

PROPOSED GARAGE & ALTERATIONS TO THE EXISTING COTTAGE AT 105 OLIVER ST, FRESHWATER NSW



Handwritten notes and stamps in the bottom right corner of the image, including a red stamp that reads "This is the drawing for the construction certificate" and a signature.

MAA ARCHITECTURAL
CONSULTANCY DRAFTING
& ENGINEER DESIGN

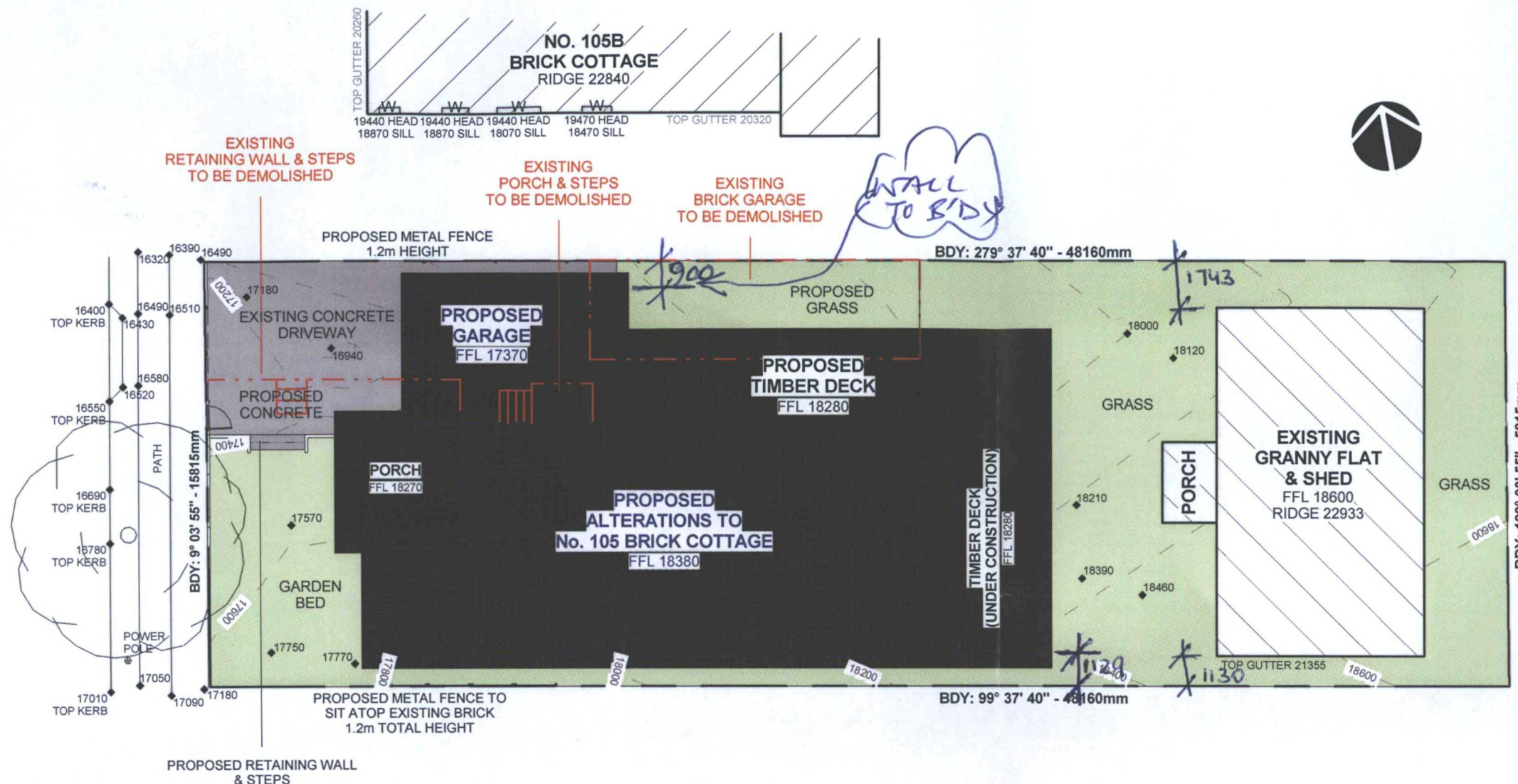
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27 GERARD AVENUE, CONDELL PARK NSW 2200

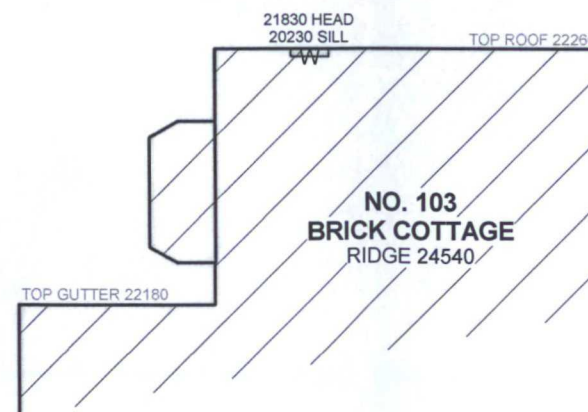
Email: info@maaconsultancy.com Mobile: 0468 349 007

Issue	Description	Date	Client: Mrs Thi Thi Hoa Cao & Mr Trong Sy Vu	3D VIEW	
			Project: Section 86 Modification	Date: 21-04-2014	Project number: 20130324
Disclaimer 1-Whilst MAA Consultancy has taken all reasonable steps to ensure that the information contained in the plans is as accurate as possible it will accept no liability for inaccuracies in the information shown on such plans. 2-The builder responsibilities for all level and setting out of the work on site. 3- Maintain existing dimension as required. 4-Figured dimensions are to take precedence over scaling.			Proposed: Proposed Garage & Alterations to Existing Brick Cottage	Design by: PB	ARCHI 01-07
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				Approve By: Alex Khodr	Scale

OLIVER STREET



1 SITE PLAN
ARCHI 02-03 1 : 200



GENERAL NOTES:

