

110 The Corso, Manly

Statement of Heritage Impact



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Graham Brooks & Associates Pty Ltd
 Incorporated in NSW
 Architects, Planners & Heritage Consultants
 71 York St, Level 1
 Sydney 2000 Australia
 Tel: (61) 2 9299 8600
 Fax: (61) 2 9299 8711
 Email: gbamain@gbaheritage.com
 www.gbaheritage.com
 ABN: 56 073 802 730
 ACN: 073 802 730
 Nominated Architect: Graham Leslie Brooks
 NSW Architects Registration: 3836

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Introduction

1.0

1.1 Background

This report has been prepared to accompany a development application for proposed alterations to 110 The Corso, Manly.

The report evaluates the proposed development, designed by Baxter & Jacobson, Architects.

1.2 Report Objectives

The main objective of this Statement of Heritage Impact is to determine the suitability of the design and the heritage impact of the proposal in relation to the provisions established by Manly Council and by the NSW Office of Environment and Heritage, Heritage Division guidelines.

1.3 Methodology and Structure

This Statement of Heritage Impact has been prepared in accordance with guidelines outlined in the *Australia ICOMOS Charter for Places of Cultural Significance, 2013*, known as *The Burra Charter*, and the New South Wales Heritage Office (now the Heritage Division of the NSW Office of Environment and Heritage) publication, *NSW Heritage Manual*.

The Burra Charter provides definitions for terms used in heritage conservation and proposes conservation processes and principles for the conservation of an item. The terminology used, particularly the words *place*, *cultural significance*, *fabric*, and *conservation*, is as defined in Article 1 of *The Burra Charter*. The *NSW Heritage Manual* explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW.

1.4 Site Identification

The subject site is located on the western side of South Steyne and on the corner of The Corso. It is described by NSW Land and Property Information (LPI) as Lot 4, DP 39426.

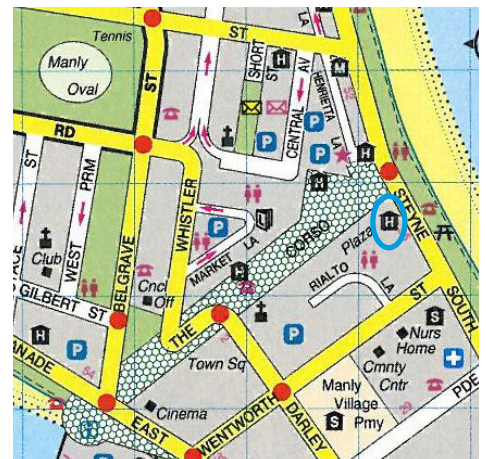


Figure 1.1
Location map showing the subject site marked with a blue circle

Source: street-directory.com

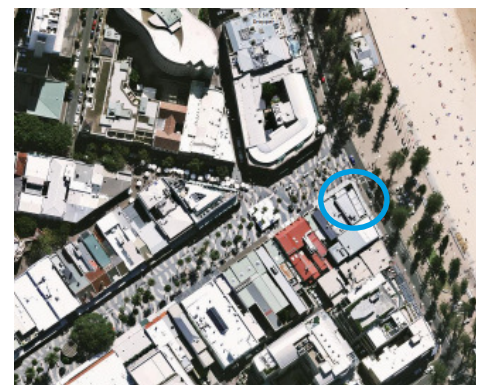


Figure 1.2
Location map showing the subject site marked with a blue circle

Source: NSW Land and Property Information
SixViewer. Date accessed: 3 May 2014

1.5 Heritage Management Framework

The subject site at 110 The Corso is listed as a heritage item in Schedule 5 of the *Manly Local Environmental Plan (LEP) 2013* as an item of local heritage significance. It is in the vicinity of several heritage items and is located within the Town Centre Conservation Area.

As such the property is subject to the heritage provisions of the Manly Local Environmental Plan 2013 and the Manly Development Control Plan (DCP) 2013 under the *Environmental Planning and Assessment Act 1979*. Manly Council must take into consideration the potential impact of any proposed development on the heritage significance of the heritage items.

1.6 Authorship

This report has been prepared by Graham Brooks and Associates Pty Ltd and has been reviewed by the Director, Graham Brooks. Unless otherwise noted all of the photographs and drawings in this report are by Graham Brooks and Associates Pty Ltd.

1.7 Report Limitations

This report is limited to the consideration of the European history of the site. Recommendations have been made on the basis of documentary evidence viewed and inspection of the existing fabric.

Archaeological assessment of the subject site is outside the scope of this report.

This report only addresses the relevant heritage planning provisions and does not address general planning or environmental management considerations.

Evolution of the Building Presentation

2.0

2.1 The building as constructed, 1898

The Ocean Beach Tea Rooms was designed by architect Mark Cooper Day and constructed in late 1898 for R.L. Moss. An early photograph of the building was published in the *Australian Town and Country Journal* on 25 February 1899, with the note that the tea rooms had officially opened for business on 24 December 1898.

Its original presentation featured a distinctive and elaborate stop-chamfered timber posted verandah form which framed the splayed corner building and extended over the footpath, with the roof over the verandah being of concave corrugated iron, painted in a bold colour scheme. This emphasised the building's face brickwork in horizontal bands (now predominantly lost) above a sandstone base course. Entry to the building was centrally located via The Corso.

Both floors had arched windows, with some of those on the ground floor level serving as shop windows. Windows generally were highlighted using decorative keystones and label moulds. Above the parapet there was decorative open balustrading alternating with solid panels, each of which was surmounted by a scrolled broken parliament. Above the splayed corner was a semi-circular pediment with a sunrise motif, emphasising the date of construction marked immediately below. This splayed corner also featured a blind window emblazoned with the name, "Ocean Beach Tea Rooms".

Originally, the building also incorporated arched windows of two different sizes, with most comprising the typical double-hung variety. The remainder, in the shop windows and those in the southern corner of the first floor, were wider, casement style with stained glass fanlights over.



Figure 2.1
The Ocean Beach Tea Rooms as built in 1898,
with its elaborate stop-chamfered timber posted
verandah and decorative parapet

Source: Manly Council



Figure 2.2
110 The Corso as photographed c.1920, prior to
the first changes to the fabric

Source: Manly Council

2.2 Alterations to 110 The Corso, 1910-1950s

The following bullet points provide a brief summary of the principal changes carried out to the former Ocean Beach Tea Rooms building during the twentieth century:

- 1910s-1920s - extension on the South Steyne elevation, in a complementary yet simpler architectural style that omitted the elaborate parapet and timber verandah feature. While the string course and label moulds were included on the new extension to match the original, there was some variation with the windows following the insertion of three small, square window openings on the ground floor instead of continuing the established pattern of the original shop windows.
- replacement of the original posted verandah with a cantilevered boxed awning stabilised by iron rods, c.1935
- Alterations to the soffit of the boxed awning, with a pressed metal lining, 1950s
- The decorative detailing and balustrading on the parapet was removed back to the base course, 1950s
- The shop windows were removed and the shopfronts widened, 1950s
- The base course was chiselled back to be flush with the wall plane and tiled over (as visible in Figure 2.4)
- Relocation of the principal entry to the building, from The Corso to the splayed corner on the South Steyne elevation
- The exterior of the building was rendered and painted throughout in white, thereby losing the original contrasting colour scheme of face brickwork with the mouldings, 1950s
- Removal of all but one of the original shop casement windows with stained glass fanlights
- The interior was modified, with the conversion of the ground floor into four takeaway food shops, and the first floor tea room converted to offices, c.1950s

A Statement of Heritage Impact prepared by Cracknell and Lonergan concluded that the building had reached a heavily degraded state by the 1970s.¹

Prior to extensive work being carried out on the building in the early twenty-first century, the fabric was assessed as follows:

The building was constructed in solid brick masonry supported on sandstone foundations. The additions have settled differently and the walls exhibit cracks on the South Steyne facade.

¹ Cracknell and Lonergan, Statement of Heritage Impact: 110-112 The Corso, Manly, p.24.

The ground floor take-away food shops have variously tiled external walls, but these are mostly concealed under signage. The open shopfronts with timber and aluminium framed folding door sets take up most of the facade. At night the shops are protected by retractable security grilles. The condition of the shopfronts is poor due to heavy wear and little maintenance. They are also inappropriate to the late Victorian character of the building.

The soffit of the boxed awning is lined with pressed metal sheeting dating from the 1950s, later than the original timber veranda was removed. The awning is also fitted with additional suspended canvas hangings to protect the shops from the sun and as these hangings form continuous advertising graphics with the fascia of the awning, they interrupt the established awning lines along The Corso by appearing much thicker.

The label moulds and the lettering inside the blind window are reasonably intact, but the sandstone sills and mouldings are in poor condition with serious deamination evident over approximately 50% of their lengths. The parapet has suffered extensively by the loss of detail and fabric.

The first floor windows are not original. The casement windows have been replaced by instructive aluminium framed single sheet glazing. These windows are without the detail of the original joinery, which related to the lines generated by the wall decorations, and consequently they appear disruptive. The wide floor windows located in the south-west corner is the sole surviving original window, but it is in very poor condition. The casement sashes have sagged and jammed; the paintwork has peeled off extensively; the timberwork is severely affected by rot; and the stained glass fanlight is damaged by the sagging of the lead cams.

