.
- C8 CONDUITS, PIPES ETC., SHALL ONLY BE LOCATED IN THE MIDDLE ONE THIRD OF SLAB DEPTH. UNLESS NOTED OTHERWISE.
- C9 REINFORCEMENT SYMBOLS:
R - GRADE 500 PLAIN BAR IN ACCORDANCE WITH AS 1902
N - GRADE 500 DEFORMED BAR DUCTILITY CLASS N (D500N) IN ACCORDANCE WITH AS/NZS 4671 WITH A CARBON EQUIVALENT (CE) LIMIT OF 0.39 MAX.
SL - GRADE 500 SQUARE WELDED FABRIC, DEFORMED BARS DUCTILITY CLASS L (D500L) IN ACCORDANCE WITH AS/NZS 4671
RL - GRADE 500 RECTANGULAR WELDED FABRIC, DEFORMED BARS DUCTILITY CLASS L (D500L) IN ACCORDANCE WITH AS/NZS 4671
- C10 REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY; IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- C11 SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITIONS SHOWN. OBTAIN APPROVAL FROM THE SUPERINTENDENT FOR ANY OTHER SPLICES.
- C12 WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- C13 FABRIC SHALL BE LAPPED 1 MESH + 50 mm.
- C14 BUNDLED BARS SHALL BE TIED TOGETHER AT 30 BAR DIAMETERS CENTRES WITH 3 WRAPS OF TIE WIRE.
- C15 POUR COLUMNS AND WALLS A MINIMUM OF 24 HOURS PRIOR TO POURING BEAMS AND SLABS OVER.
- C16 CURE CONCRETE IN ACCORDANCE WITH AS 3600. METHOD OF CURING SHALL BE SUBMITTED TO THE SUPERINTENDENT FOR APPROVAL.
- C17 MASONRY WALLS SHALL NOT BE CONSTRUCTED ON SUSPENDED CONCRETE UNTIL ALL TEMPORARY SUPPORTS ARE REMOVED.
- C18 WHERE SLABS OR BEAMS BEAR UPON MASONRY OTHER THAN REINFORCED BLOCK WALLS - THE TOP COURSE SHALL BE LEVEL, SMOOTH AND COVERED BY TWO LAYERS OF GALVANISED FLAT STEEL WITH GRAPHITE GREASE BETWEEN LAYERS.

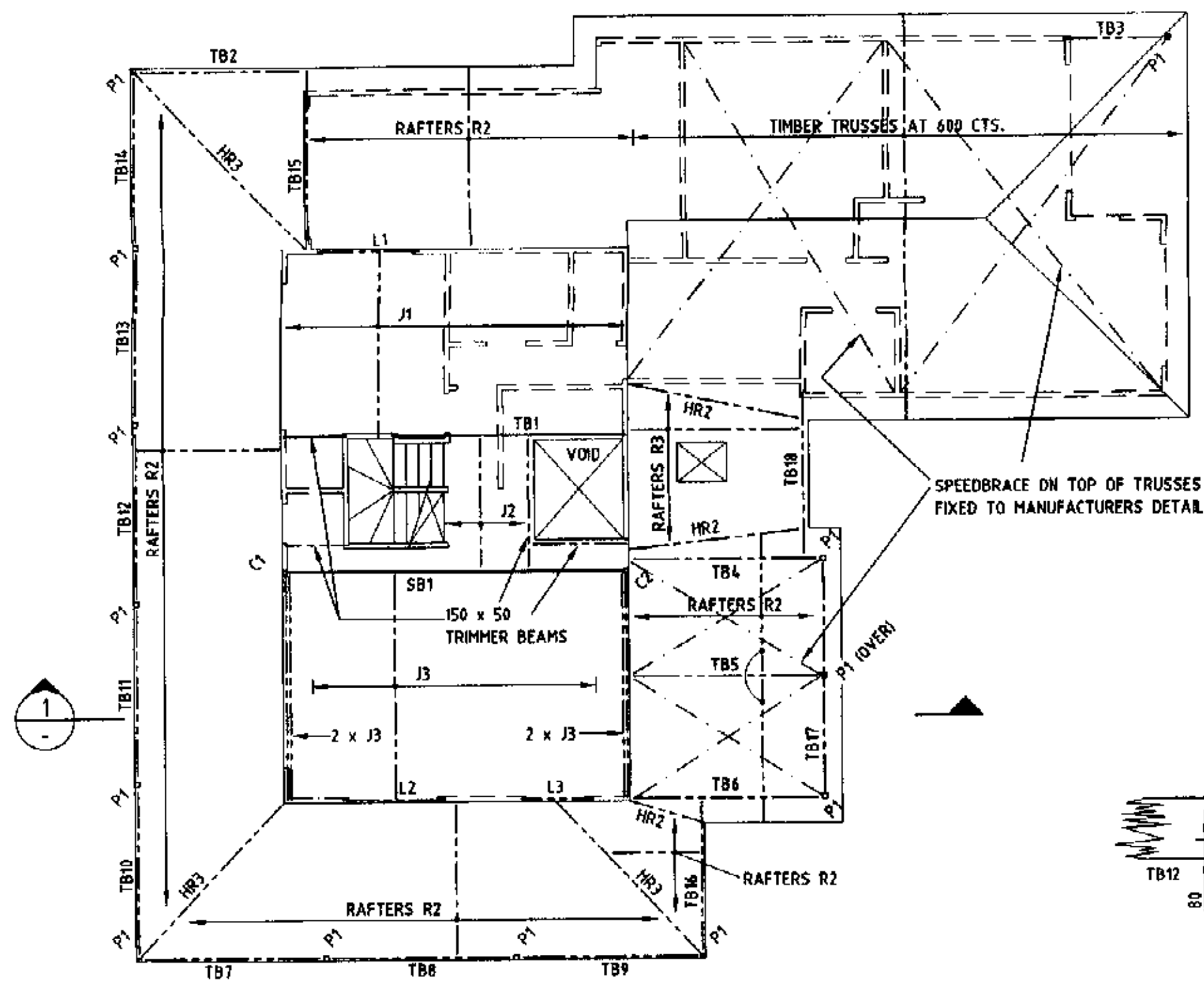
No. Date		Description		Ver.	Appr.
Amendment					
Woolacotts. Consulting Engineers Woolacotts Hilda Carlett & Jandris Consulting Engineers Pty Ltd A.C.N. 002 761 820 24 Brougham Rd. Artarmon 2064. Telephone (02) 9413 1399 Facsimile (02) 9413 1132 E-mail: o@woolacotts.com.au					
This drawing is Copyright and must not be used, reproduced or copied wholly or in part without written permission of Woolacotts Hilda Carlett & Jandris Consulting Engineers Pty Ltd.					
Project PROPOSED ALTERATIONS AT 12 NORTH AVALON ROAD, NORTH AVALON FOR MR & MRS JOHNSON					
Architect Peter Dawnes Designs 115 Palmgrove Rd. Avalon NSW Ph 9973 3312					
Drawing title FOOTING, GROUND FLOOR, STORE AND WORKSHOP PLANS & DETAILS.					
Approved	Prepared	Date	Scale		
16/1/03	16/1/03	July 2003.	1:100, 1:20.		
Job number	Drawing number	Amendment			
114-03	S1				



UPPER ROOF PLAN.