- G-1:** THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION FROM THESE DRAWINGS AND THEIR ASSOCIATED CONSULTANTS' DRAWINGS ARE NOT TO COMMENCE UNTIL APPROVED BY THE LOCAL AUTHORITIES.
- G-2:** ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT STANDARDS AUSTRALIA CODES AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- G-3:** ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE. ENGINEER'S DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- G-4:** DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS AND EXCAVATIONS STABLE AT ALL TIMES.
- G-5:** UNLESS NOTED OTHERWISE ALL DIMENSIONS ARE IN MILLIMETERS.
- G-6:** THE STRUCTURAL COMPONENTS DETAILED ON THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT STANDARDS AUSTRALIA CODES AND LOCAL GOVERNMENT ORDINANCES FOR THE FOLLOWING LOADINGS. REFER TO ARCHITECTURAL DRAWINGS FOR PROPOSED FLOOR USAGE.
- G-7:** SITE MUST BE WELL DRAINED.
- G-8:** REMOVE ALL TOP SOIL AND ORGANIC MATERIAL UNDER FOOTINGS AND SLAB AND PRIOR TO PLACING FILL IN FILL AREAS. FILL TO BE COMPACTED IN LAYERS NOT EXCEEDING 150mm. USE APPROVED MECHANICAL COMPACTION EQUIPMENT. LAYERS NOT TO EXCEED 100mm IF A VIBRATING PLATE IS USED.
- G-9:** ALL FILL TO BE APPROVED MATERIAL COMPACTED TO THE SATISFACTION OF THE ENGINEER OR TO 98% STANDARD COMPACTION AS 1289.5.1.1
- G-10:** MINIMUM REQUIRED BEARING CAPACITY IS AS FOLLOWS IN 'KPa':
COMPACTED FILL SOIL - 200
- G-11:** WHERE APPLICABLE IN PROJECTS, EXCAVATION FOR STRIP FOOTINGS SHALL BE TRIMMED LEVEL AND STRIP FOOTINGS SHALL BE CONSTRUCTED IN APPROXIMATELY LEVEL SECTIONS. ON SLOPING GROUND, THE FOOTINGS SHALL BE STEPPED AS SHOWN ON DETAIL "TYPICAL STEP IN FOOTING"
- G-12:** UNDER SLABS, PROVIDE CONTINUOUS 200µm POLYTHENE MEMBRANE OVER 50mm MINIMUM SAND LEVELING BED. TAPE ALL JOINTS AND PROVIDE MOISTURE PROOF SEAL TO DPC UNDER SLABS.
- G-13:** FOOTINGS AND SLABS DESCRIBED IN THIS SPECIFICATION ARE DESIGNED IN ACCORDANCE WITH AS 2870-1988 AND WORKMANSHIP AND CONSTRUCTION SHALL ALSO COMPLY WITH THIS STANDARD.
- G-14:** IN ADDITION TO THE ABOVE NOTES THE CONSTRUCTION OF THE WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL THE NOTES AND RECOMMENDATIONS IN AS2870-1996.

SITE CALCULATIONS

SITE AREA 761m²

Existing Brick Cottage	173 m ²
Existing Granny Flat	60 m ²
Existing Shed	40 m ²
Proposed Garage	38 m ²

Complying Development Certificate

No. 002014/0301A Dated: 01/05/14

MAA CONSULTANCY ARCHITECTURAL DRAFTING & ENGINEER DESIGN

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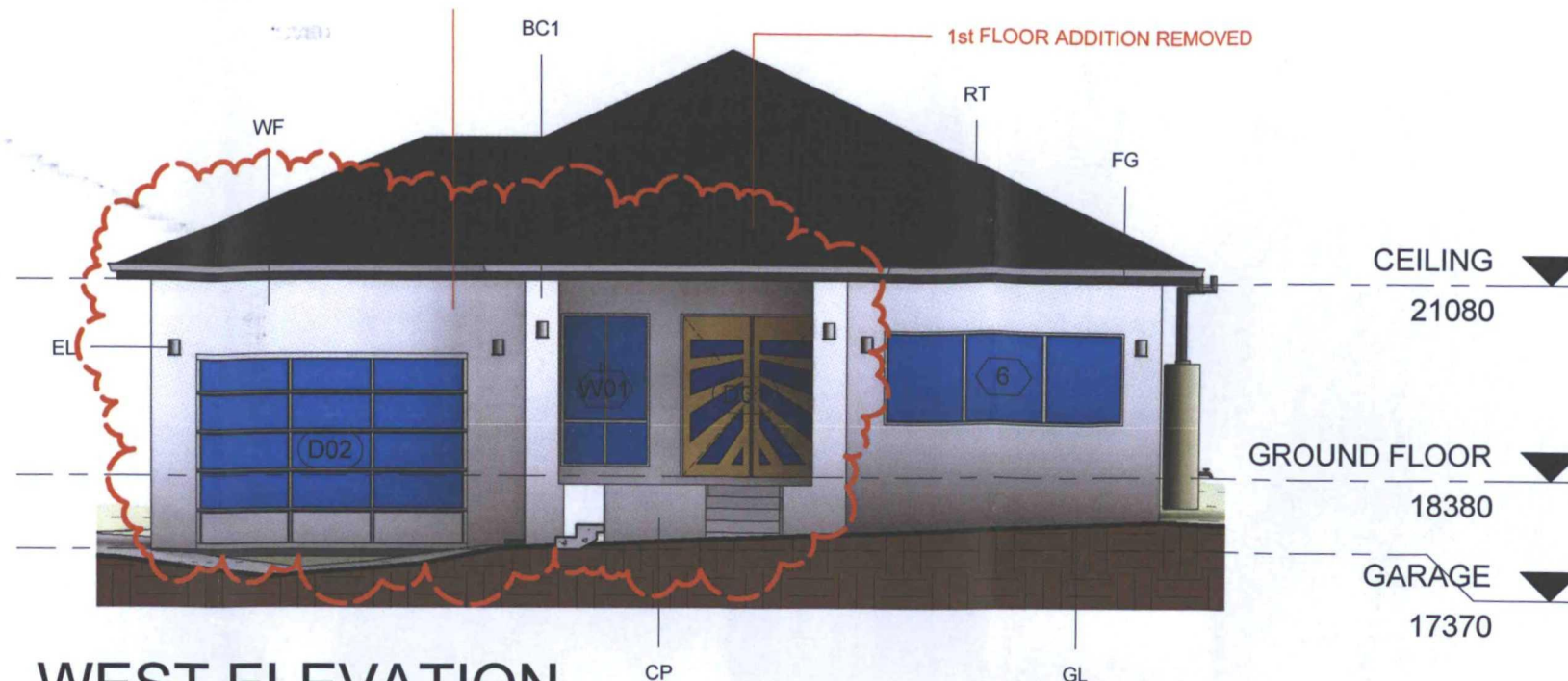
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Issue	Description	Date	Client:	Mrs Thi Thi Hoa Cao & Mr Trong Sy Vu	SITE PLAN
			Project:	Section 86 Modification	Date 21-04-2014 Project number 20130324
			Proposed:	Proposed Garage & Alterations to Existing Brick Cottage	Design by PB
					Check by Alex Khodr
			Address:	LOT A in DP 405592 105 Oliver St, Freshwater NSW 2096	Approve By Alex Khodr
					Scale As indicated