The original roof sheeting has been replaced with corrugated "colorbond" and it is punctuated by a variety of mechanical exhaust hoods and cowl.

The colour scheme of the facade uses four non-traditional colours arranged in an arbitrary manner without following any traditional scheme or logic.²

Interior

The [interior of the building has] undergone extensive change and remodelling in the last twenty years..... The ground floor take-away shop fitout ...[has] removed all trace [of the] original shop or tea room layouts and their new fabric has replaced any original fabric back to bare bricks. These interiors are typical fast food outlets or contemporary cafes with no cultural value.

The first floor of 110-112 The Corso... is divided into offices with removable partitions. The ceilings are plasterboard with coved cornices. The floor is carpeted. All the joinery including the stairs, doors and windows; the fittings and washroom equipment are cheap contemporary quality.³

² Fabric Assessment of 110 The Corso prepared by Zoltan Kovacs, cited in Cracknell and Loneragan, Statement of Heritage Impact, 110-112 The Corso, pp. 29-30.

³ Fabric Assessment of 110 The Corso prepared by Zoltan Kovacs, cited in Cracknell and Loneragan, Statement of Heritage Impact, 110-112 The Corso, pp. 31-32



Figure 2.3
The former Ocean Beach Tea Rooms, c.1960, showing the early twentieth century extension on the east elevation and the broader visual impact of the replacement cantilevered awning upon the streetscape. Note the parapet has been removed, the exterior stripped of decorative details and the entire facade painted in white

Source: Manly Council



Figure 2.4
Detail of the exterior of the building. c1957, showing the tiled facade at ground floor level, the then-recent relocated entry and the altered window openings with unsympathetic aluminium folding doors.

Source: Manly Council

2.3 Interpretive Reconstruction of 110 The Corso, c.2006 -2007

In 2003 a Development Application (DA494/03) for proposed alterations and additions to the building, designed by Snell Architects, was submitted to Council and approved in November 2004 following court order 11023 of 2004. Subsequent s96 variations and Development Applications for the property entailed:

- s.96: fire engineering and smoke wall, approved 21 March 2005
- s.96: spinkler/window/kiosk/colour, approved 9 November 2005
- DA 253/05: proposed escalator, approved 5 August 2005
- DA241/05: internal fitout and alterations & additions to the second floor, approved 5 August 2005
- s.96: second floor skylight/doors/toilets/kitchen/roof, approved 2 December 2005

As a result of the works carried out in the early twenty-first century, the following changes were implemented:

- Interpretive reconstruction of the facade below the awning level, including new awning detail
- Interpretive reconstruction of the parapet, to a lesser height and of simpler detailing than the original
- Enclosure of the 1950s splayed corner entrance and reversion of the main entrance to its original location on The Corso
- Enlargement of three windows facing the beach using the model provided by The Corso elevation's window openings
- All new door and window openings to have timber joinery to match the original
- Exterior painted with an approved, complementary colour scheme
- Alterations and additions at second floor level, set back from the parapet
- Footpath widened by removing parking bay, resulting in the current awning set well back
- Wholesale demolition of the interior fabric, with new timber flooring (to match the original RL), new internal steel floor framing and columns stud frame, walls, posts, beams, lifts, stairs etc
- New internal fitout for retail (surfwear) uses



Figure 2.5
Preliminary drawings showing the existing elevations of 110 The Corso in c.2003. Note the heavily modified exterior, including the loss of the parapet and the ground floor door and window openings

Source: Snell Architects, reproduced in Cracknell and Lonergan, Statement of Heritage Impact, 110-112 The Corso, Manly



Figure 2.6
The Ocean Beach Tea Rooms current presentation, showing the extensive interpretive reconstruction works to the building's facade. Note the altered fabric to the window and door openings, and the mid-20C corner entrance has been relocated back to the original entry on The Corso. A more modest parapet was constructed to interpret the original, with the overall scale of works seeking to alleviate the heavily degraded fabric and improve the presentation of the building.

Site Description

3.0

3.1 Urban Context

The subject building is located along The Corso, which is a heavily trafficked area with mixed building stock typically ranging from one to three storeys in height within immediate proximity of the subject building, and of multi-storey buildings in the broader vicinity along The North and South Steyne. It is characterised as a commercial and retail area and is one of the most highly pedestrianised areas in Manly, owing at least in part to its location close to the waterfront. Immediately adjacent to the building on the South Steyne elevation is a modified three storey building, constructed in the early twentieth century and extensively altered both externally and internally c.1950s. Also in The Corso vicinity is the New Brighton and Ivanhoe Hotels, which have been unsympathetically adapted in recent years with inappropriate, cumbersome design schemes for verandah dining above the awning level which do not reflect historical associations within the landscape.

3.2 Views to and from the Site

The subject property at 110 The Corso occupies a corner position, and consequently has relatively high visibility within the streetscape. The north-east view along South Steyne towards the site shows the building's presentation is partially overshadowed by the three storey structure adjacent to the site, while south-west views along North Steyne provide views that display the building to best advantage. Its location along The Steyne also ensures that it has visibility from the beachfront. The majority of buildings along The Steyne are sited forward close to the street frontage, with only a small number set back (see Figure 3.3) The adjacent building on The Steyne elevation is another, heavily modified structure that appears to have been substantially rebuilt during the interwar period.

Along the length of The Corso itself, the building is one of a number of late nineteenth century structures which make up the mixed streetscape, with awnings commonplace on many buildings throughout this vicinity. When looking north along The Corso towards the Steyne, the building is not especially visually prominent owing to the visually complex streetscape, the wide thoroughfare, public art, street furniture and mature trees.

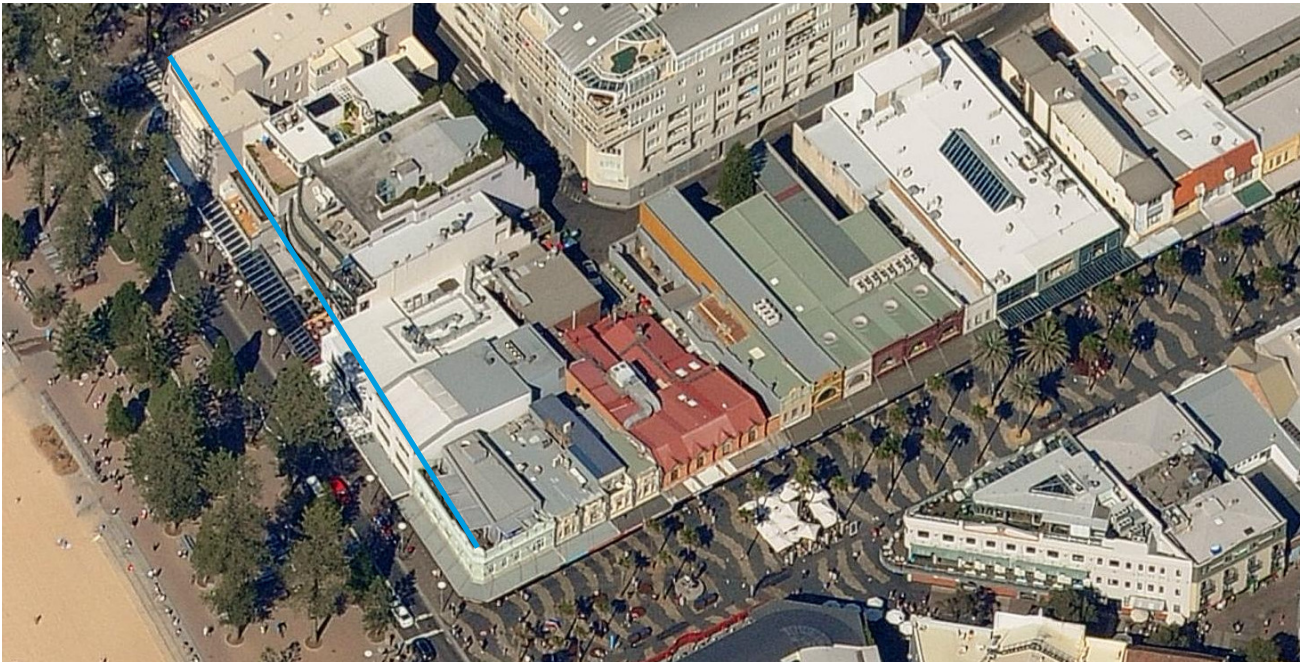


Figure 3.1

Aerial (south) view of the subject building at the corner of The Steyne and The Corso. Note the building line along The Steyne, with most buildings close to the street frontage (indicated by the blue line), while two contemporary buildings have been set back. Along The Corso, the streetscape is diverse and complex, with a range of built elements scattered along the length of the thoroughfare, obscuring viewlines at street level

