ROWBOTHAM RESIDENCE

PROPOSED ALTERATIONS AND ADDITIONS

8 LEE ROAD, BEACON HILL N.S.W. 2100

23 MAY, 2025

PLAN OR DOCUMENT CERTIFICATION

I AM A QUALIFIED STRUCTURAL DRAFTSPERSON I HOLD THE FOLLOWING QUALIFICATIONS

BUILDING CERTIFICATE - SYDNEY TAFE

MEMBER: BUILDING DESIGNERS ASSOCIATION AUSTRALIA - Accreditation No. 6255

FURTHER I AM APPROPRIATELY QUALIFIED TO CERTIFY THIS

COMPONENT OF THE PROJECT.

I HEREBY STATE THAT THESE PLANS OR DETAILS COMPLY WITH THE CONDITIONS OF DEVELOPMENT CONSENT OF THE APPROPRIATE LOCAL GOVERNMENT AUTHORITY AND / OR THE RELEVANT AUSTRALIAN

BUILDING INDUSTRY STANDARDS.

SALLY GARDNER 23/05/25

NAME DATE SIGNATURE

Sally Gardner





8 Cassia Lane, Dee Why, NSW, 2099 Australia ABN 17 751 732 195 Accreditation Number 6255 www.designanddraft.com.au

SPECIFICATION & NCC Notes

- "Approval" obtained by either an 'Accredited Certifying Authority' or 'Local Council'.
- The Owner will directly pay all fees associated with the following:-
- Building approval from council or accredited certifier, any footpath and kerb deposits with the local council, insurance fees to Building Services Corporation, Long Service Leave levy fees and approval fees by water and sewerage authority. All other fees are to be paid by the builder. The amount of any local authority deposits which are forfeited due to damage or other causes, will be deducted from payments
- The Builder is to provide at his/her own expense adequate Public Risk Insurance and arrange indemnification under the Workers Compensation Act. Works insurance to be as stated in the contract conditions
- All tenderers are to visit the site to satisfy themselves as to the nature and extent of the Works, facilities available and difficulties entailed in the works as Variations will not be allowed due to work arising owing to neglect of this clause
- Variations will not be permitted without prior written approval by the owners.

 The Builder is to ensure all construction, levels and other items comply with the conditions of the Building Approval
- The Builder is to arrange for all inspections required by the relevant authorities and/or lending institutions, to their requirements
- The Builder is to obtain approval for interruptions to existing services and minimise the duration and number in interruptions. Any interruptions to existing services and equipment is to be undertaken by appropriately qualified tradespersons.
- The Builder shall restore, reinstate or replace any damage to existing structures or landscaping caused by the construction works or
- A legible copy of the plans bearing approval stamps, must be always maintained on the job site. Hours of construction shall be restricted to
- the times as required by the building approval.

 These drawings shall be read in conjunction with the BASIX Certificate and all other consultant's drawings and specifications and with any
- such written instructions as may be issued during the course of the contract
- Set out dimensions shown on this drawing shall be verified by the builder on site before commencement of any work. Dimensions shall not be obtained by scaling the drawings. Use only figured dimensions. All dimensions are in millimetres.
- Any detailing in addition to what is supplied shall be resolved between the Owner and the Builder to the Owner's approval, except for any structural details or design which is to be supplied by the Engineer. Any work indicated on the plans but not specified and any item not shown on the plans which is obviously necessary as part of proper
- construction and/or finish, is to be considered as shown and specified and is to be undertaken at the Builder's expense.

 All work to be carried out in a tradesman like manner and in accordance with the standards, codes and regulations of the Standards
- Association of Australia, National Construction Code of Australia and any statutory authority having jurisdiction over the works. The Builder shall provide sediment and siltation control measures as required by Council and maintain them throughout the duration of the

- The Builder shall provide protection to existing trees that remain, or as required by the Approval Conditions.