LEGEND

BC1	460mm x 460mm BRICK COLUMN, RENDER AND PAINT FINISH TO MATCH EXISTING
BC2	350mm x 350mm BRICK COLUMN, RENDER AND PAINT FINISH TO MATCH EXISTING
RT	ROOF TILES TO MATCH EXISTING, BUILDER TO ASSESS ON SITE
WF	EXTERIOR WALL, RENDER AND PAINT FINISH TO MATCH EXISTING
FG	ALUMINIUM FASCIA AND GUTTERS
CP	CONCRETE PORCH AND STEPS TO ENGINEER'S DETAILS, SELECTED TILE FINISH
EL	EXTERIOR WALL LIGHT
DP	ALUMINIUM DOWNPIPE
RW	2000L RAINWATER TANK TO BASIX COMMITMENT
TD	TIMBER DECK
GL	NATURAL GROUND LEVEL

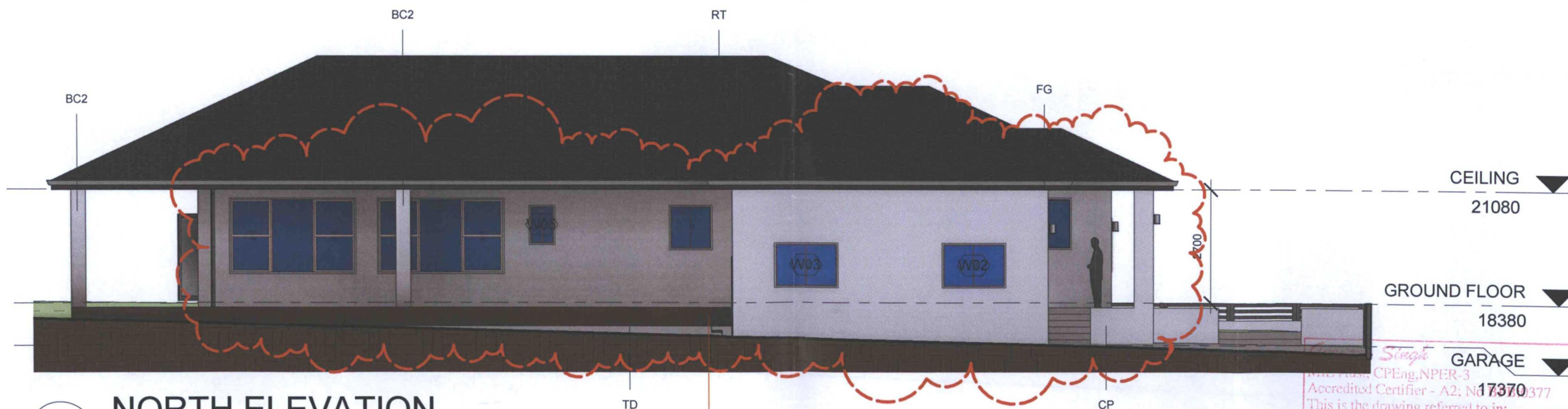
PROPOSED PORCH AND ATTACHED GARAGE.
ROOF TO BE EXTENDED OVER PORCH WITH BRICK COLUMNS



WEST ELEVATION

1 : 100

2
ARCHI
06-10



NORTH ELEVATION

1 : 100

1

ARCHI
06-10

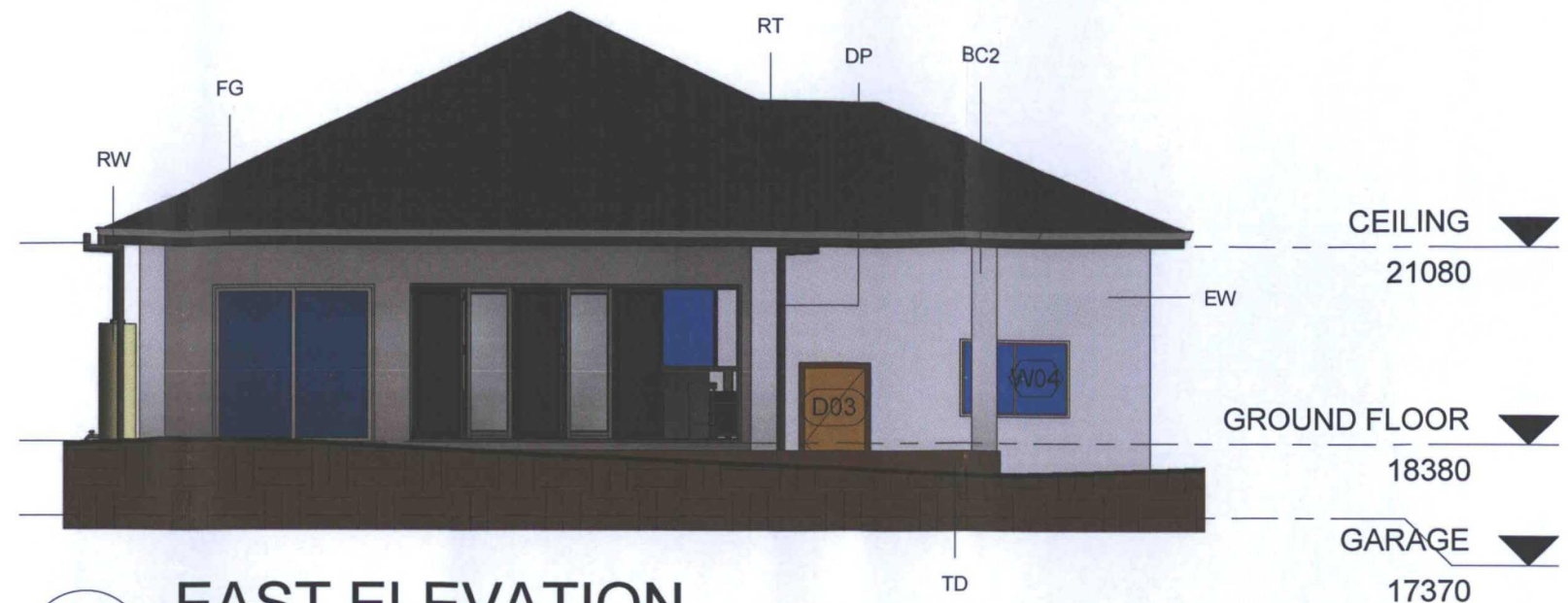
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MAA ARCHITECTURAL DRAFTING & ENGINEER DESIGN CONSULTANCY
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Email: info@maconsultancy.com Mobile: 0468 349 007