Source: Nearmap

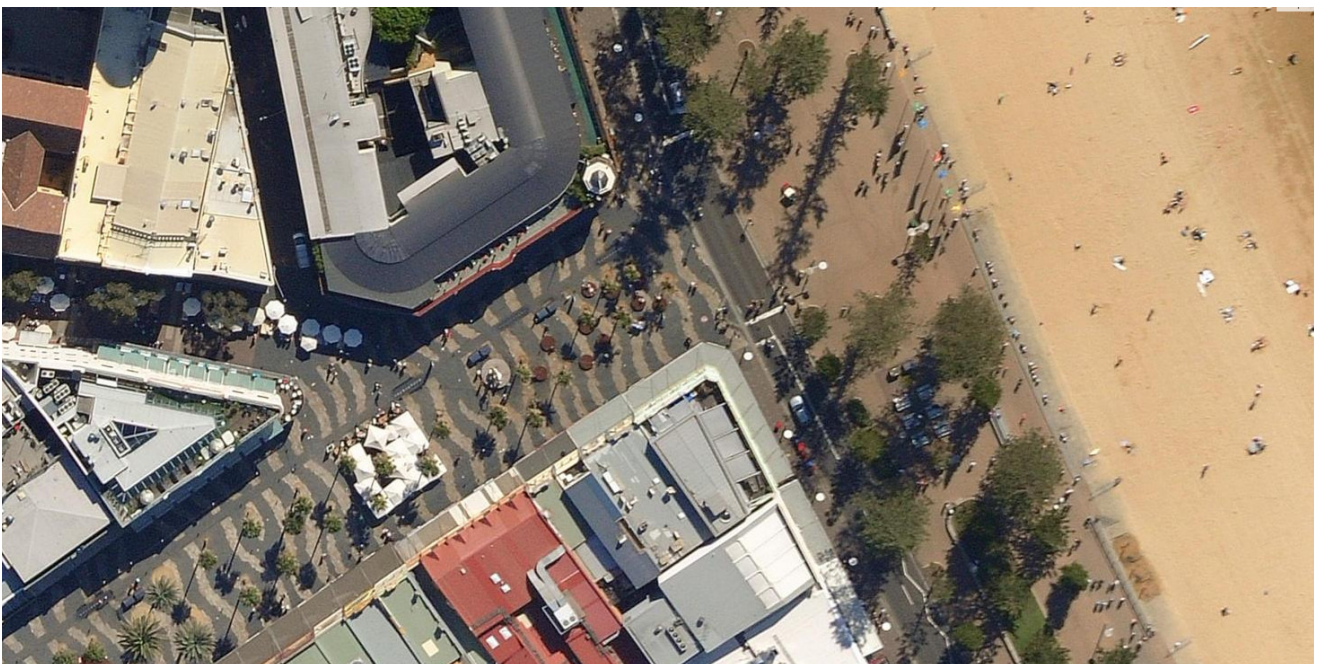


Figure 3.2

Aerial view showing the relationship of the subject building with the promenade, and with The Corso and Sydney Road. Note the visually cluttered streetscape along both thoroughfares

Source: Nearmap



Figure 3.3
View looking along South Steyne towards the subject site at 110 The Corso. Most of the buildings are sited prominently along the street frontage, as demonstrated by the blue line, with only a minority of (contemporary) structures set back (indicated with arrow)



Figure 3.4
The Steyne elevation of the subject building, as seen within its immediate streetscape (circled). The building immediately to the left of the former Ocean Beach Tea Rooms has been heavily modified throughout the twentieth century



Figure 3.6
The Hotel Steyne, located opposite the subject site. This is the only other building within the precinct which shares similar characteristics with the subject building



Figure 3.7
The New Brighton Hotel, at 71 The Corso. The first floor verandah with outside dining and the glazed panels above are inappropriate to this 3 storey building given the historical function of the building has no association with its setting, unlike the former Ocean Beach Tea rooms.

3.3 Brief Description of the Building Exterior

The building at 110 The Corso is a two storey commercial structure with a splayed corner facing onto The Corso and The Steyne. Situated on an L-shaped block, the building features a modified wrap around awning and extensively reconstructed upper and lower facades with a twentieth century extension along the Steyne. The rendered and painted facade appears to have been originally face brickwork with stucco detailing, but currently displays only remnant moulded cornices. On the upper level, the building has single sash windows, with double hung window at the later, western end of the building. On the splayed corner the former name of the building, the “Ocean Beach Tea Rooms”, in Art Nouveau lettering, is located above the stringcourse, surmounted by the construction date of 1898 at parapet level with a reconstructed sunrise motif.

The ground floor level has been extensively rebuilt on both the facade and awning, both to accommodate the twentieth century extension and subsequent phases of works, with significant changes to door and window openings. The existing presentation is the result of the c.2006 interpretive reconstruction of the facade.

3.4 Brief Description of the Building Interior

Internally, the building has been altered both on ground and first floor levels. The interior was totally comprehensively redeveloped during a previous phase of works, with a new internal structure to support the roof terrace additions. The first floor has been substantially modified in order to accommodate office spaces.

3.5 Condition and Integrity

While the basic form of the building remains, its footprint has been extended along the South Steyne elevation. The exterior, although it has aesthetic merit and makes a pleasing contribution to the streetscape, is principally an interpretively reconstructed and altered facade with very little integrity in cultural heritage terms, including changes to the awning, doors, wall surfaces and windows, and cracking along the early twentieth century extension on the South Steyne elevation. Of the original horizontal brickwork banding on the facade, little remains, with only a small proportion surviving at first floor level. The reconstructed parapet is lower than that of the original, and simpler in terms of detailing. All but one of the original casements with stained glass fanlights above were removed, with the overwhelming majority of existing fabric being sympathetic contemporary replacements, or reproduction.

The interior was comprehensively demolished and redeveloped c.2006 for retail and office purposes, resulting in minimal integrity.



Figure 3.8
The building is located in an area with high pedestrian and vehicle traffic, and within a visually complex streetscape that features a variety of public domain elements such as public art, water features, street furniture and mature palms



Figure 3.9
View from the subject building, showing the visually complex streetscape.



Figure 3.10
The Corso view, showing the various elements which make up the streetscape



Figure 3.11
Primary view of the building in its prominent corner location. Note roof additions which are slightly visible within the streetscape and the extensive reconstruction of the parapet and facade c.2006



Figure 3.12
The Steyne elevation, showing the clear delineation between the original form of the building and the later extension (circled). Note the windows are larger than those illustrated in the 1960s photographs



Figure 3.13
Detail of the reconstructed ground floor facade of The Corso elevation, showing new door and window openings and the insertion of contemporary materials as part of a retail fitout



Figure 3.14
Reconstructed ground floor facade on The Steyne elevation



Figure 3.15
Detail of the reconstructed facade showing the interpretive parapet, mid-twentieth century replacement awning and roof top additions which are slightly visible above the parapet.



Figure 3.16
Interior showing contemporary surfwear retail fitout. Note complete removal of all original fabric

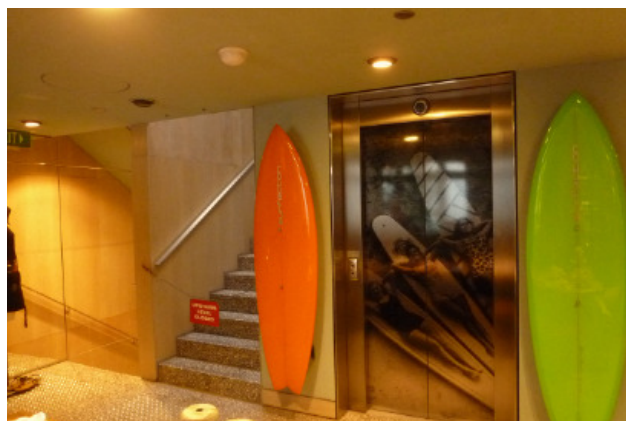


Figure 3.17
Interior showing contemporary materials and fitout, lift and stair



Figure 3.18
Interior fitout at first floor level. The interior has been comprehensively redeveloped during a previous phase of works.



Figure 3.19
View from the first floor level across to the Hotel Steyne and the beachfront. Note the stainless steel struts tying the awning which replaced the original timber posted verandah



Figure 3.20
Roof terrace level, with recent (c.2006) additions and contemporary deck timbers set below the reconstructed parapet



Figure 3.21
The heavy canopies and contemporary windows as part of the most recent fitout to the upper floor.

Established Heritage Significance

4.0

4.1 Established Significance of the Subject Site

The following Statement of Significance for 110-112 The Corso, Manly, has been sourced from the State Heritage Inventory.

This site, of local significance, has retained a strong association with visitors to Manly and although no longer a dining room, has retained its association with provision of food services to tourists. Although altered, the building has a strong corner presence, providing scale and context to the adjacent buildings and contributes to the overall significance and character of The Corso:

Comment

The building, whilst making a positive contribution visually to the streetscape and the area generally, has significantly diminished integrity owing to the extensive work carried out on the building fabric throughout the twentieth century, and to a change of use for retail purposes. Recent alterations to the fabric of the building have included an interpretive reconstruction of the facade which has improved its visual presentation but does not reinstate its integrity. The interpretive reconstruction is a reflection of the way in which the building has evolved to remain viable in an active part of the Manly community. In order to remain an active part within the vibrant nature of the Manly community, the building should continue to evolve, preferably recovering its original use with the provision of hospitality services.