 Residential slabs, footings and concrete structures to NCC 2022 ABCB Housing Provisions Part 3 & 4, AS2870 Residential slabs and footing & AS3600 Concrete structures.
- All structural work is to be in accordance with the structural details prepared by a suitably qualified structural engineer. Including but not limited to all piers, footings, concrete slabs, retaining walls, steelworks, formwork, underpinning, additional structural loads, timber framing, wind bracing and associated connections. Builder to obtain, prior to finalising the tender unless previously obtained by owners. Steel structures installation certificate to NCC 2022 - ABCB Housing Provisions Part 4, 5 & 6 & AS4100 Steel structures code.
- Steel framing to NCC 2022 ABCB Housing Provisions Part 6, AS4100 Steel Structures, AS/NZS4600 Cold-formed steel structures &
- NASH Stand All brickwork is to be selected by owner and all masonry structures to comply with NCC 2022 - ABCB Housing Provisions Part 5 & AS3700
- If a member which provides structural support to the work is subject to attack by Termites, protection measures are to comply with Termite management installation of Perimeter & Collars to NCC 2022 ABCB Housing Provisions Part 3.4 & AS3660.1 Termite management -New Building Work and be installed to manufacturer's specifications.
- Damp proof course and flashings to NCC 2022 ABCB Housing Provisions Part 5, 7 & 12 & AS/NZS2904 Damp-proof courses and
- Metal Roof & Tile Roof Design and installation shall be in accordance with NCC 2022 ABCB Housing Provisions, Part 7 & AS1562. Timber framing installation to NCC 2022 - ABCB Housing Provisions Part 6, AS1684 Residential timber framed construction &
- AS/NZS1170 Structural design actions. Sustainable timbers and not rainforest or old growth timber will be used. Recycled timber or second hand timkbers are to be sourced and used in preference to plantation timbers, if available and suitable.
- All windows are to be restricted in accordance with NCC 2022 ABCB Housing Provisions Part 11.3.7 & Part 11.3.8 Protection of openable windows where surface below is more than 2m.

 Window and door glazing supply and installation - with BASIX Certificate and commitments confirmed to NCC 2022 - ABCB Housing
- Provisions Part 8, AS1288 Glass in Buildings, AS/NZS2208 Safety glazing materials in buildings & AS2047 Windows and external doors in
- Roof and Wall cladding installation to NCC 2022 ABCB Housing Provisions Part 7 & AS1562 Design and installation of sheet roof and wall cladding.
- Provide Plasterboard Lining installed to manufacturer's specifications & AS2589.
- A breathable vapour permeable membrane that complies and is installed to AS/NZS4200.1 & AS/NZS4200.2, is to be provided to all
- All external wall claddings must be compliant with the requirements of NCC 2022 ABCB Housing Provisions Part 7, AS1684 and all relevant CodeMark Certificates. Claddings are to be battened out from timber frame to provide an "air" gap, to prevent condensation Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturers specification. Check condensation requirements, this may not be needed.
- Natural Stone Cladding to be compliant with the requirements of NCC 2022, ABCB Housing Provisions Part 13.2 Masonry. Workmanship is to comply with relevant Australian Standards or installed in accordance with manufacturers specifications.

 All bathrooms and wet areas to be waterproofed to NCC 2022 ABCB Housing Provisions Part 10, AS3740 and provide a Guaranteed
- Flexible Waterproof Membrane to all wet area floors & shower walls to manufacturers specifications and installa
- Waterproof installation to NCC 2022 Housing Provisions Part 10, AS3740 Waterproofing of domestic wet areas (internal) & AS4654 Waterproof membranes for external use.
- Tiling installation certificate to AS3958.1 and AS3958.2.
- Shower screen, mirrors and wardrobe glass installation to NCC 2022 Housing Provisions Part 8, AS1288 & AS/NZS2208
- Provide lift off hinges where the toilet pan is within 1.2m of the hinged side of the door, in accordance with NCC 2022 ABCB Housing
- Allow for separate taps for the washing machine and keep them separate from those of the laundry tub. A dedicated laundry space comprising of one washtub and a space for a washing machine must be provided in accordance with NCC 2022 - Housing Provisions Part
- All Architraves and skirtings to the profile as selected by owner and painted or stain finish as selected.
- All plumbing and drainage work to be installed and completed by a licensed tradesman and in accordance with the statutory body having authority over the works. Connect all waste to Sydney Water sewer line.
- Sydney Water Sewer Water Services Coordinator to provide certification as required.
 Plumber to provide NSW Fair Trading Plumbing and Drainage Certificate to AS 3500 Plumbing and Drainage Stormwater drainage to be included as required.
- Provide hardwired & interconnected smoke alarm devices. Smoke alarms to be installed to NCC 2022 ABCB Housing Provisions Part 9.5, NSW 9.5.1 & AS 3786.
- 9.5, NOVY 9.3. A AS 3700.
 All Balustrades to comply with NCC 2022 ABCB Housing Provisions Part 11, AS 1684, AS 1170, AS 1288 & AS/NZS 2208
 Glass balustrade installation to NCC 2022 Housing Provisions Part 11, AS 1288 Glass in buildings, AS/NZS 2208 Safety glazing
- materials in buildings & AS 1170 Structural design actions.
- Timber balustrade/privacy screen certificate NCC 2022 ABCB Housing Provisions Part 11, AS 1684 & AS 1170.