Issue	Description	Date	Client: Mrs Thi Thi Hoa Cao & Mr Trong Sy Vu	NORTH & WEST ELEVATIONS		
			Project: Section 86 Modification	Date	21-04-2014	Project number 20130324
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				Check by	Alex Khodr	
			Address: LOT A in DP 405592 105 Oliver St, Freshwater NSW 2096	Approve By	Alex Khodr	
						Scale

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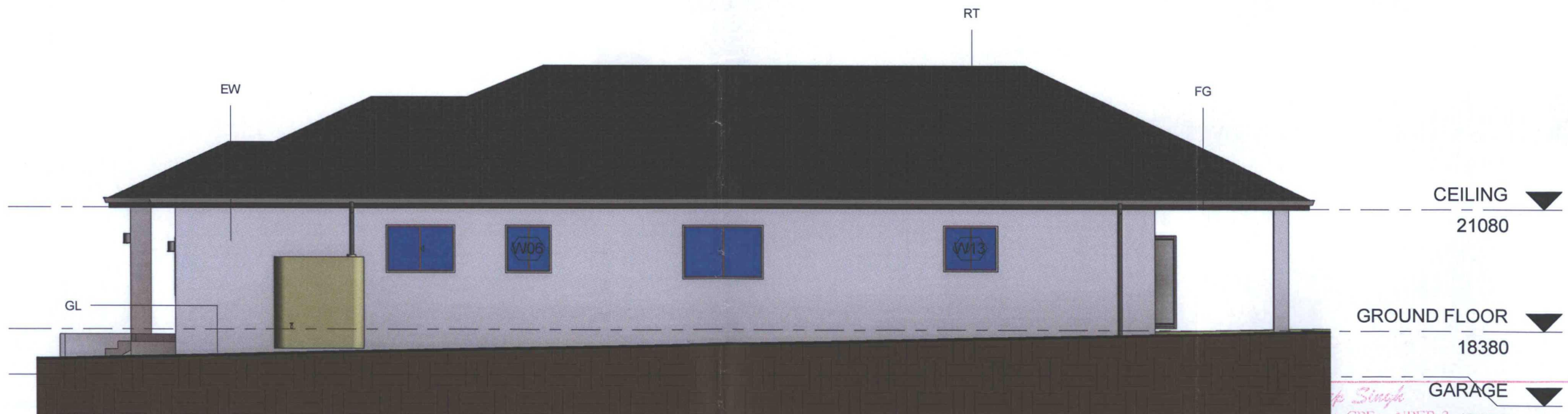


EAST ELEVATION

2

ARCHI
07-10

1 : 100



SOUTH ELEVATION

1

ARCHI
07-10

1 : 100

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No. 2014/0301A Dated: 01/05/14
Signed: [Signature]

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				Approve By: Alex Khodr		
				Scale: As indicated		

CONSTRUCTION NOTES GENERAL

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G3 SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE BUILDER

G4 DURING CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED

G5 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAA CODES AND BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY

G6 ANY CONFLICT BETWEEN THESE NOTES, THE SPECIFICATIONS OR THE DRAWINGS SALL BE RESOLVED BY THE ENGINEER

FOUNDATIONS

F1 FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING INTENSITY OF 150 KPA ON A UNIFORM VIRGIN MATERIALS

F2 FOUNDATION MATERIAL SHALL BE APPROVED BY THE ENGINEER FOR THIS PRESSUE BEFORE PLACING REINFORCEMENT OR CONCRETE

F3 ALL EXCAVATIONS SHALL BE FINISHED CLEAN AND HORIZONTAL CONCRETE

C1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 CURRENT EDITION WITH AMENDMENTS

C2 CONCRETE QUALITY

C3 CLEAR COVER TO REINFORCEMENT SHALL BE AS FOLLOWS UNLESS NOTED OTERWISE

C4 ALL CONCRETE PLACED SHALL BE VIBRATED AND COMPACTED USING AN APPROVED VIBRATOR AND TECHNIQUE

C5 SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES

C6 CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF ENGINEER

C7 NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER

C8 REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION

C9 SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITION SHOWN THE WRITTEN APPROVAL OF THE ENGINEER SHALL BE OBTAINED FOR ANY OTHER SPICE IN ACCORDANCE WITH THE REQUIREMENTS OF AS3600

C10 WELDING REINFORCEMENT WILL BE PERMITTED ONLY AFTER THE WRITTEN APPROVAL OF THE ENGINEER

C11 REINFORCEMENT SYMBOLS

C12 FABRIC TO BE IN ACCORDANCE WITH AS 1304

C13 THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS BEFORE REINFORCEMENT IS COMPLETED THE CONTRACTOR SHALL ALLOW, AFTER THE COMPLETION OF THE REINFORCEMENT, TWO HOURS FOR THE ENGINEER'S INSPECTION

C14 CONCRETE SHALL NOT BE ORDERED UNTIL REINFORCEMENT IS APPROVED BY THE ENGINEER

C15 THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS BEFORE POURING OF CONCRETE

C16 CONCRETE CURING AND STRIPPING TO BE IN ACCORDANCE WITH THE SAA CODES CONCRETE TO BE CURED A MINIMUM OF 7 DAYS AFTER POURING

C17 FORM WORK TO BEAMS AND SLABS SPANNING GREATER THAN 5m SHALL BE PRECAMBERED UPWARDS BY 1/500 OF CLEAR SPAN IN EACH SPAN UNLESS NOTED DIFFERENTLY ON THE DRAWINGS REINFORCEMENT

R1 ALL UNSUPPORTED BARSSHALL BE SHALL BE TIED IN TRANSVERSE DIRECTION Y12 AT 400 CTS

R2 MINIMUM LAP TO FABRIC TO CONSIST OF TWO CROSSWIRES PLUS 25mm AND EXTEND 90mm WITH A CROSSWIRE ONTO WALLS UNLESS NOTED OTHERWISE