PREFIX ALL MARKS 'UR' FOR LEVEL IDENTIFICATION EG. 'URL' ETC.

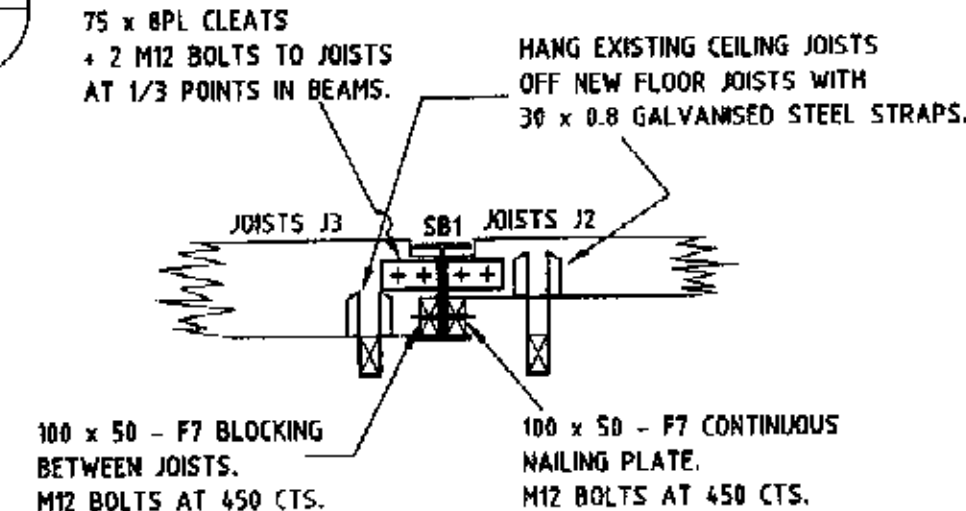
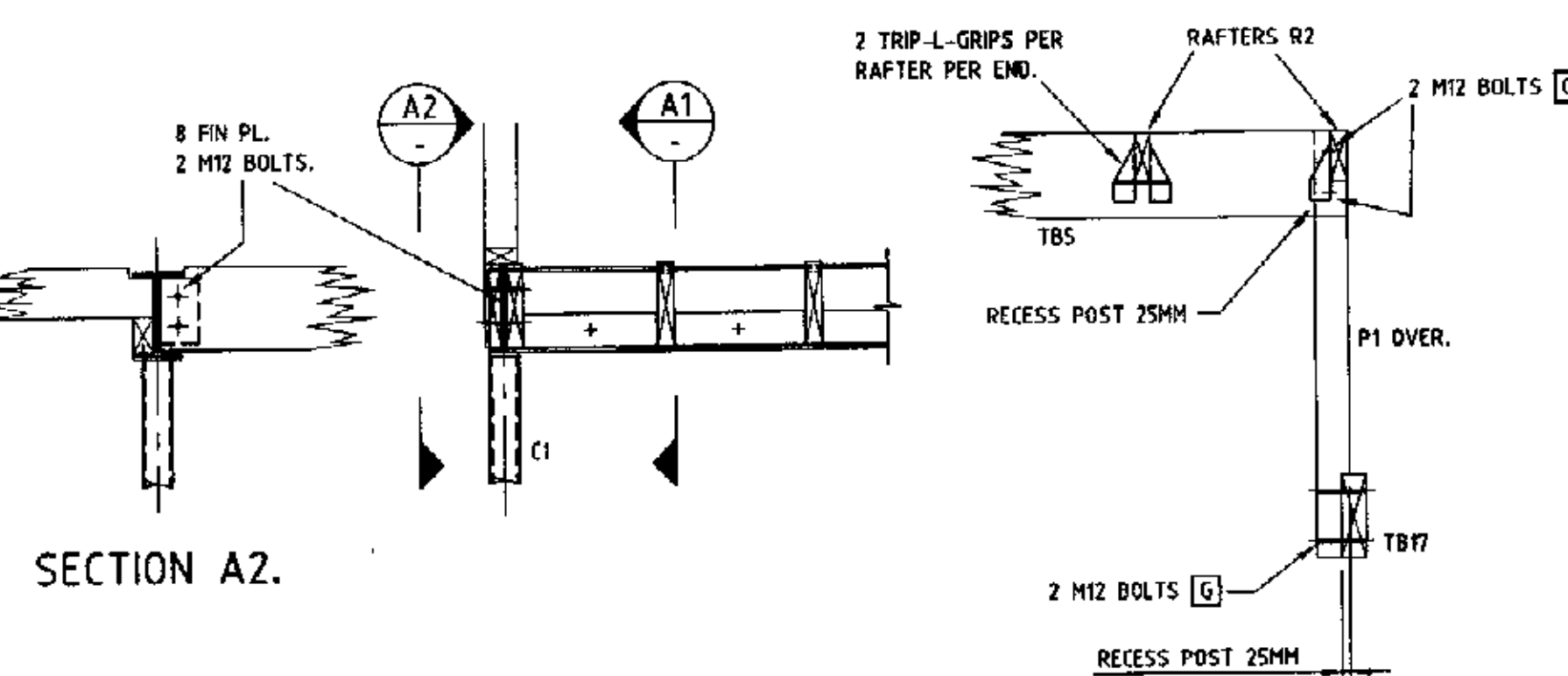
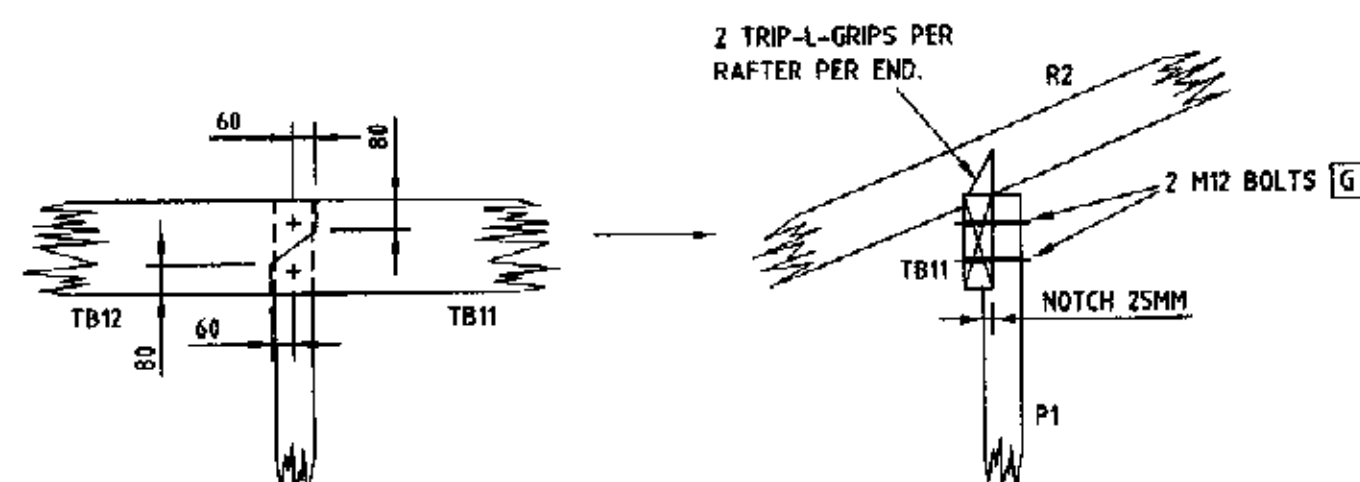
MEMBER SIZES	
POSTS P1 TO P3	100 x 100 - F7
BEAMS RB1 TO 3	175 x 75 - F7
RAFTERS R1	100x 50 - F7 AT 600 CTS.
HIP RAFTERS HR1	150 x 38 - F7
LINTELS L1 TO 3,6,7	150 x 50 - F7
L4, 5	250 x 50 - F7



FIRST FLOOR/LOWER ROOF PLAN.