4.2 Established Character of the Manly Town Centre Conservation Area

The subject site, 110 The Corso, Manly, is located within the boundaries of the Town Centre Conservation Area which is listed as an item of local heritage significance on Schedule 5 of the Manly LEP 2013. It comprises:

.....a cohesive character resulting from generally low scale of development on its principle streets. Construction to the property boundaries, slightly higher and distinctive corner buildings and a good level of pedestrian protection and amenity generated by footpath awnings and through-block arcades has produced strongly defined and comfortable urban spaces. These spaces range from the tight enclosure of the arcades through to the openness of the Ocean Beach promenade and the esplanade.

Comment

The subject building is a distinctive corner building that has singular qualities by virtue of its bordering both the town centre and the

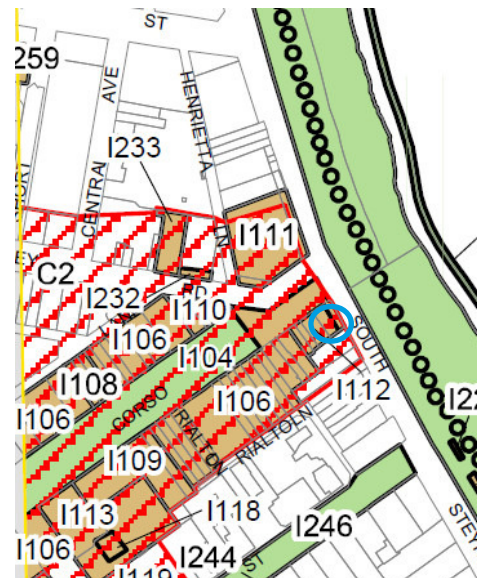


Figure 4.1
Detail of heritage map showing items in the vicinity of the subject site (circled in blue)

Source: Manly Council

beachfront. Although it makes a pleasing visual contribution, the building retains little by way of integrity and intactness.

4.3 Established Significance of the Heritage Items in the Vicinity of the Subject Site

There are a number of individually listed heritage items in the vicinity of the subject site. These are listed as items of local heritage significance on Schedule 5 of the MLEP 2013.

The NSW Heritage Inventory contains the following information for database entry number 2020017, The Hotel Steyne:

Statement of Significance:

This building is a fine example of Inter-War Art Deco style Hotel. Landmark building on the corner of The Corso and South Steyne.

Description:

Constructed in 1936 in Inter-war Art Deco Style of polychrome brickwork with heavy brick modelling along parapet and corrugated asbestos roof. Significant elements include: fan shaped lintels to windows; tile and brick detailing beneath windows; original tiling to ground floor, octagonal corner 'tower'.

In general the openings appear to be original. (The building completes the streetscape of The Corso at the ocean front and by turning the corner into North Steyne provides a physical link between these two vistas)

The NSW Heritage Inventory contains the following information for database entry number 2020016, The New Brighton Hotel, 69-71 The Corso:

Statement of Significance:

This building is an example of exotic Egyptian-like motifs and Inter-war Free Classical style.

The hotel is of major significance due to its contribution to the streetscape, its visual/textural interest and its association with early 20th century development of the resort.

An unusual design utilising exotic Egyptian-like motifs appropriate to the resort location such as columns faintly reminiscent of the Brighton Pavilion. The building is an important feature on the corner of Sydney Rd and the Corso and its eclectic design contributes to the rich collection of architectural styles in the streetscape of the Corso.

Description:

This is a three storey, rendered brick, wedge shaped building forming the corner of Sydney Road and The Corso. Date 1926

written on parapet. The ground floor elevations are rendered and tiled and remnants of the original door/window joiner survive,, although much altered. Several windows, especially in Sydney Road, have the original classically ornamented acid etched and gold leaf highlighted windows intact. Several original window sills have deep valance in render beneath the window sills. The awning (not significant) is supported on heavy scrolled projecting brackets, the top of the awning provides a balcony of French doors set between slender pilasters topped by lotus flower capitals supporting a cornice in classical pattern. The wrought iron railing is not original. Decorative spandrel panels occur beneath the second floor windows, except in the central bay which is crowned by a low pitched gabled pediment. There is a simple masonry parapet. The wrought iron railing (not original).

Significant elements include the plaster decoration to the first and second floors and parapet-notably the neo-Egyptian influence in the exaggerated pilasters and the massive brackets beneath the awning. Art Nouveau.

The NSW Heritage Inventory contains the following information for database entry number 2020475, Beach Reserve (Promenade), North and South Steyne:

Statement of Significance:

High significance as natural sand beach and cultural backdrop of paved promenade and first coastal plantings of Norfolk Island Pines.

Description:

Beachfront, sandstone retaining wall, paved, grassed And/or planting beds and remnant plantings of Norfolk Island Pines planted from the 1850's to the 1880's.

The Statement of Significance for The Corso (I104) has been summarised as follows:

i. The Corso is a most impressive formal street, with a central avenue planting of mature Phoenix palms and Moreton Bay figs. Its has its own unique streetscape shaped by an uncommon grouping of fine late 19 century to early 20 century buildings. Despite varying levels of intactness and some less aesthetic and sympathetic development, the group as a collective whole contributes to the historic streetscape. The overall character is created by a wide vista defined on either side by pleasantly low-scaled and detailed buildings; the vertical emphasis of the plantings; monuments; pedestrian arcades; shop awnings and framed views of the sea. The Corso has additional social significance generated by a strong

collective community experience and memory of it as a visitor destination, links to Manly's historical function as a resort.

ii The nature of The Corso as an important public pedestrian space means it is invariably experienced in 'serial version' from eye-height level as one walks through the street. This experience reveals particular important attributes: an overall change in building scale from higher to lower as one moves from Manly Cove to the Ocean Beach; the particular scale and character generated by the ability to read the parapet details of the street facades (or, in some cases the related roof form) as silhouetted against the sky and background trees rather than against other buildings; and then, looking closer, building facades that are restrained but finely-detailed.

iii St Matthew's Church, located on the intersection of Darley Road with its tower as a focal point, together with the oblique intersection of Sydney Road are important interruptions to the linear form of The Corso.

At each end The Corso is open and merges into spaces with good outward views. The gradual visual progression from Manly Cove to the Ocean Beach with the surf revealed behind a screen of Norfolk Pinkes is the essence of Manly's unique quality.

Comment

As the subject building is situated on a corner location and faces onto the beachfront as well as highly trafficked zones, it has a high visibility within the streetscape. It is an interpretively reconstructed two storey Victorian commercial building which is compatible with the mixed building stock in the area and makes a positive aesthetic contribution to the area. Its presence serves as a reminder of Manly's long-established tourism and resort market which commenced in the nineteenth century, with the building progressively adapting throughout successive decades to cater for commercial and retail demands of the changing population.

Description of the Proposal

5.0

The proposed development for a new fitout for cafe, restaurant and bar, designed by Baxter & Jacobson, Architects, is detailed in the plans and Statement of Environmental Effects that accompany this application: It includes:

Ground Floor

- Retail fitout with ancillary garbage and wc
- Espresso bar fitout
- New recessed doorway accessed from South Steyne to allow doors to open outwards. To match adjacent entry doors
- Recently installed columns (for escalator void) removed and replaced with columns in old locations

First Floor

- Restaurant, bar, servery and kitchen fitout, with wcs and accessible wc
- New replacement trafficable awning to provide outside seating at first floor level
- Awning to include balustrade glazed with thin profile metal balusters and top rail to reduce visual impact
- Trafficable area to be stepped back to reduce profile and visual impact
- Insertion of cantilevered steel beams to support trafficable awning
- Existing window openings on north and south elevations to be opened up for use as double doors, with centre mullions to replicate the existing window pattern

Second Floor/ Roof terrace

- Removal of existing w.c
- Bar fitout, together with store and garbage rooms
- Existing heavy canopy removed and replaced with new minimalist glass and metal canopy to reduced overhang to reduce visual impact and shading

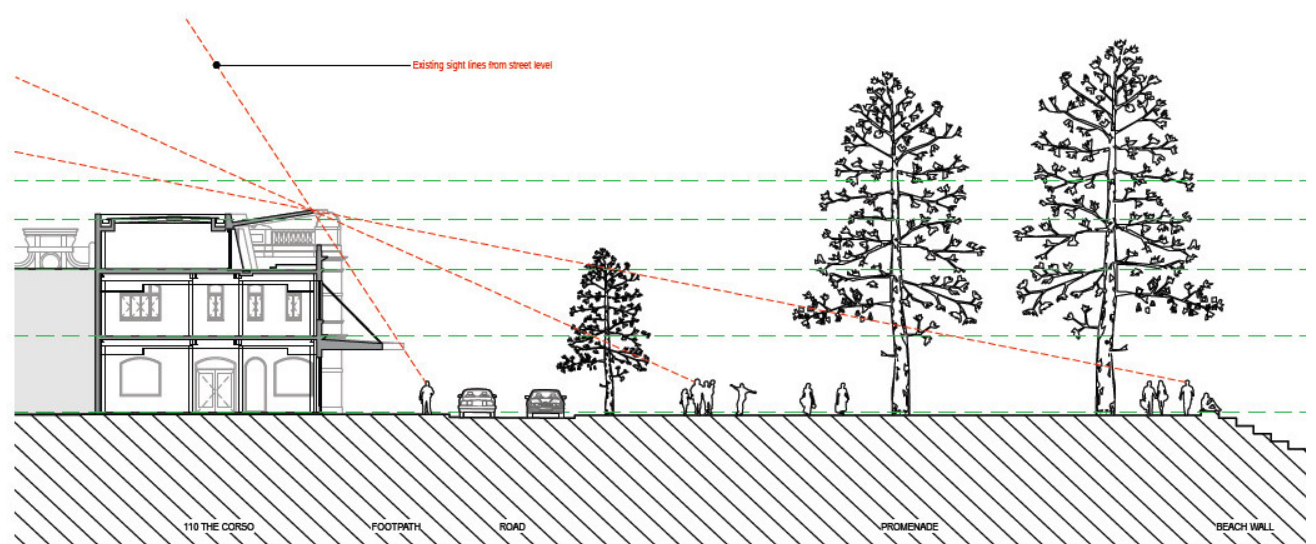


Figure 5.1
Section plan showing views within the vicinity and the visibility of the upper terrace roof