R3 TRENCH MESH - 600mm MINIMUM LAP UNLESS NOTED OTHERWISE

BRICKWORK

B1 SLIP JOINTS TO BE USED ON ALL LOAD-BEARING MASONRY WALLS USING 2 LAYERS OF GALVANIZED FLAT STEEL WITH GRAPHITE GREASE SANDWICHED BETWEEN

B2 WALLS SHOWN ON STRUCTURAL DRAWINGS ARE LOAD BEARINGS WALL NON LOAD BEARINGS SHALL BE SEPARATED FROM THE SLABS IN AN APPROVED MANNER

B3 NO BRICK WORK WHICH IS SUPPORTED BY THE SLAB SHALL BE ERECTED UNTIL FORMWORK HAS BEEN REMOVED

B4 BRICK MORTAR TO 1 1 6 PROPORIONS BY VOLUME CEMENT, LIME AND SAND

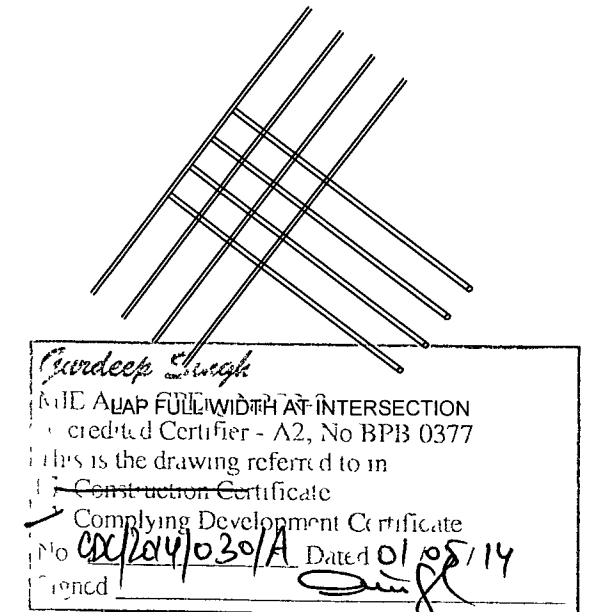
B5 BRICK STRENGTH FOR LOAD BEARING BRICKWORK TO BE A MINIMUM OF C=20 MPa

B6 BLOCKWORK QUALITY
BLOCKWORK STENGTH- MPa
BLOCKWORK GROUT
F'C(28days)
SLUMP
MAX SIZE AGG 20mm

ALL TIMBER WORK SHOULD BE DONE IN ACCORDENCE TO BCA AS 1684-1992 AND TO LOCAL COUNCIL REQUIREMENTS

STANDARD TO AS 3600-CURRENT EDITION WITH AMENDMENTS				
ELEMENT	F'C(28DAYS)	SLUMP	MAX SIZE AGG	ADMIXTURES
GROUND	32 MPa	80	20	-
FIRST F	32 MPa	80	20	-

CAST AGAINST FORMS COMPLYING WITH AS 1509			
ELEMENT	IN SHELTERED LOCATIONS	EXPOSED TO GROUND OR WEATHER	CAST AGAINST OTHER FORMWORK OR THE GROUND
COLUMN&PEDESTALS	40	50	75
BEAMS	25	40	65
FOOTING	-	65	75
SLABS & WALLS	25	30	65