PREFIX ALL MARKS 'F' FOR LEVEL IDENTIFICATION EG. 'F1B2' ETC.

STEEL MEMBERS	
COLUMNS C1, 2	90 x 90 x 4 SHS [G]
STEEL BEAM SB1	250 UB 31
TIMBER MEMBERS	
POSTS P1	100 x 100 - F11
RAFTERS R2	150 x 50 - F7 AT 600 CTS.
R3	200 x 50 - F7 AT 900 CTS.
HIP RAFTERS HR2	200 x 38 - F7
HR3	250 x 38 - F7
TIMBER BEAMS TB1	200 x 75 - F7
TB2, 4, 6 TO 16, 18	250 x 50 - F7
TB3	150 x 50 - F7
TB5	250 x 50 - F7
TB7	300 x 75 - F7
JOISTS J1	200 x 50 - F7
J2	150 x 50 - F7
J3	250 x 50 - F7
LINTELS L1, L2	175 x 50 - F7
L3	150 x 50 - F7



SECTION A1.

REFERENCE DRAWINGS:

FOR GENERAL NOTES REFER TO DRG. NO. S1.

TIMBER FRAMING NOTES

- TF1 ALL DESIGN, WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 1684 AND AS 1720 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- TF2 TIMBER SIZES, WALL BRACING AND CONNECTION DETAILS WHERE NOT SHOWN ON DRAWINGS SHALL BE IN ACCORDANCE WITH AS 1684.
- TF3 ROOF BRACING AND ANCHOR DETAILS WHERE NOT SHOWN ON DRAWINGS SHALL BE IN ACCORDANCE WITH AS 1684.
- TF4 ALL TIMBER MEMBERS SUBJECT TO WEATHER EXPOSURE SHALL BE DURABILITY CLASS 1 IN ACCORDANCE WITH THE NSW TIMBER MARKETING ACT (1977) OR HAZARD LEVEL H3 FOR TREATED TIMBERS IN ACCORDANCE WITH AS1604.

TIMBER TRUSS NOTES

- T1 ALL DESIGN, WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 1720 CURRENT EDITION WITH AMENDMENTS EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- T2 TRUSSES SHALL BE CAMBERED AN AMOUNT EQUAL TO THE DEAD LOAD DEFLECTION.
- T3 TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING VERTICAL LOADS, IN ADDITION TO THEIR SELF-WEIGHT.
- ROOF 0.15 kPa.
- CEILING 0.15 kPa.
- LIVE LOAD TO BE IN ACCORDANCE WITH AS 1170
- T4 TRUSSES SHALL BE DESIGNED FOR WIND LOADS BASED UPON AS 1170 GIVEN THE FOLLOWING CONDITIONS:
- REGIONAL WIND SPEED (V_R) 45M/S
- WIND REGION A2
- TERRAIN CATEGORY 3
- TOPOGRAPHIC MULTIPLIER = 1.0
- SHIELDING MULTIPLIER = 1.0
- T5 A CERTIFICATE OF STRUCTURAL ADEQUACY, PREPARED BY A STRUCTURAL ENGINEER REGISTERED ON THE NATIONAL PROFESSIONAL ENGINEERS REGISTER (NPER), IS TO BE SUBMITTED TO THE SUPERINTENDENT FOR APPROVAL. THE CERTIFICATE IS TO STATE THE ROOF HAS BEEN DESIGNED IN ACCORDANCE WITH AS 1720 TO SATISFY THE DESIGN LOADS NOMINATED AND THE REQUIREMENTS OF AS 1170 AND THE B.C.A.
- T6 ALL ROOF BRACING AND ANCHOR DETAILS FOR TRUSSES TO BE SHOWN ON TRUSS LAYOUT DRAWINGS SUPPLIED BY THE TRUSS MANUFACTURER.
- T7 SUBMIT DRAWINGS TO THE SUPERINTENDENT FOR APPROVAL SHOWING THE ROOF LAYOUT AND DETAILS.

STRUCTURAL STEELWORK NOTES

- S1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 4100 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- S2 SHOP DRAWINGS
SHOP DRAWINGS SHALL USE OR REFERENCE ALL MEMBER MARKS SHOWN ON THE STRUCTURAL DRAWINGS.
- S3 STEEL QUALITY
ALL STEELWORK SHALL BE GRADE 250 UNLESS NOTED.
ROLLED SECTIONS (UB, UC, PFC, EA etc) SHALL BE GRADE BHP-300PLUS.
RECTANGULAR HOLLOW SECTIONS SHALL BE GRADE 350 UNLESS NOTED.
COLD FORMED PUURLIN AND GIRT SECTIONS SHALL BE IN ACCORDANCE WITH AS1937 AND AS1538, AND BE EQUIVALENT TO BHP GALVSPAN, COATING CLASS Z350.
- S4 WELDING
ALL WELDING SHALL BE IN ACCORDANCE WITH AS 1554.
UNLESS NOTED ALL CONNECTIONS BETWEEN MEMBERS SHALL BE 6 mm CONTINUOUS FILLET WELD TYPE G.P.
BUTT WELDS SHALL BE COMPLETE PENETRATION TYPE SP.
WELDING SYMBOLS ON DRAWINGS ARE IN ACCORDANCE WITH AS 1101 PART 3.
- S5 BOLTING
BOLTS SHALL BE M20 4.6/5 UNLESS NOTED.
MEMBERS SHALL BE CONNECTED WITH 2 BOLTS UNLESS NOTED.
BOLTING PROCEDURES SHALL BE AS FOLLOWS:
- | BOLTING PROCEDURE | BOLT NAME | AUSTRALIAN STANDARD | INSTALLATION |
|-------------------|---------------|---------------------|-------------------|
| 4.6/5 | COMMERCIAL | AS 1111 | SHRUG TIGHTENED |
| 8.8/5 | HIGH STRENGTH | AS 1252 | SHRUG TIGHTENED |
| 8.8/TF | HIGH STRENGTH | AS 1252 | TENSIONED PROXION |
| 8.8/TB | HIGH STRENGTH | AS 1252 | TENSIONED BEARING |
- APPROVED LOAD-INDICATING WASHERS SHALL BE USED UNDER THE BOLT HEAD OF 8.8/TF AND 8.8/TB JOINTS.
- S6 HOLES IN MEMBERS FOR FIXINGS OF OTHER TRADES SHALL NOT EXCEED 14 mm DIAMETER.
- S7 PLATES
ALL PLATES SHALL BE 10 mm THICK UNLESS NOTED.
BEARING PLATE DIMENSIONS PARALLEL TO WEBS ARE GIVEN FIRST.
- S8 SURFACE TREATMENT
UNLESS NOTED ALL STEELWORK SHALL BE POWERTOOL CLEANED TO A CLASS 2 PREPARATION IN ACCORDANCE WITH AS 1627.2 AND COATED WITH A MINIMUM OF 75 MICRONS OF AN APPROVED ZINC PHOSPHATE PRIMER IN ACCORDANCE WITH AS K188.
- NO PRIMING COAT SHALL BE APPLIED TO CONTACTING SURFACES UTILISING 8.8/TF BOLTS NOR TO MEMBERS TO BE SUBSEQUENTLY CONCRETE ENCASED OR FIRE RATED.
- [Z] MEMBERS NOTED [Z] SHALL BE GIVEN A CLASS 2.5 PREPARATION IN ACCORDANCE WITH AS 1627.4 AND COATED WITH A MINIMUM OF 75 MICRONS OF AN APPROVED INORGANIC ZINC SILKATE.
- [G] MEMBERS NOTED [G] SHALL BE HOT DIP GALVANISED.
- ALL BOLTS, NUTS AND WASHERS USED IN CONNECTION OF MEMBERS NOTED [Z] OR [G] SHALL BE HOT DIP GALVANISED.
- MAKE GOOD PROTECTIVE COATINGS AT SITE WELDS AND UNCOATED STEELWORK AT T.F. BOLTED JOINTS.
- S9 STRUCTURAL STEELWORK BELOW GROUND SHALL BE CONCRETE ENCASED AND HAVE 75mm CONCRETE COVER, REINFORCED WITH GALVANISED F41 MESH WITH 40mm COVER, LAPPED 150mm AT SPLICES.