Source: Baxter & Jacobson, Architects

Assessment of Heritage Impact

6.0

6.1 Introduction

This Statement of Heritage Impact has been prepared in relation to the following impact assessment criteria, the *Manly Local Environmental Plan (LEP) 2013*, the *Manly Development Control Plan (DCP) 2013* and the New South Wales Heritage Office (now the Heritage Division of the NSW Office of Environment and Heritage) guidelines, *Altering Heritage Assets* and *Statements of Heritage Impact*.

This section of the report provides a detailed analysis of the statutory controls applying to this site, with regard to heritage.

6.2 Overview of the Potential Heritage Impacts

The overall potential impact of the proposed works upon the listed building is considered to be acceptable in heritage terms given the building retains little original integrity. There is no original or significant fabric that will be detrimentally affected by the proposal.

Given the specific relationship of this splayed corner building with its context, it is considered that this proposed design is appropriate. It is practical and indeed desirable to enhance the relationship of the building with the beachfront and The Corso, and the glass trafficable awning will reinforce this sense of connection. The original name of the building - the Ocean Beach Tea Rooms - which is still visible on the exterior is a clear indicator that from the beginning this building was intended to foster this sense of connection with the adjacent beachfront. It serves as an intersection between Manly's urban and outdoor lifestyles, a trait that few buildings share. This design responds to this particular site and consequently does not set a precedent within the locality as the only corner hotel which shares the same contextual elements and relationships with its town centre-plus-beachfront surrounds is the Steyne Hotel opposite.

The subject building cannot be considered a 'typical' retail/commercial/hospitality-oriented example of the building found along The Corso as existing hotels have a connection only with the streetscape, not with the beachfront. The existing contemporary first floor verandahs on the Ivanhoe Hotel and New Brighton Hotel are considered inappropriate for this reason, as they have traditionally only had one street frontage looking over The Corso, rather than a dual townscape-beachscape connection. The unsympathetic alterations to the New Brighton and Ivanhoe Hotels are not desirable as they encumber the buildings and reduce the visual impact of the original fabric.

It is intended that the proposed awning will more closely relate to more successful examples, such as the Town Hall Hotel in Balmain, with its lightweight balustrade above the awning, at the corner of Montague and Darling Streets.

There will not be an erosion or interruption of the existing views and vistas to or from the building, or along the length of The Corso as the proposed lightweight glass trafficable awning is to be situated above the complex streetscape at ground floor level. It will replace the existing non-original awning with a contemporary feature that will be both functional and reversible, and its materials will ensure that it will not detract from or obscure the presentation of the building facade. The new elements at roof level are an improvement in aesthetic and visual terms and will enhance the amenity and the capacity of appreciate the merits of this singular building.

In terms of proposed alterations to the original fabric of the building, the glass awning is to be raised above the stringcourse so as to retain legibility, with sills/windows along The Corso elevation dropped.

The proposed insertion of new steel beams to support the awning will not have an impact as the interior of the building has previously been comprehensively redeveloped.

6.3 Evaluation Against the Guidelines of the NSW Heritage Division

The NSW Heritage Office (now the Heritage Division of the NSW Office of Environment and Heritage) has published the following series of criteria for the assessment of heritage impact of alterations and additions to a heritage item. These are answered below in relation to the impact on the property at 110 The Corso, the Ocean Beach Tea Rooms, and upon the heritage items in the vicinity and Conservation Area.

The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:

- Retention of the building's reconstructed features and street presentation within the Conservation Area
- Retention of existing views along The Corso and Steyne
- The minimalist profile of the glass trafficable awning situated above the complex ground floor streetscape will not diminish or overwhelm the facade, nor prove detracting within the streetscape
- Enhancement of views from the site across to the beachfront
- When viewed as one element within the broader Steyne context, the proposed works will have negligible visual impact on the capacity to appreciate the landscape

6.3.1 Major Partial Demolition

The following major partial demolition is proposed as part of this development:

- Removal of the existing non-original 1960s awning
- Minor demolition to enable the opening up of window openings at first floor level into doorways
- Demolition of selected internal walls

The relevant 'questions to be answered' in the *NSW Heritage Manual* 'Statements of Heritage Impact' guidelines relating to major partial demolition are:

- *Is the demolition essential for the heritage item to function?*
- *Are particular features of the item affected by the demolition (e.g. fireplaces in buildings)?*
- *Is the detailing of the partial demolition sympathetic to the heritage significance of the item?*
- *If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?*

Comment

Although the proposed demolition is not essential for the subject building to function, the current owners wish to improve its amenity and interpret its singular connection with the townscape and beachfront surrounds. No important original features of the building are to be removed as part of the proposed demolition, and the aesthetic contribution of the reconstructed building to the streetscape will be maintained.

The demolition of the 1960s awning will result in a new lightweight minimalist awning that will not visually crowd or obscure the public domain at ground floor level whilst reinforcing the historical connection of the former Ocean Beach Tea Rooms with the beachfront via the first floor verandah dining. The changes to the existing window openings at first floor level to allow for doors is acceptable as the rhythm and overall pattern is maintained across the building. In addition, given the first floor windows have previously been altered (most recently in c.2006), the proposal is not considered to be of heritage concern.

Demolition of selected internal walls is not regarded as an heritage issue owing to the building having been gutted previously. Those sections of wall proposed for demolition are not considered to be of significance.

6.3.2 Change of Use

It is proposed to change the use of the subject site from retail to combined retail and hospitality functions. The relevant 'questions to be answered' in the *NSW Heritage Manual* 'Statements of Heritage Impact' guidelines relating to change of use are:

- *Has the advice of a heritage consultant or structural engineer been sought? Has the consultant's advice been implemented? If not, why not?*
- *Does the existing use contribute to the significance of the heritage item?*
- *Why does the use need to be changed?*
- *What changes to the fabric are required as a result of the change of use?*
- *What changes to the site are required as a result of the change of use?*

Comment

The building was constructed in 1898 in order to operate for hospitality purposes: as a beachfront Tea Room. The proposed restaurant and bar is therefore a logical and appropriate use of the building in keeping with its history, with the glass trafficable awning reinforcing this role. It is considered a compatible use that will respond to the ongoing evolution of The Corso and the Manly community. This work will require restaurant, bar and server fitouts, together with ancillary wc and storage spaces. This work is not anticipated to have a negative heritage impact as the building has been internally redeveloped. The ground floor level will retain its existing retail uses. The existing retail use does not contribute to the significance of the building.

6.3.3 Major Additions

The following major addition is proposed as part of this development:

- Construction of new glass trafficable awning
- New roof canopy

The relevant 'questions to be answered' in the *NSW Heritage Manual* 'Statements of Heritage Impact' guidelines relating to major additions are:

- *How is the impact of the addition on the heritage significance of the item to be minimised?*
- *Can the additional area be located within an existing structure? If no, why not?*
- *Will the additions tend to visually dominate the heritage item?*
- *Are the additions sited on any known, or potentially significant archaeological deposits? If so, have alternative positions for the additions been considered?*
- *Are the additions sympathetic to the heritage item? In what way (eg form, proportions, design)?*

Comment

The proposed reversible awning is to be slightly above the existing awning, in order to ensure the legibility of the stringcourse. The new lightweight awning is minimalist in design and profile, which will reduce its impact upon the streetscape. Similarly, the proposed glazed roof canopy is to replace the existing heavy elements, which will be an improvement in visual terms. Neither of these new

items will dominate, overwhelm or detract from the building or its Conservation Area context. Their lightweight design and use of discreet minimalist materials has ensured that the new work will be sympathetic and seeks to follow on as the logical consequence of the c.2006 interpretive reconstruction works in order to ensure the building's relevance and viability within the community. Visually, the new trafficable awning will be a demonstrable improvement on the existing cantilevered awning.

An archaeological assessment has not been made as part of this report.