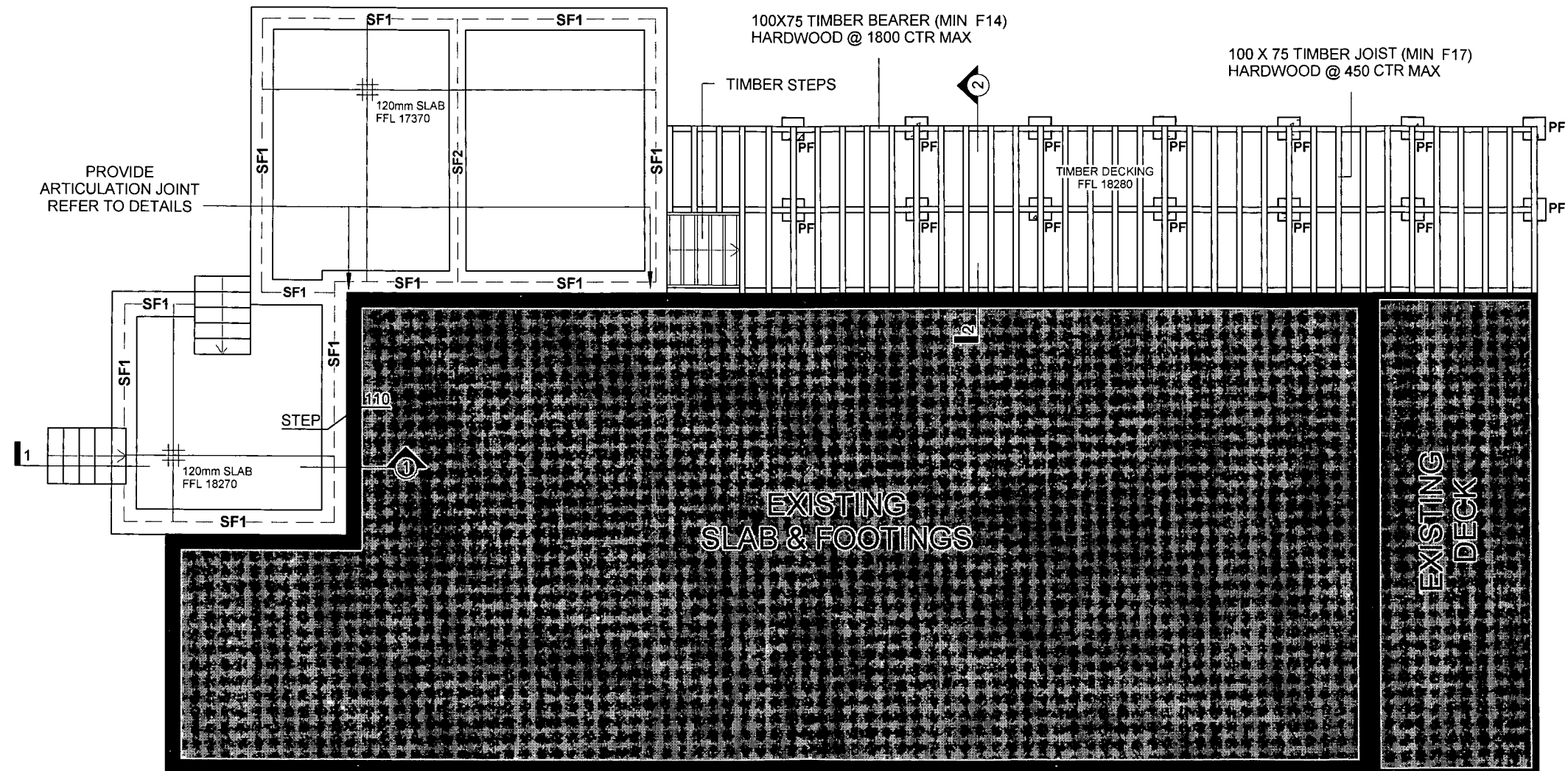


**ARCHITECTURAL
DRAFTING
& ENGINEER DESIGN**

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			Project	Section 86 Modification	Date	21-04-2014	Project number 20130324
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					Check by	Alex Khodr	
			Address LOT A in DP 405592 105 Oliver St, Freshwater NSW 2096		Approve By	Ashraf Elkhauly	
					M I E Aust,60941		Scale 1 20



NOTE
ALL SLABS TO BE 120mm THICK AND REINFORCED WITH
SL 82 MESH TOP, 30mm COVER
F_c' = 25 MPa

1
ENG 02-04
FOOTINGS PLAN
1 100

Hardeep Singh
MIE Aust, CPEngr, NPI R-3
Accredited Certifier - A2, No BPB 0377
This is the drawing referred to in
1. Construction Certificate
2. Complying Development Certificate
to 02/2014/020/A Dated 01/05/14
Signed *Hardeep Singh*



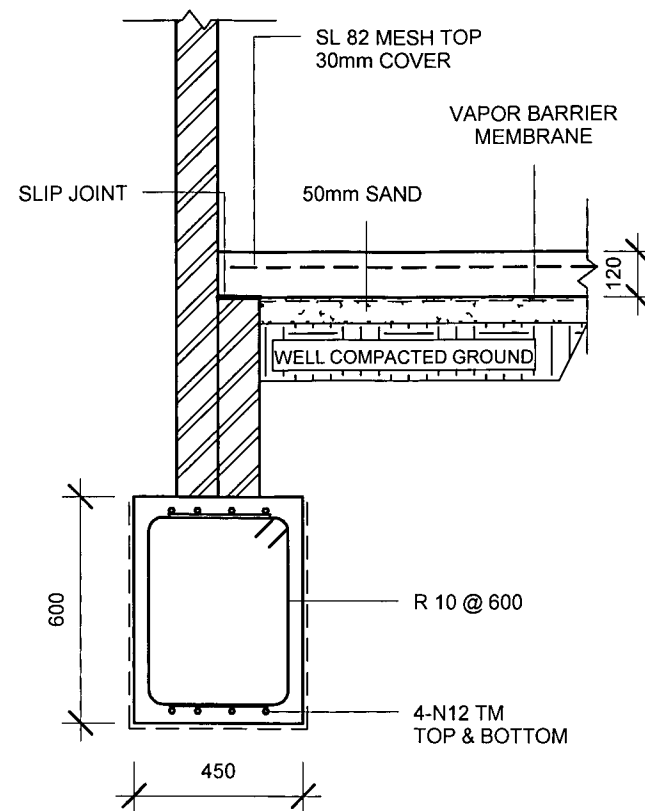
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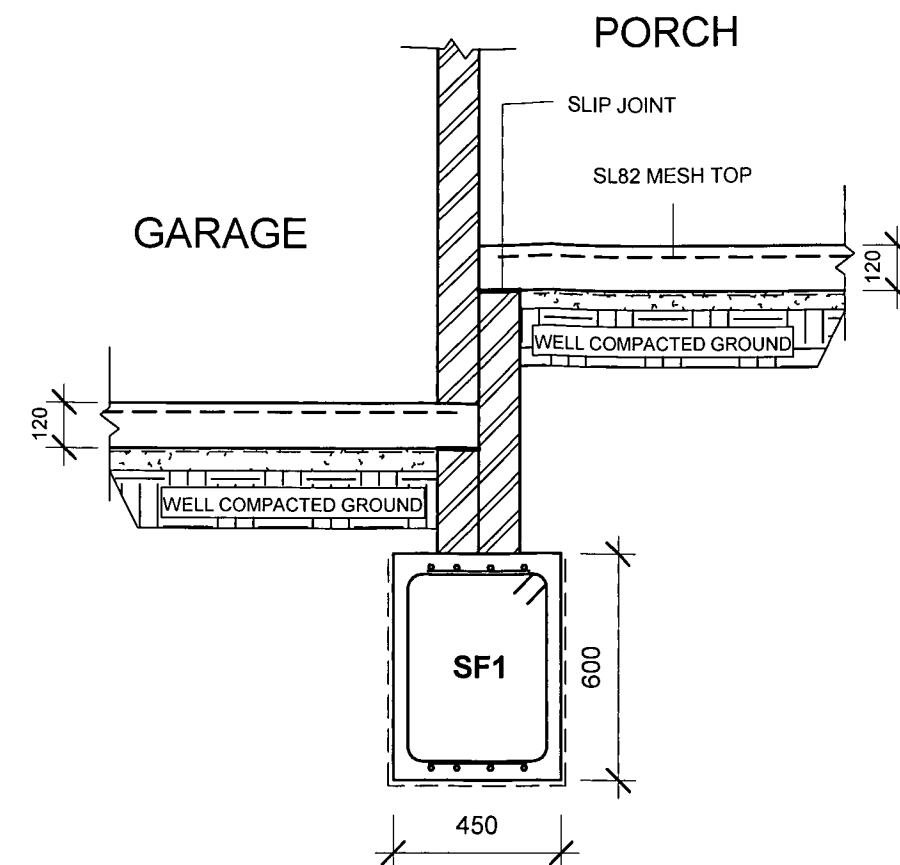
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Issue	Description	Date	Client	Mrs Thi Thi Hoa Cao & Mr Trong Sy Vu	SLAB & FOOTINGS PLAN						
			Project	Section 86 Modification	Date	21-04-2014	Project number	20130324			
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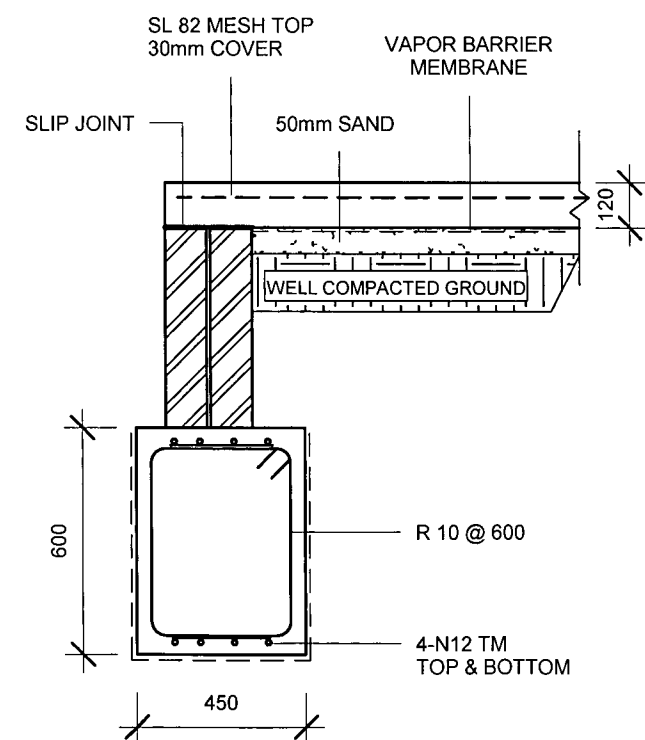
EXTERNAL STRIP FOOTING (SF1) - GARAGE