No.	Date	Description	Ver.	Appr.
Amendment				
Woolacotts. Consulting Engineers Woolacotts Hale Corlett & Jamieson Consulting Engineers Pty Ltd A.C.N. 002 791 520 2A Broughton Rd. Artarmon 2064 Telephone (02) 9413 1390 Facsimile (02) 9413 1132 E-mail office@woolacotts.com.au				
This drawing is Copyright and must not be used, reproduced or copied wholly or in part without written permission of Woolacotts Hale Corlett & Jamieson Consulting Engineers Pty. Ltd.				
Project				
PROPOSED ALTERATIONS AT 12 NORTH AVALON ROAD, NORTH AVALON FOR MR & MRS JOHNSON				
Architect Peter Downes Designs 115 Palmgrove Rd. Avalon NSW Ph 9973 3312				
Drawing title FIRST FLOOR AND UPPER ROOF PLANS AND DETAILS.				
Approved 16/10/03	Verified 16/10/03	Prepared 16/10/03	Date July 2003.	Scale 1:100, 1:20.
Job number 114-03		Drawing number S2		Amendment

DRAINAGE NOTES

D1 ALL WORKS GENERALLY SHALL BE IN ACCORDANCE WITH AS 3500.3.2

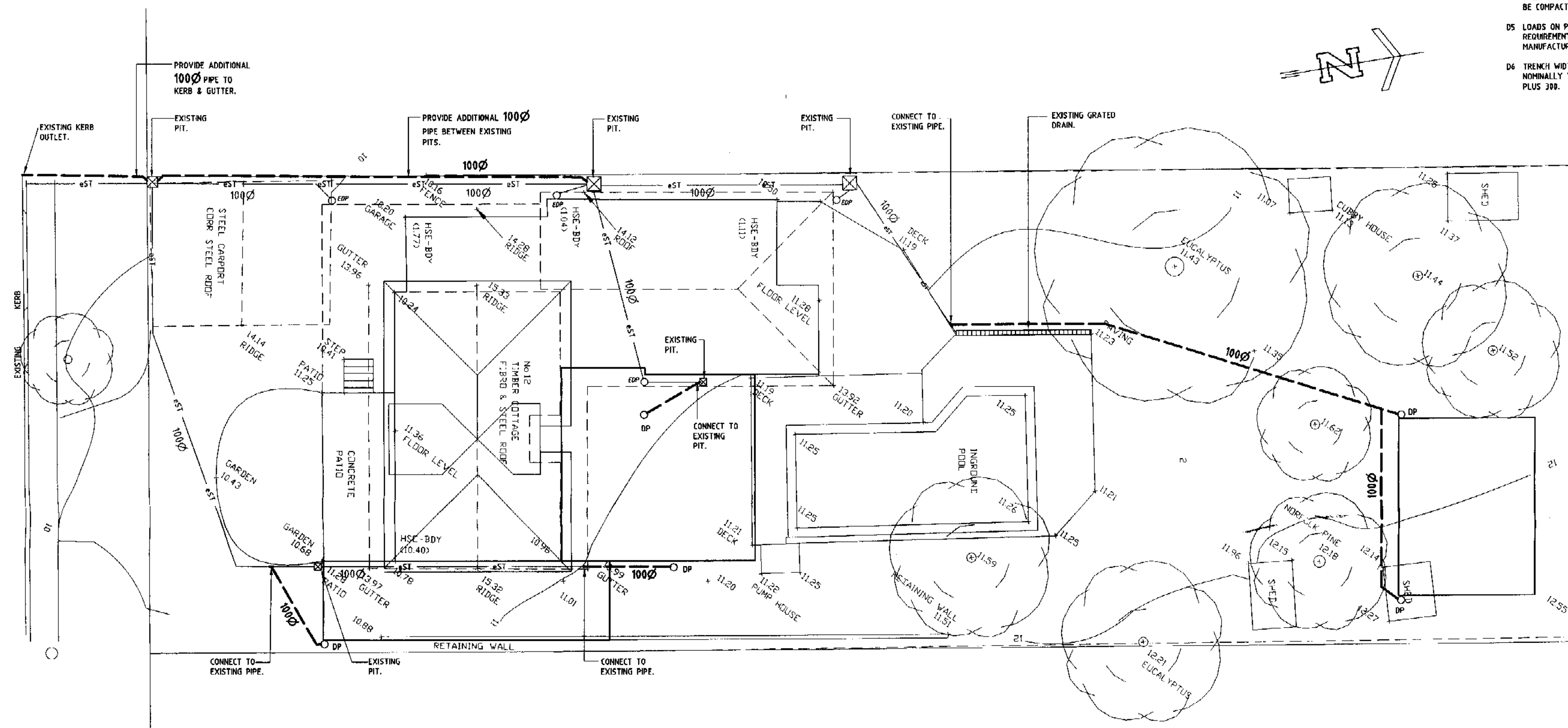
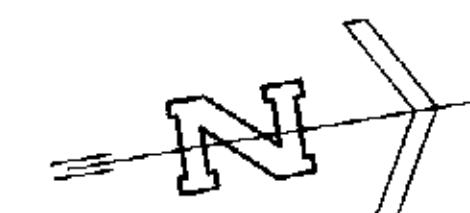
D2 FOR ALL PIPES USE
- SEWER GRADE UPVC TO AS 1260 OR
- CLASS 2 FIBRE REINFORCED CONCRETE TO AS 4139

D3 PVC PIPES SHALL BE SOLVENT WELDED. ALL OTHER PIPES SHALL BE RUBBER RING JOINTED UNLESS NOTED OTHERWISE.