6.4 Evaluation Against Manly LEP 2013 Heritage Provisions

The proposed development is considered to be acceptable, from a heritage perspective, for the following reasons:

- the building was interpretively reconstructed in c.2006 and has little integrity
- the proposed replacement awning will have a low visibility within the streetscape and is reversible
- the proposed awning is to be located above the stringcourse to maintain legibility
- the new work at roof level is to be set back and of reduced profile to ensure minimum visibility
- in terms of traffic movement, the proposed trafficable awning is acceptable as the footpath has been widened
- The removal of fabric such as the opening up of window into door openings is considered acceptable given that the building has been heavily reconstructed and that no important or original features will be affected.
- the overall pattern and rhythm of the facade will be maintained
- the proposed internal changes have no heritage impact given the interior has no integrity
- the significance of the building and its ability to contribute to the streetscape and the conservation area will be retained.
- it retains views to and from the heritage item, to items in the vicinity and throughout the Town Centre Conservation Area generally

The proposal is, therefore, considered to be consistent with the relevant heritage objectives of the Manly Council LEP 2013 which are:

(1) Objectives

The objectives of this clause are as follows:

- (a) to conserve the environmental heritage of Manly,*
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*
- (c) to conserve archaeological sites,*
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.*

6.5 Evaluation Against Manly Development Control Plan 2013

The proposed development is generally consistent with the guidelines of the Manly DCP 2013 that relate to the development of heritage items and development in Conservation Areas:

- Section 3.2 Heritage Considerations
- Section 3.4 Amenity: Views
- Section 4.2 Development in Business Centres
- Section 4.4 Other Development
- Section 5.1 Special Character Areas and Sites: Manly Town Centre Heritage Conservation Area and The Corso Heritage Item

The relevant components of the DCP guidelines have been discussed below:

DCP Guideline	Comment
3.1 Streetscapes and Townscapes <i>Objective 4) To ensure that all parking provision is designed and sited to respond to and respect the prevailing townscape.</i> <i>Objective 5) To assist in maintaining the character of the locality.</i> <i>Objective 6) To recognise the importance of pedestrian movements and townscape design in the strengthening and promotion of retail centres.</i> <i>Objective 7) To minimise negative visual impact, in particular at the arterial road entry point into the Municipality, so as to promote the townscape qualities of Manly.</i>	The proposed development is in accordance with these objectives.

3.1.3.1 Design Principles <i>a) Local role of the site</i> The local role of the site and existing buildings should be determined, viewed from the following perspectives: <i>(i) from a distance and along routes and from viewpoints leading towards the locality;</i> <i>(ii) in relation to the adjacent spaces it borders and the need to define those spaces;</i> <i>(iii) in relation to the adjacent buildings and the need to be complementary to those buildings in terms of height, scale and design detailing.</i> <i>Townscape Principles Map</i> <i>b) Proposed developments must be consistent, where applicable to the townscape and streetscape and the principles and opportunities further illustrated in the Townscape Principles Maps at Schedule 2 of this plan.</i>	The proposal has factored in the specific nature and role of the subject building, together with its contribution to the broader streetscape, the Conservation Area and heritage items in the vicinity. The light material of the new reversible awning will respond to the open nature of The Corso and the esplanade and beachfront context without eroding significance, streetscape values or views and vistas. The new awning is of simple and contemporary design so as to present with a minimalist, discreet appearance and enable the reconstructed subject building to remain as the dominant or primary element. Key views throughout The Corso vicinity are appreciated principally at the ground level public domain, with more complete views of the subject building less common given the need for large open spaces. The Corso is a visually complex environment at the ground level with street furniture, water features, public art, trees and diverse built elements, all of which interrupt views along the thoroughfare. The proposed awning, to be situated above the stringcourse, is above this ground level landscape and will not visually clutter or otherwise encumber an appreciation of the building within its context.
3.2.1.1 Development in the vicinity of heritage items, or conservation areas <i>a) In addition to LEP listings of Environmental Heritage (LEP Schedule 5), this DCP requires consideration of the effect on heritage significance for any other development in the vicinity of a heritage item or conservation area.</i> <i>b) Proposed development in the vicinity of a heritage item or conservation area must ensure that:</i> <i>i) it does not detract or significantly alter the heritage significance of any heritage items, conservation area or place;</i> <i>ii) the heritage values or character of the locality are retained or enhanced;</i> <i>iii) any contemporary response may not necessarily seek to replicate heritage details or character of heritage buildings in the vicinity, but must preserve heritage significance and integrity with complementary and respectful building form, proportions, scale, style, materials, colours and finishes and building/street alignments.</i> <i>c) The impact on the setting of a heritage item or conservation area is to be minimised by:</i> <i>iv) retaining and respecting significant views to and from the heritage item.</i>	The proposed works to 110 The Corso are not considered to have a negative impact upon the neighbouring buildings, heritage items or Conservation Area. Although the awning is of contemporary design, it has been developed to respond sympathetically to the subject building without detracting from views or impacting upon significant fabric. The new awning will not have an impact upon the established significance of the building, items in the vicinity, or its setting. The subject building differs from the majority of Victorian buildings along The Corso by virtue of its prominent corner location. It has long served as a meeting point of two key elements: the townscape and the beachfront. As a singular, unusual quality, this factor requires a specific design response in order to successfully reactivate the building and consequently contribute positively to enhancing the Manly lifestyle experience. With its town-and-beach-connection the core value of its heritage significance, the proposed work has been formulated to express this melding of two of Manly's qualities. This is in contrast with two hotels in the vicinity, which have been modified with first floor verandah dining in what is considered to be an inappropriate design response. Neither the New Brighton nor the Ivanhoe Hotels have the townscape-waterfront connection and have no associations such as those imbued in the former Ocean Beach Tea Rooms building, with the alterations proving to be heavy-handed and diminishing the original building features.

3.2.2 Alterations and Additions to Heritage Items or Conservation Areas 3.2.2.1 Complementary Form and Scale that Distinguishes Heritage Significance <i>a) Alterations or additions to heritage items or buildings within a conservation area will not necessarily seek to replicate, overwhelm, dominate or challenge heritage details or character of the building or structure of heritage significant buildings. However, a contemporary response which complements and respects the form and scale of the original buildings may be considered if the heritage significance is retained</i>	The proposed works to the exterior of 110 The Corso are contemporary but do not seek or dominate, mimic, or overwhelm the building or erode its presentation within the landscape. Similarly, it has a neutral impact, allowing the building to maintain its existing role. The reconstructed subject building has historically been subject to repeated alterations and additions in response to the changing needs of the community, with more recent phases fortunately seeking to improve the building rather than degrade the surviving original elements. As it presently stands, the building has little exterior or internal integrity, and a proposal to reinstate an historical use is viewed as a positive approach. This proposal is merely the latest in a series of modifications in order to suitably activate the building within its important corner position, and return it to its original role in the provision of refreshment/dining/hospitality. The work is an expression of the ongoing practical evolution of the building, and affords an opportunity to replace the existing non-original awning with a reversible contemporary, sympathetic element.
3.2.2.2 Retaining Significant Features and Landscape Setting <i>Alterations or additions to heritage items or buildings within a conservation area must:</i> <i>a) retain original and traditional roof form, roof pitch and original cladding (including slate) with any alterations to the roofs to be sympathetic to the style of the heritage item or building within a conservation area;</i> <i>b) retain original architectural detailing such as barge board, finial trim, window awnings and front verandas.</i> <i>New detailing must be complementary to the character of the item or place;</i>	The proposal will retain the existing principal reconstructed features, detailing and setting of the building. The roof will be unchanged, with the exception of the removal of the unsympathetic heavy canopies which currently 'weigh down' upon the building, and replacement with new glazed canopy on the northern and eastern elevations. This lighter material will have a reduced profile, will lessen visual impact and afford the reconstructed parapet details greater prominence. The existing window and door openings, as with the majority of the exterior, have little integrity, making the proposed changes to the fabric acceptable in heritage terms.
3.4.3 Maintenance of Views <i>a) The design of any development, including the footprint and form of the roof is to minimise the loss of views from neighbouring and nearby dwellings and from public spaces.</i> <i>b) Views between and over buildings are to be maximised and exceptions to side boundary setbacks, including zero setback will not be considered if they contribute to loss of primary views from living areas.</i>	Existing views along The Corso, from Sydney Road towards the subject site and throughout the vicinity are not expected to be detrimentally affected by the proposed works. Views of the building itself shall be essentially maintained as existing and even somewhat improved, with the standard viewpoint of the building being from ground floor level along The Corso. As the proposed reversible awning is of lightweight materials, it will have relatively low visibility when viewed proportionately from wider vistas along the Steyne and the beachfront.