SCALE 1:20



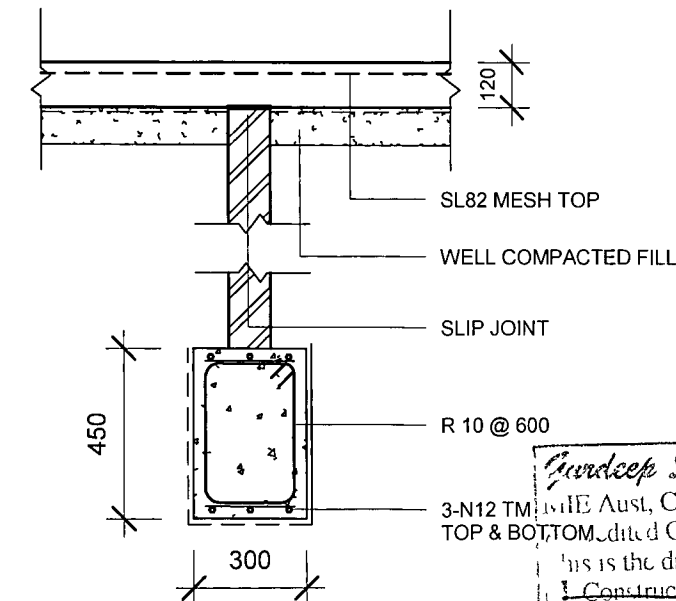
STRIP FOOTING STEP DOWN (SF1)

SCALE 1:20



EXTERNAL STRIP FOOTING (SF1) - PORCH

SCALE 1:20



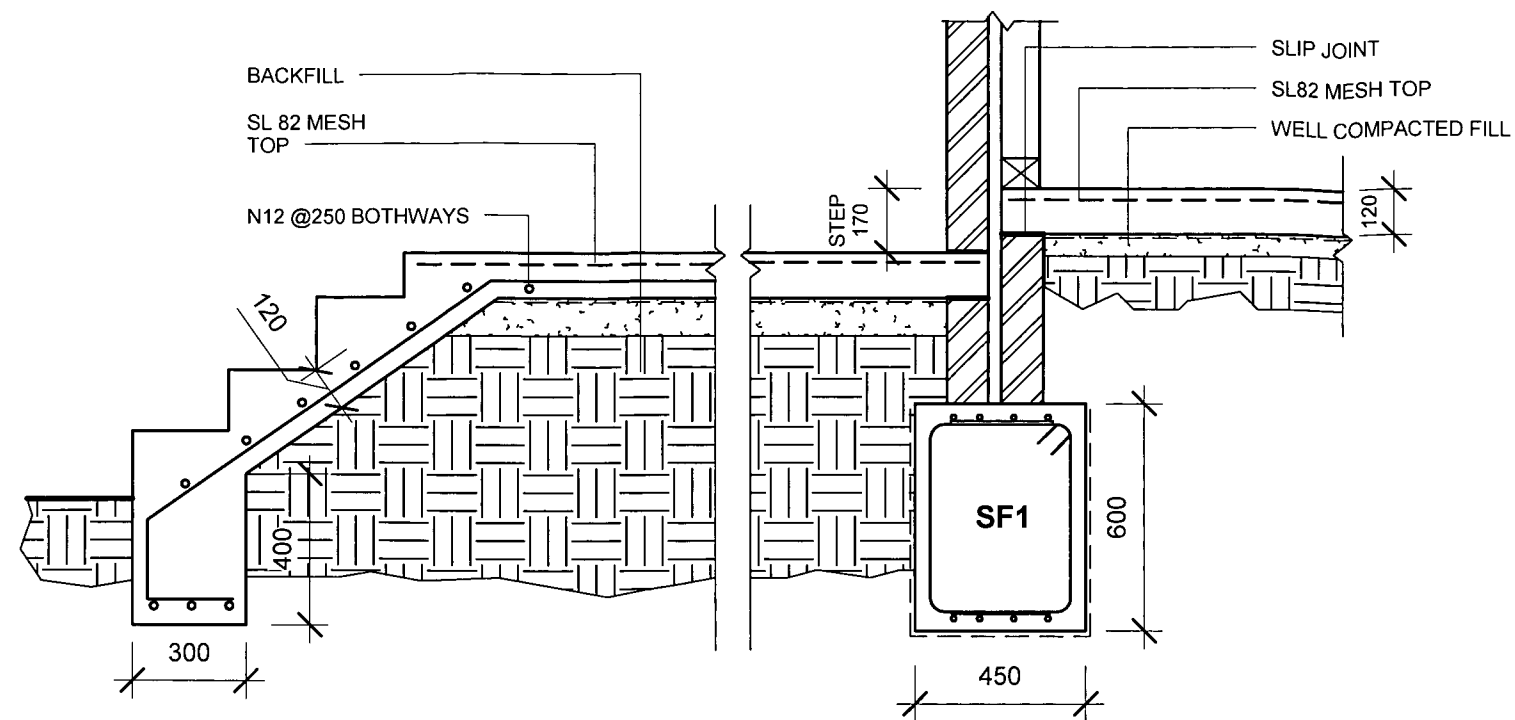
INTERNAL STRIP FOOTING (SF2)