D4 UNLESS SPECIFIED OTHERWISE, BED & BACKFILL SHALL BE COMPACTED SAND TO 100mm PLUS ONE THIRD PIPE DIAMETER ABOVE THE PIPE. REMAINDER OF BACKFILL SHALL BE COMPACTED EXCAVATED MATERIAL. WHEN UNDER VEHICULAR PAVEMENT, REMAINDER OF BACKFILL SHALL BE COMPACTED BASECOURSE.

D5 LOADS ON PIPES DURING CONSTRUCTION SHALL NOT EXCEED THE REQUIREMENT OF AS 3725, OR THE RECOMMENDATIONS OF THE PIPE MANUFACTURER.

D6 TRENCH WIDTHS SHALL BE IN ACCORDANCE WITH AS 3500, BUT NOMINALLY THE GREATER OF 1.5 PIPE DIAMETER OR PIPE DIAMETER PLUS 300.



LEGEND

- EXISTING STORMWATER PIT.
- NEW DOWN PIPE.
- EXISTING DOWN PIPE.
- EXISTING STORMWATER PIPE.
- NEW STORMWATER PIPE.

No.	Date	Description	Ver.	Appr.
Amendment				
Woolacotts. Consulting Engineers Woolacotts Hale Corlett & Jankis Consulting Engineers Pty Ltd A.C.N. 002 781 620 24 Broughton Rd. Artarmon NSW 2054 Telephone (02) 9413 1389 Facsimile (02) 9413 1132 E-mail office@woolacotts.com.au				
This drawing is Copyright and must not be copied, reproduced or copied wholly or in part without written permission of Woolacotts Hale Corlett & Jankis Consulting Engineers Pty Ltd.				
Project PROPOSED ALTERATIONS AT 12 NORTH AVALON ROAD, NORTH AVALON FOR MR & MRS JOHNSON				
Architect Peter Downes Designs 115 Palmgrove Rd. Avalon NSW Ph 9973 3312				
Drawing title STORMWATER DRAINAGE PLAN				
Approved 25/7/03	Verified C.M.H. 25/7/03	Prepared P.D. 25/7/03	Date JULY 2003	Scale 1:100
Job number 114-03		Drawing number C1		Amendment

5

6

14

1
CERTIFICATE

12

Accreditation No: 2603
Date: 11/2

11/08/03

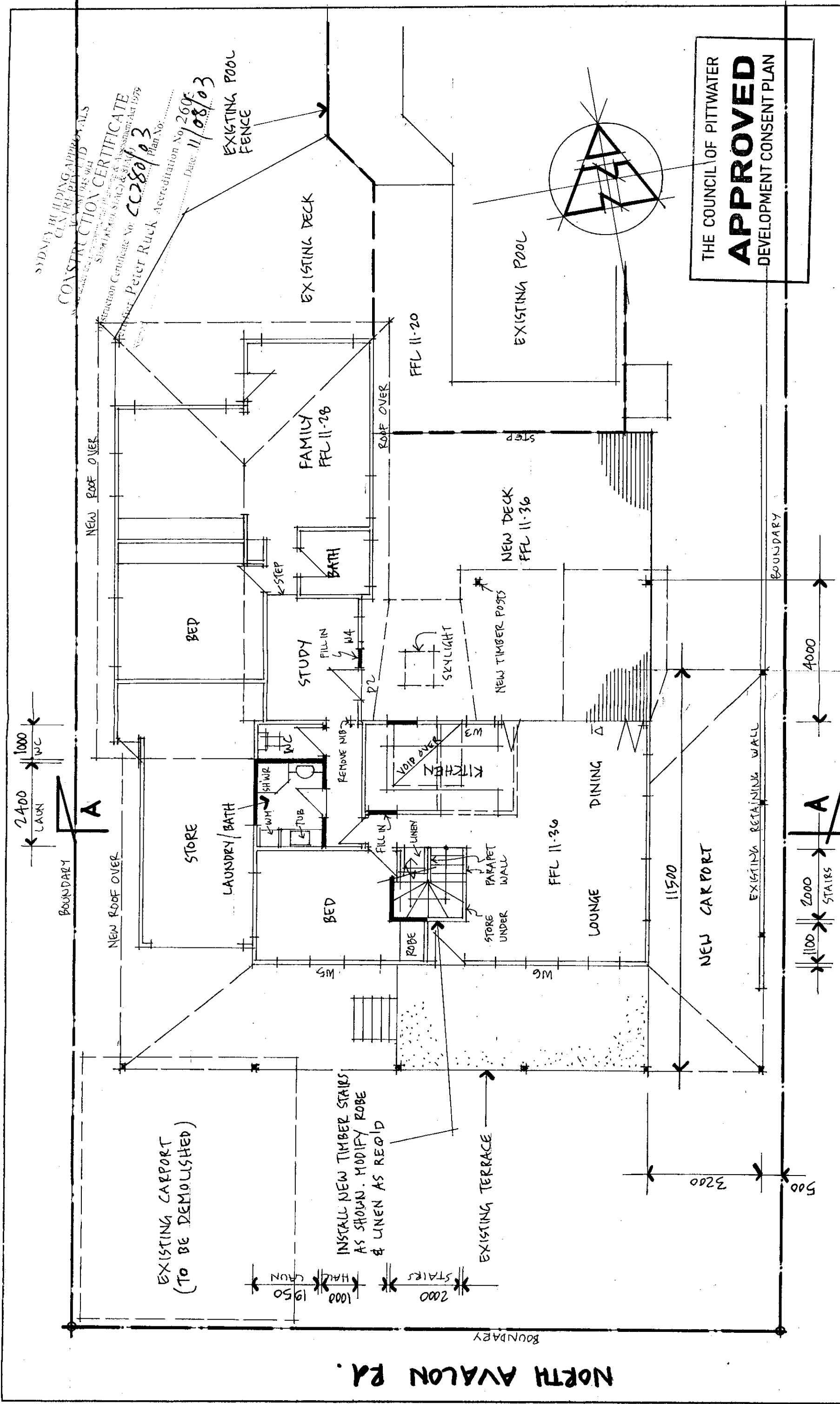
* EXISTING SHEETS TO BE DEMOLISHED

NOTE:
DEMOLISH
CARGO-T-
WITH LAND

NORTH AVALON ROAD

DATE...30/07/02 REF... 12198
SCALE...1:100 DATUM...A.H.D.