4.2 Development in Business Centres 4.2.5.1 Design for Townscape <i>a) Townscape Requirements</i> <i>i) Maintain important corners identified at Schedule 2, including strongly defined corner buildings.</i> <i>ii) Ensure corner development has strong height and facade elements with building along the street frontage being set by these corner heights. Construct to boundary. Maintain and re-use existing development if it achieves objectives.</i> <i>iv) Acknowledge important end of vista sites identified in Schedule 2. Appearance of the street elevation requires special attention at the end of these vistas.</i>	110 The Corso is on a prominent corner location that straddles the point of connection between the urban townscape and the beachfront. The site is identified in Schedule 2 as being a strongly defined corner building. The proposal will not diminish the building's capacity to make a strong contribution to its setting, either architecturally or visually. The work is generally conservative and will assist in reactivating this reconstructed property with a use that is compatible with its original function as a tea room. The trafficable glass and metal awning will ensure the legibility of the building fabric is readily appreciable from a considerable distance without in any way diminishing or permanently obscuring its recaptured architectural detailing on its facade.
4.4.1 Demolition <i>Where development involves demolition, the applicant is to demonstrate that the degree of demolition considers any existing building on the land that should be retained and appropriately adapted in order to:</i> <i>b) Conserve the cultural heritage of the existing building and that of the locality. An appropriate assessment of potential heritage significance must accompany any DA in relation to demolition. If the property has merit as a potential heritage item, the heritage controls and considerations in this plan apply.</i>	Demolition is limited to the removal of the existing non-original cantilevered awning, the removal of the heavy canopy at roof level, removal of selected internal walls and minor demolition to open up windows at first floor level to door openings. All of these elements have been modified at various stages in the building's history. The awning and canopy are not original features, while the interior of the building has been comprehensively redeveloped, with little integrity remaining. More recent work to the facade has seen a sympathetic treatment of the windows at first floor level, and it is intended to improve the amenity of the building without affecting the positive outcomes arising from the 2006 recapturing of the building's former presentation.
4.4.2 Alterations and Additions <i>Manly Council promotes the retention and adaptation of existing buildings rather than their demolition and replacement with new structures.</i> <i>a) This paragraph defines alterations and additions in respect of how much of the building is to be demolished.</i> <i>If alterations and additions involve demolition of more than half of the building then the development will be assessed as new work and the controls of this plan will apply to the whole building i.e. to both existing and new development.</i>	The proposal has been carefully formulated to respect the significance, values and setting of the building. Demolition is to be relatively minor, with the most substantial change being the removal of the non-original awning. To all intents and purposes, the existing building will maintain its current basic presentation within the streetscape. When viewed proportionately as a single building element within the broader landscape, the visual impact on the overall is negligible.

4.4.4.1 Awnings in all LEP Business Zones <i>Continuous footpath awnings must be provided on all street frontages generally consistent with the streetscape. The width, fascia height and method of support of all awnings in any street block must be consistent with entrances to public lands and through-site links allowed to be accentuated and generally in accordance with dimensions in Figure 46 - Awnings.</i> 4.4.4.2 Awnings in Manly Town Centre <i>Awnings in Manly Town Centre will be permitted where:</i> <i>a) development abuts pedestrian ways;</i> <i>b) aligned with adjoining awnings in height and width;</i> <i>c) it can be demonstrated the specific need for protection of goods or from weather and sun; and where</i> <i>d) through site links are not obscured.</i>	See 5.1.2.11 and Guideline 2.1.2.8 Awnings in the Manly Urban Design Guidelines below.
5.1 Manly Town Centre 5.1.2.1 Most existing buildings are significant and are to be conserved, not redeveloped <i>a) The only exceptions are in respect to buildings identified in Schedule 6 – The Corso: Site Specific Controls as may be able to accommodate redevelopment.</i> <i>b) Existing street facades, including all original detailing, are particularly important and are to be maintained.</i> <i>This includes original framing details and materials to windows, doors and other openings. Original details missing or removed should be reinstated and unsympathetic additions removed. Appendix 6 lists requirements and suggestions. The shop-front at 36 The Corso is the only one in its original configuration and is to be retained.</i>	The existing built form and presentation of the building is to be essentially maintained. The minor changes to the window openings at first floor level is not considered to be a heritage issue, owing to the recent reconstruction works. The proposed changes to the door entry at ground floor level are appropriate in heritage terms and acceptable given the ground floor fabric has been extensively modified and now presents with contemporary glass and metal doors. The new work will match other doorways, resulting in consistency throughout.
5.1.2.2 Internal changes are important <i>a) The spaces and activities within the building give meaning to that building. In addition, internal building fabric may be significant even if not seen from the street. The heritage assessment will advise on the significance of any internal fabric.</i> <i>b) Where internal alterations are proposed:</i> <i>i) floor levels and the layout of activities are to retain a logical relationship with the window, door and balcony openings of the street façade;</i> <i>ii) floor levels are to be maintained adjacent to first floor windows and other openings; and</i> <i>iii) architectural organisation of interiors must relate to the building facade</i>	The building has been heavily modified internally by the 1970s period, and was redeveloped as part of a previous Development Application, resulting in little integrity and an inability to interpret the original layout of the spaces. There is no original interior fabric remaining. Consequently, there is no heritage issue relating to the proposed insertion of steel beams for the purposes of supporting the new awning structure The floor levels are to be retained as existing, with internal work comprising new restaurant, bar and server facilities and ancillary spaces. As it returns the building to a use similar to that of its original function, this is regarded as a positive outcome in heritage terms.

5.1.2.4 Parapets to be read against the sky <i>a) Parapet details on the street frontage, and in some cases the related original or historically relevant roof form, are to continue to be read by pedestrians as silhouetted against the sky. This is also to be the case for the parapet of any new building fronting The Corso.</i> <i>b) This provision applies in respect to both oblique and perpendicular views of buildings as pedestrians move through the street. This provision will govern the height and setback of any permitted additional floor levels and also establishes an important 'visual catchment' to The Corso that needs to be kept clear of obstructions.</i>	At present the roof form is somewhat obscured by heavy canopies. This is to be replaced with glazed canopies which are to be set back and of reduced profile. This will enable the parapet details to be clearly read as the principal elements from the public domain.
5.1.2.5 Critical Views to be Kept Open <i>a) Part of the significance and character of The Corso derives from the views from within the street space out to Manly Cove and to the Ocean Beach. Two longer views within the visual catchment of The Corso are from Sydney Harbour as the ferry approaches Manly Wharf; and down Sydney Road, from Fairlight looking east to Shelly Beach headland.</i> <i>b) Critical views identified in a) above must be protected from intrusion and are to be kept open.</i>	The views and vistas along The Corso will not be significantly impacted by the proposed works. As the principal viewlines occur at street level, and owing to considerable visual clutter through the implementation of street furniture, water features, public art, trees, etc, viewlines tend to be obscured or interrupted. As such, the impact of the new reversible awning is not considered to have an unacceptable level of impact. Views of the building from Sydney Road include the ability to appreciate the entirety of the interpretively reconstructed building facade as there is the ability to achieve distance views that are typically not possible along The Corso. The new awning will be seen from the Sydney Road viewpoint, but as a lightweight glass and metal element it is not considered to be detracting and shall allow the building facade to be clearly read. Views along the Steyne and the beachfront will not be eroded and will be kept open. The proposed works are not considered to have a significantly greater visual impact than that of the existing awning.
5.1.2.8 Windows and balconies open to the street <i>To allow interaction between the building and the public street (and to provide natural ventilation), windows to upper floors are to be openable and balconies are not to be enclosed. Where original balconies have been enclosed, Council encourages that they be reopened in keeping with their historic use and heritage significance.</i>	The windows and balconies on the upper floors will be openable and selected window openings will be enlarged to enhance the building's indoor-outdoor connection and to improve ventilation. The openings will maintain the recaptured rhythm of the building style.
5.1.2.11 Footpath Awnings <i>Footpath awnings (solid, horizontal & with lighting) are required, but trafficable balconies and post-supported awnings and balconies are prohibited and considered to be an unnecessary intrusion on the available street space. See also Manly Town Centre Urban Design Guidelines for more details on the acceptable design of awnings.</i>	The proposed trafficable awning will be supported through the insertion of steel beams, which has no heritage impact given the extent to which the interior of the building has been modified. The replacement awning will not be an intrusion on the available street space, with the height of the awning raised slightly to enhance the legibility of the stringcourse. As the footpath has been widened, there is no danger in terms of pedestrian traffic movement.

Schedule 6 - Site specific controls 112-110 The Corso • awning and signage to be reduced to DCP limit). • property is subject to a re-alignment to South Steyne.	No signage is proposed as part of this Development Application. The replacement awning, which is to be supported using the insertion of steel beams, is considered acceptable in proportionate terms in relation to the former Ocean Beach Tea Rooms building. The trafficable area of the awning is to be stepped back to reduce its profile and visual impact.
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6.6 Evaluation Against Manly Town Centre Urban Design Guidelines 2002

The proposed development is generally consistent with the guidelines of the Manly Urban Design Guidelines that relate to the development of heritage items and development in the Harbour/ Ocean Grid Precinct.

Guideline	Comment
1.2.3 Views from the water and land <i>It is important to protect and enhance views to and from the harbour and ocean, from public places</i> <i>Maintain and protect existing view corridors</i>	As shown on map 6 of the Urban Design Guidelines, the principal views extend the length of The Corso and from the public domain to the ocean. The proposed works to the exterior of the building relate to upper levels of the facade and consequently will not interfere with the existing (street level) view corridors from The Corso and public places. As the exterior of the building is of a recaptured Victorian form, it is not anticipated that views from the beachfront looking towards South Steyne and The Corso will have more than a negligible visual impact, and certainly no impact when considering the individual site within the broader Steyne landscape.
1.2.4 Heritage <i>Future planning, development and public works must maintain the clarity of the historic structure and fabric of the town centre.</i> <i>Protect and interpret the integrity and significance of heritage buildings, structures, landscape and other items of heritage value within the town centre.</i> <i>Any building work or development in The Corso or Pittwater Road Conservation Area shall be designed in consultation with an appropriately qualified Heritage architect.</i>	The proposed development will improve the amenity of the building and return it to a use compatible with its original function, whilst enabling the fabric and form of the former Ocean Beach Tea Rooms to remain the dominant component on the site. The changes to the upper levels of the building will not erode the integrity or fabric of the town centre or the landscape. Graham Brooks and Associates have been consulted in the design resolution for this Development Application and given the specific qualities and location of the subject site in addition to the extent to which the building has been modified, it is considered to be an appropriate design response.