SCALE 1:20

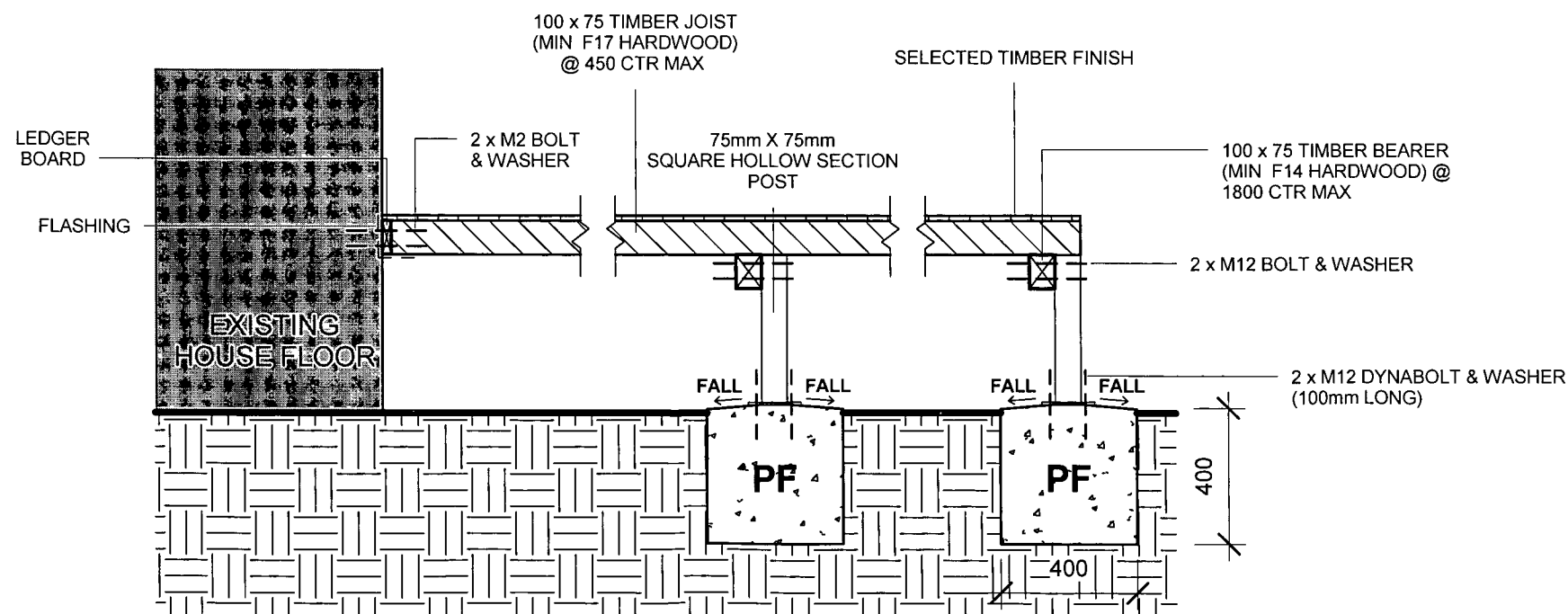
Indeep Singh
MIE Aust, CP Eng, NPER-3
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Indeep Singh

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CONSULTANCY
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Issue	Description	Date	Client	Mrs Thi Thi Hoa Cao & Mr Trong Sy Vu	SECTION DETAILS					
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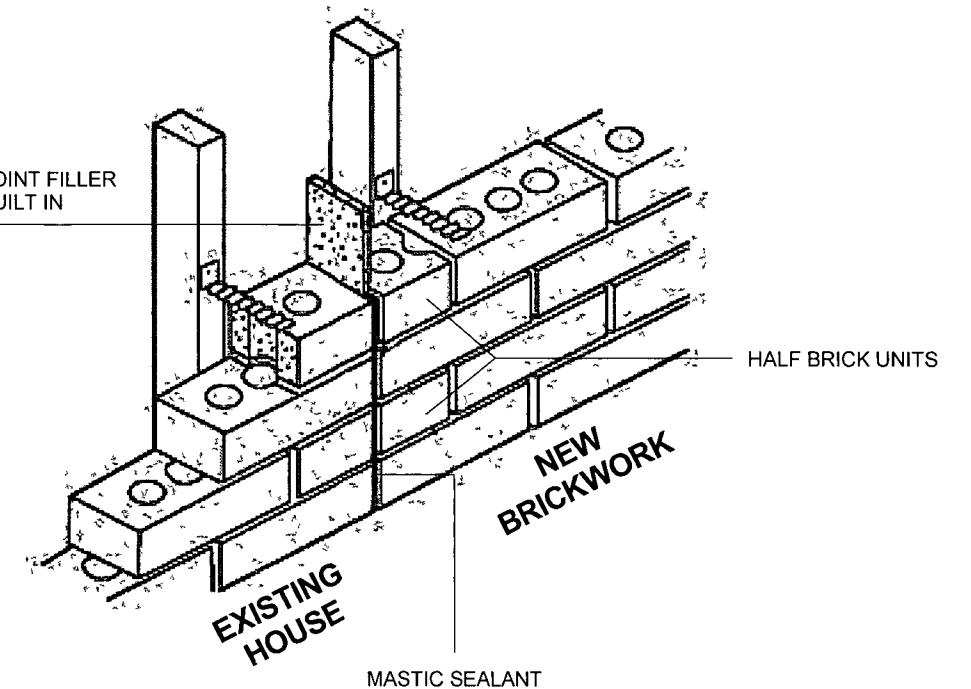


SECTION 1-1 (STEPS)
SCALE 1 20



SECTION 2-2
SCALE 1 20

COMPRESSIBLE FOAM JOINT FILLER
AND MASTIC BACKING BUILT IN
BY BRICKLAYER



ARTICULATION JOINT DETAIL
NTS

Gurdeep Singh
MIE Aust, CPEng, NPFR-3
Credited Certifier - A2, No BPB 0377
This is the drawing referred to in
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Complying Development Certificate
Dated 01/05/14
Signed *Gurdeep Singh*

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