0212-01
REV 'A'



THE COUNCIL OF PITTWATER
APPROVED
DEVELOPMENT CONSENT PLAN

DRAWN	P. DOWNES	CHECKED	P. DOWNES
SCALE	1:100	DATE	3.6.2002
DRG. No.	0212-02/A		

PROJECT
PROPOSED ALTERATIONS TO EXISTING DWELLING
AT 12 NORTH AVALON RD, NORTH AVALON
FOR MR & MRS JOHNSON

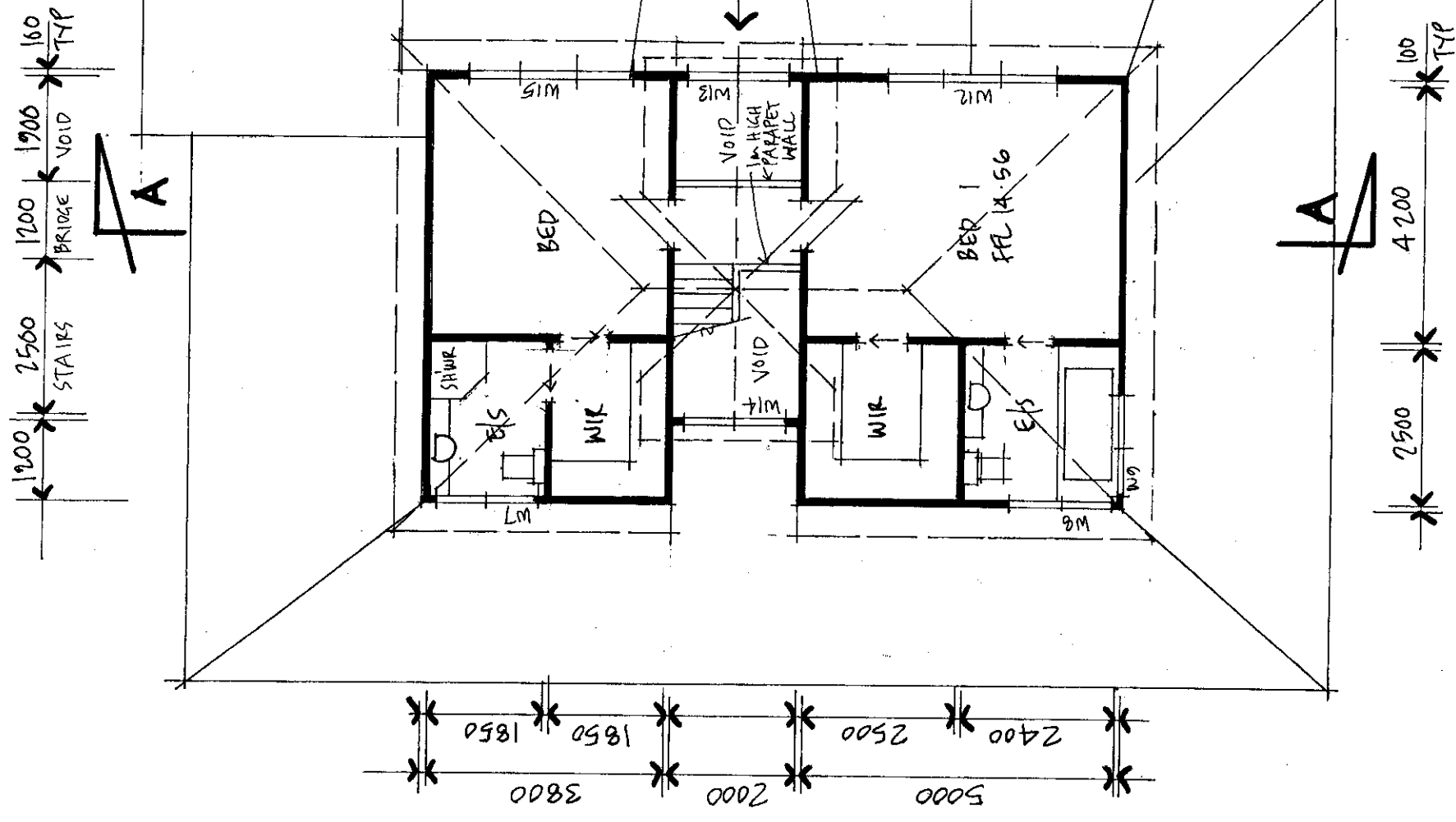
DRAWING
GROUND FLOOR

peter downes DESIGNS

address 115 Palmgrove Rd, Avalon 2107
phone 9973 3312 www.peterdownesdesigns.com.au

BD
BUILDING
DESIGNERS
ASSOCIATION
NEW SOUTH WALES INC
FULL MEMBER

REVISION	A. 20.12.2002	NEW CARPORT	Added
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STATIONER/ENGINEER/ARCHITECT
CONSTRUCTION CERTIFICATE
No. 260
11/08/03

WINDOW SCHEDULE

W1	1600w x 1200h	sliding
W2	1600w x 1200h	sliding
W3	1600w x 800h	sliding
W4	existing relocated from bathroom	
W5	2800w x 1500h	2 casement, 1 fixed
W6	2800w x 1500h	2 casement, 1 fixed
W7	1600w x 800h	2 casement
W8	1600w x 800h	2 casement
W9	1600w x 800h	2 casement
W10	not used	
W11	not used	
W12	existing relocated from kitchen	
W13	1600w x 2000h	2 louvre - fixed highlights over
W14	1600w x 2000h	2 louvre - fixed highlights over
W15	to match W12	

DOOR SCHEDULE

D1	4000w x 2100h	multi - fold
D2	existing - relocated from laundry	
D3	2400w x 2400h	solid timber "barn" doors

All windows and doors to be timber

— NEW STUD WALL

— EXISTING STUD WALL TO BE RETAINED

THE COUNCIL OF PETER DOWNES

APPROVED
DEVELOPMENT CONSENT PLAN

REVISION
A. 20.12.2002. LOWER ROOF ALTERED.

BD
BUILDING
DESIGNERS
ASSOCIATION
NEW SOUTH WALES INC
FULL MEMBER

peter downes DESIGNS
address 115 Palmgrove Rd, Avalon 2107
phone 9973 3312 www.peterdownesdesigns.com.au

PROJECT PROPOSED ALTERATIONS TO EXISTING DWELLING AT 12 NORTH AVALON RD, NORTH AVALON FOR MR & MRS JOHNSON.	DRAWING FIRST FLOOR PLAN
DRAWN P. DOWNES	CHECKED P. DOWNES
SCALE 1:100	DATE 5.8.2002
DRG. No.	0212-03/A