2.1.3 Conservation Areas and Heritage Items <i>Extensions and additions to heritage items and buildings in conservation areas must be designed to complement their style, form, proportions, materials and colours and the overall heritage context of their setting.</i> <i>Ground level uses and treatment of heritage buildings must be compatible with their conservation value</i>	The proposed alterations and replacement awning is of a contemporary and lightweight yet compatible form that responds to the specific nature of the building's site and context. It maintains the existing ground level uses of the building and improves the amenity of the upper levels without eroding viewlines or obscuring the details of the facade to an unacceptable extent.
2.1.8.2 Awnings <i>Awnings are required where development abuts pedestrian ways.</i> <i>Awnings must be continuous and align with adjoining awnings in height and width.</i> <i>Awnings shall be horizontal.</i> <i>Awnings should be solid to provide for shade and shelter. Glazed awnings are not supported</i>	As the footpath has been widened, it is not considered that there is an issue with regard to traffic movement. The replacement awning is compatible with adjacent buildings. The specific, singular qualities and nature of the building site renders it atypical. Consequently, the slim metal and glass awning has been designed as a way to enhance the connection with the corner site and its townscape and beachscape context.
3.1.1 The Corso Guidelines a) Heritage <i>The existing awning line, depth and height shall be maintained and repeated in any new development.</i> <i>With refurbishment of existing buildings, heritage facades shall be preserved and enhanced.</i> <i>Alterations and additions to heritage items and new infill development should complement the existing and adjacent buildings in form and detail.</i>	The existing awning is to be adjusted slightly when installing the replacement awning. It is intended to raise the awning slightly to enable the stringcourse to be read more clearly, a strategy which is considered to be a positive outcome in heritage terms.
b) Significant views <i>Ensure vistas to harbour and ocean are not blocked. Enhance the vistas to the harbour and ocean by removing excess clutter in The Corso. Locating furniture and planting along the centreline of the street will keep views open where people walk.</i> <i>Second storey balconies built over the Corso will not be accepted, as the associated structure impedes vertical and horizontal view corridors along The Corso to and from the ocean and harbour</i>	As existing, the street level landscape along The Corso comprises a variety of built elements that do not facilitate an unimpeded view along the length of the thoroughfare. Verandah dining and glass canopy elements on the upper levels of the building will not impede or obscure either views within the streetscape or views of the key components of the subject building. No balcony at second storey level has been proposed.

Conclusions and Recommendations

7.0

7.1 Conclusions

- 110 The Corso, Manly, is listed as an item of local heritage significance in Schedule 5 of the MLEP 2013
- It is also located within the Town Centre Conservation Area and is in the vicinity of several heritage items
- The building has been interpretively reconstructed c.2006 and retains little sense of integrity or intactness
- Its landmark corner position makes this a singular building within the streetscape, having a rare point of connection between both townscape and the beachfront
- The removal of some fabric is considered acceptable given that the principal features such as the form of the facade, the pattern of window openings etc are to be retained.
- The proposed alterations to 110 The Corso will have no adverse impact on the heritage significance of heritage items in the vicinity of the site, or the Conservation Area
- The proposed works will result in the improved amenity and presentation of the building
- Given the complex streetscape of The Corso, it is considered that the new reversible trafficable awning will not prove intrusive or detracting.
- The proposal is consistent with the pattern of evolution of the building, and reflects the way in which the commercial landscape has continually adapted to meet the needs of the community, and strengthens its connection with the waterfront
- As the proposal for the new awning has been shaped to respond to the particular circumstances of the corner building to enhance its relationship with its surrounds, it does not set a precedent for other hotels in the area
- The significance of the building, and its ability to contribute to the streetscape and the conservation area, will be retained.
- The proposed development is consistent with the heritage requirements and guidelines of the MLEP 2013 and the Manly DCP 2013

7.2 Recommendations

- Council should have no hesitation, from a heritage perspective, in approving the application.

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8.0

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110 The Corso Manly s96 SHI
5 November 2015



The General Manager
Manly Council
PO Box 82
MANLY NSW 1655

Dear Sir

Proposed Alterations to Approved Scheme 110 The Corso, Manly Heritage Impact Commentary

At the request of Baxter and Jacobson Architects, we have reviewed the proposed amendments to the approved scheme for the upgrading of the building at 110 The Corso, Manly, to assess if the amended works will have any unacceptable impact on the heritage significance of the place. The amendments are illustrated on architectural drawings Nos s96 09 to 15, Issue B.

Graham Brooks and Associates were the authors of the May 2014 Statement of Heritage Impact for the now approved scheme, and participated in subsequent liaison with Council during the approval process. We therefore have a good understanding of the nature of the current building, its evolution across the 20th century and the extent of original v altered fabric.

We understand that the Architects will include this letter in the s96 submission.

Description of the Proposed Amendments

The proposed alterations contained in this application generally comprise the following issues with regard to potential heritage impact:

Ground Floor Drawing s96 09 B, South Steyne Elevation

- Delete an existing recessed doorway and replace with a typical window to match that adjacent to the north.
- Delete an existing window and replace with a typical set of double doors with fanlight. These doors to be set in the line of the wall as they are not required to be escape doors.

First Floor Drawing s96 10 B

- No amendments that affect the exterior of the building.

71 York Street, Level 1
Sydney 2000 Australia
Tel: 61 2 9299 8600
Fax: 61 2 9299 8711
gbamain@gbaheritage.com
www.gbaheritage.com

Graham Brooks and
Associates Pty Ltd
Incorporated in NSW
ACN 073 802 730
ABN 56 073 802 730
Nominated Architect Graham Leslie Brooks
NSW Architects Registration 3836

Second Floor Drawing s96 11 B

Note that the building envelope at this level is not part of the original building

- Delete the corner component of the glass canopy
- Extend the approved glass canopy on The Corso frontage to the west, to match the adjacent approved design.
- Delete that portion of the upper parapet across the frontage of the extended section of the building on the North Steyne frontage.
- Delete the raised seating platform behind this section of the parapet and extend existing terrazzo flooring.
- Introduce new window at the top of the internal staircase.

These alterations are further illustrated in the elevation and section drawings.

Other changes to the approved scheme, primarily located within the building, have no adverse impact on the heritage significance of the building. The 2014 SHI report documented that the interiors of the building were completely rebuilt some years earlier.

Established Significance of the Subject Site

The following Statement of Significance for 110-112 The Corso, Manly, has been sourced from the State Heritage Inventory.

This site, of local significance, has retained a strong association with visitors to Manly and although no longer a dining room, has retained its association with provision of food services to tourists. Although altered, the building has a strong corner presence, providing scale and context to the adjacent buildings and contributes to the overall significance and character of The Corso:

Established Significance of the Town Centre Conservation Area

The subject site, 110 The Corso, Manly, is located within the boundaries of the Town Centre Conservation Area which is listed as an item of local heritage significance on Schedule 5 of the Manly LEP 2013. It comprises:

.....a cohesive character resulting from generally low scale of development on its principle streets. Construction to the property boundaries, slightly higher and distinctive corner buildings and a good level of pedestrian protection and amenity generated by footpath awnings and through-block arcades has produced strongly defined and comfortable urban spaces. These spaces range from the tight enclosure of the arcades through to the openness of the Ocean Beach promenade and the esplanade.

Assessment of Heritage Impact

The above amendments to the approved scheme for 110 The Corso will have no adverse impacts on the heritage significance of the building or the surrounding Conservation Area. It will have no impact on the heritage items located in the vicinity of the site, as documented in the 2014 SHI report.

The changes to the window and door layout on the ground floor, below awning façade on the North Steyne frontage take place in relation to the reconstructed sections that date from the 2005-2007 works. They essentially retain the same rhythm of the openings along this frontage and will improve access into the ground floor **retail** premises.

The changes at the Second Floor (roof deck level) are confined to either the 2005-2007 interpretive reconstruction (parapet section) or the detailing that was introduced as part of the 2014 approval. The section of parapet proposed for removal was not part of the original building or the 1950s extension along the North Steyne frontage. It was introduced as part of the interpretive reconstruction process to visually extend the decorative parapet of the original corner portion of the building.

The raised timber deck will also be removed as the lower parapet will be aprox 1M above the masonry deck level. This has the advantage that the whole of the deck will be wheelchair accessible and still offer views above the 1M high parapet.

It is clear from the above assessment that there will be adverse or unacceptable impact on the heritage significance of the building or the conservation area arising from this s96 application.

Recommendation

Council should have no hesitation, on heritage grounds, in approving these amendments.

Yours faithfully
GRAHAM BROOKS AND ASSOCIATES



Graham Brooks
Director
grahambrooks@gbaheritage.com