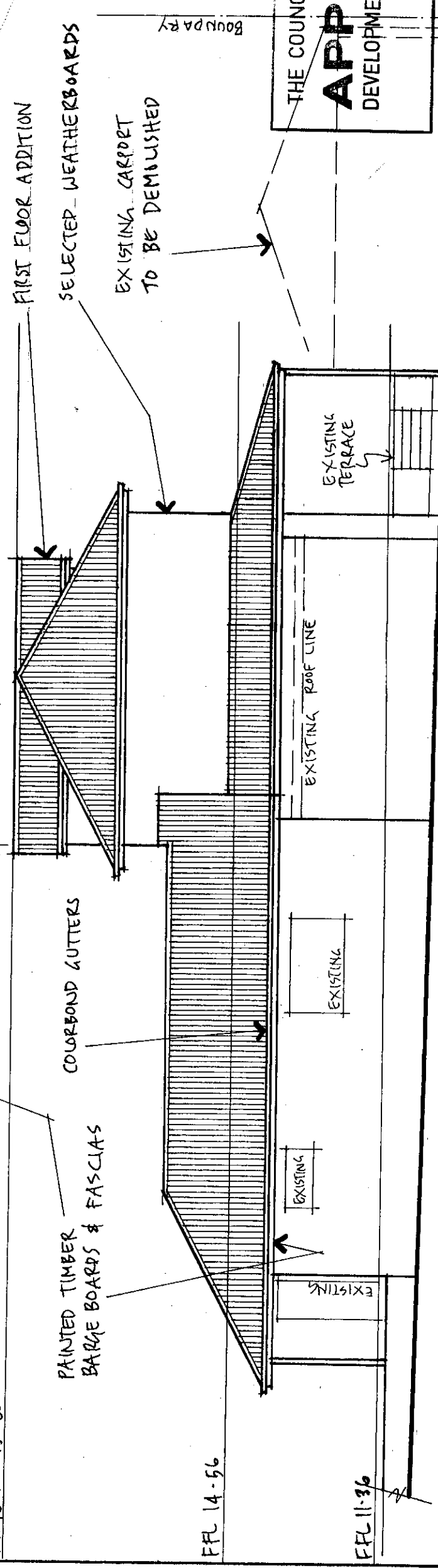
FOIL BACKED BLANKET TO BE INSTALLED UNDER ROOF CLADDING TOGETHER WITH R 3.0 INSULATION TO CEILING.

ALL NEW EXTERNAL WALLS TO BE FITTED WITH R 1.5 INSULATION

ALL DOORS AND WINDOWS TO BE FITTED WITH DRAFT SEALS.

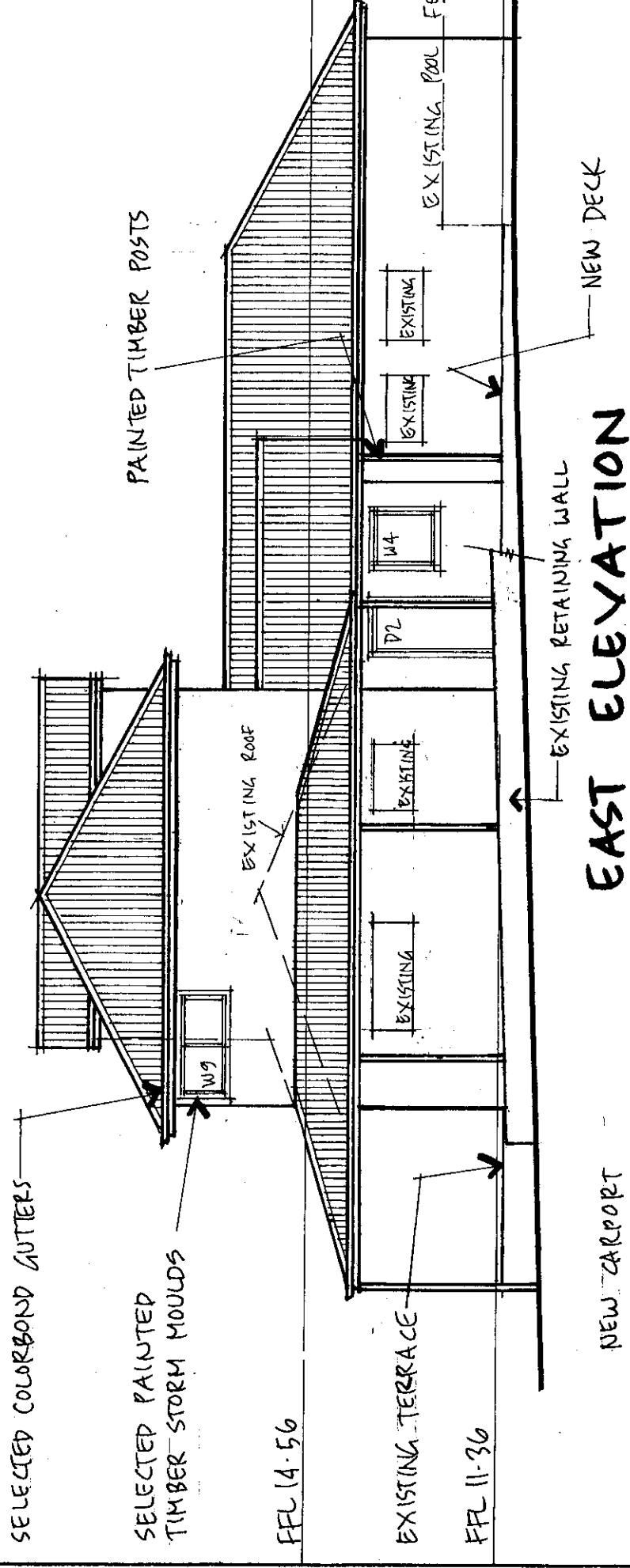
THE COUNCIL OF PITTSWATER
APPROVED
DEVELOPMENT CONSENT PLAN

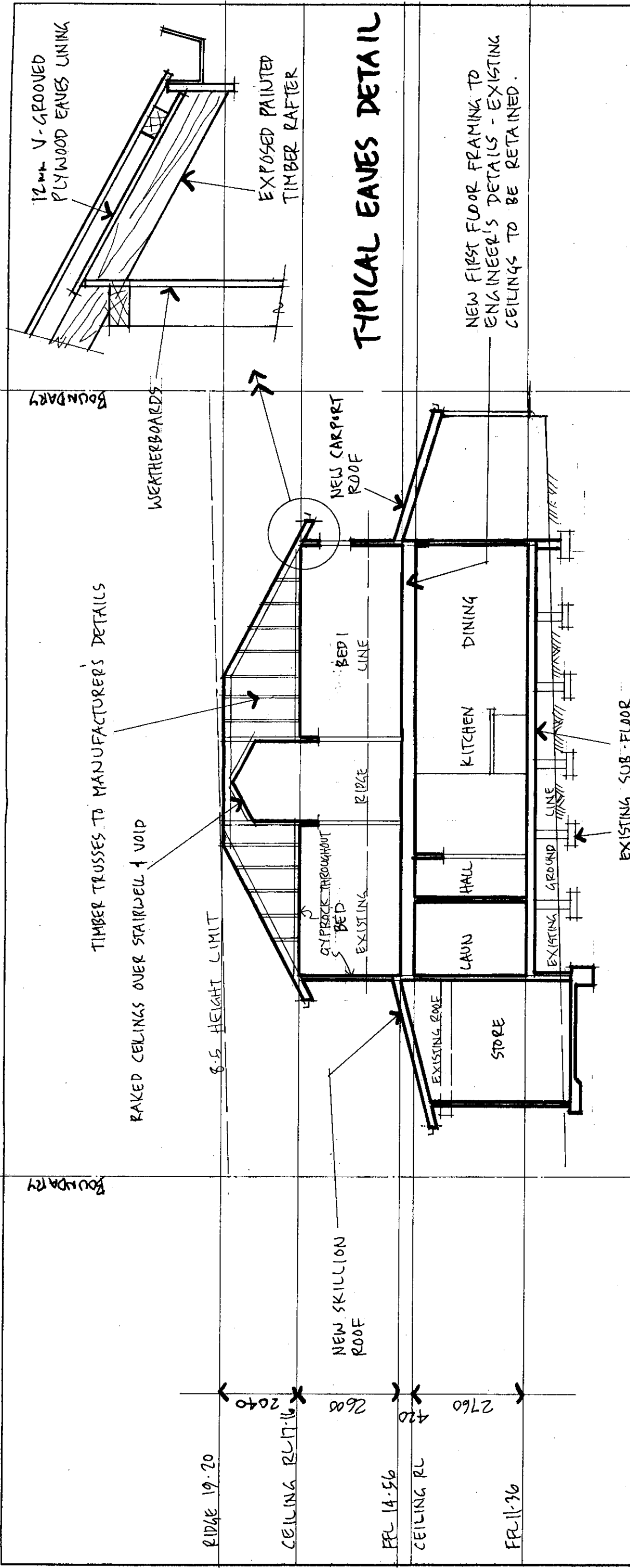
DRAWN P. DOWNES	CHECKED P. DOWNES
SCALE 1:100	DATE 5.8.2002
DRG. No. 0212-04/A	



WEST ELEVATION

DRAWN P. DOWNES	CHECKED P. DOWNES
SCALE 1:100	DATE 6-8-2002
DRG. No. 0212-05/A	



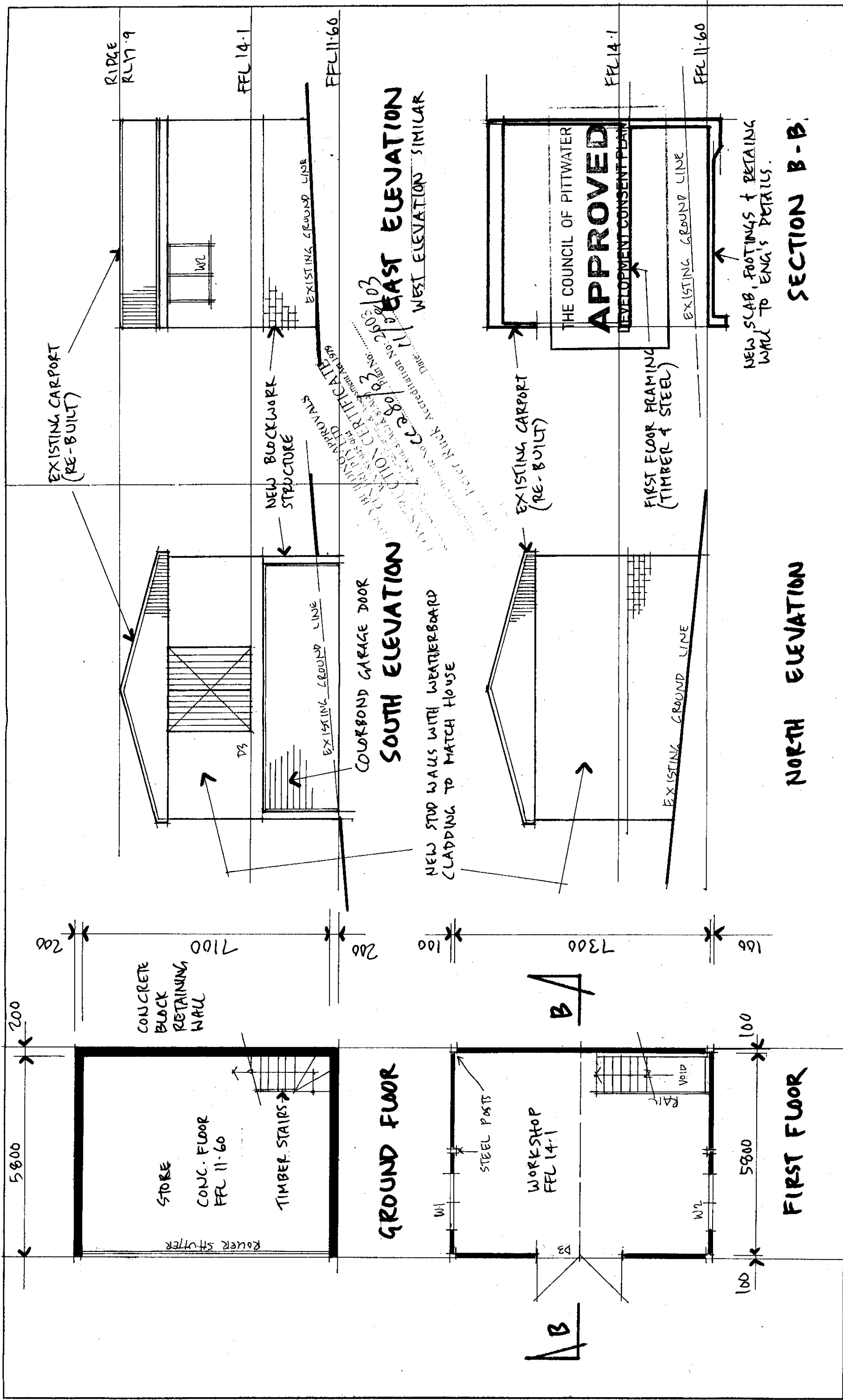


THE COUNCIL OF PITTSBURGH
APPROVED
DEVELOPMENT CONSENT PLAN

SECTION A - A

SYDNEY BUILDING APPROVALS
CENTRAL LTD
ACN 1045914
CONSTRUCTION CERTIFICATE
3
ISSUED UNDER THE SYDNEY BUILDING ACT 1979
Plan No: C280/03
Construction Certificate No: 26
Date: 11/10/03
Certifier: Peter Ruck
Signed: _____

REVISION	A. 27.12.2002 CAPP 019 APPD	 BUILDING DESIGNERS ASSOCIATION NEW SOUTH WALES INC FULL MEMBER	peter downes <i>DESIGNS</i> address 115 Palmgrove Rd, Avalon 2107 phone 9973 3312 www.peterdownesdesigns.com.au	PROJECT PROPOSED ALTERATIONS TO EXISTING DWELLING AT 12 NORTH AVALON RD, NORTH AVALON FOR MR & MRS JOHNSON DRAWING SECTION	DRAWN P. DOWNES SCALE 1:100	CHECKED P. DOWNES DATE 9.8.2002	DRG. No. 0212-06 A
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REVISION		 BUILDING DESIGNERS ASSOCIATION NEW SOUTH WALES INC FULL MEMBER		peter downes DESIGNS address 115 Palmgrove Rd, Avalon 2107 phone 9973 3312 www.peterdownesdesigns.com.au		PROJECT PROPOSED ALTERATIONS TO EXISTING DWELLING AT 12 NORTH AVALON RD, NORTH AVALON FOR MR & MRS JOHNSON DRAWING WORKSHOP / STORE		DRAWN P. DOWNES	CHECKED P. DOWNES
								SCALE 1:100	DATE 23.12.2002
								DRG. No. 0212 - 07	