 All stairs providing access to comply with NCC 2022 ABCB Housing Provisions Part 11, AS 4586 including slip resistance P3 / R10 for
- Dry or P4 / R11 for Wet
- Condensation Management must be adhered to in accordance with NCC 2022 Housing Provisions Part 10.8.
- Electrical Certificate of Compliance by Licenced Electrician AS/NZS 3000 Wiring Rules
 Electrical works to be in accordance with SAA wiring rules and be done by a licenced tradesperson. Obtain electrical layout prior to
 proceeding. All electrical power (GPO's) and light outlets to be determined by owner.
- Air conditioning installation by a licenced contractor to NCC 2022 ABCB Housing Provisions Part 10 & 13 & AS 4254 Ductwork for air handling systems in buildings.
- Painting: All paints or other coatings shall be of the best quality materials & of approved manufacture. All priming materials shall be of an approved brand acceptable to the manufacturer of the finishing coats to be used. External joinery intended to be painted shall be primed on all faces at the place of assembly. Where new work or alteration work adjoins existing painted surfaces allow for repainting existing surfaces to provide uniform appearance. ZERO-VOC or LOW-VOC paints and primers only are to be used.

SAFETY NOTES

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS AND DEMOLISHERS.

1. FALLS, SLIPS, TRIPS

WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off site or at Ground level to minimise the risk of workers falling more than 2m. However, construction of this building will require workers to be working at heights where a fall more than 2m is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than 2m is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof, or other components of this building will require persons to be situated where a fall from a height more than 2m is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in

accordance with relevant codes of practice, regulations, or legislation

For building where scaffold, ladders, trestles are not appropriate:

Cleaning and maintenance of windows, walls, roof, or other components of this building will require persons to be situated where a fall from a height more than 2m is possible. Where this type of activity is required, scaffolding, fall barriers or personal protective equipment (PPE) should be used in accordance with relevant codes of practice, regulations, or legislation

SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES SPECIFIED

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes / feet. Any changes to the specified finish should be made in consultation with the designer or if this is not practicable, surfaces with an equivalent or better slip resistance should be chose

FLOOR FINISHES BY OWNER

If the designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building acts as a workplace.

Building Owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven or present a trip hazard. Spills, loose material, stray objects, or any other matter that may cause a slip or a trip hazard should be cleared and removed from access

Contractors should be required to maintain a tidy work site during construction, maintenance, or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2.FALLING OBJECTS

LOOSE MATERIAL OR SMALL OBJECTS

Construction, maintenance, or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below

Prevent or restrict access to areas below where the work is being carried out.

Provide toe boards to scaffolding or work platforms Provide protective structure below the work area

Ensure that all persons below the work area have personal protective equipment (PPE).

BUILDING COMPONENTS

During construction, renovation, or demolition of this building, parts of the structure including prefabricated steelwork, heavy panels and other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is always in place when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access below the load is

3 TRAFFIC MANAGEMENT

For building on a major, narrow, or steeply sloping road:

Parking of vehicles or loading / unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance, or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where onsite loading/unloading is restricted

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas For all buildings

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by a trained traffic management personnel should be adopted for the work site

4. SERVICES

Locations with underground power:

Locations with overhead power lines:

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans, but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service, such as dial before you dig, appropriate excavation practices should be used and, where necessary, specialist contractors should be used.

Underground power lines MAY be in or around this site. All underground power lines must be disconnected, or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing

Overhead power lines MAY be in or around this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground. Where there is a danger of this occurring, power lines should be, where practicable, disconnected or relocated. Where this is not practicable adequate warning in the form of bright coloured tape or signage should be

5.MANUAL TASKS

Components within this design with a mass of more than 25kg should be lifted by 2 or more workers or by a mechanical lifting device. Where this is not practicable, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the mass of packages and where practical all these items should be stored o site in a way which minimises bending before lifting. Advice should be provided on safety lifting methods in all areas where lifting may occur. Construction, maintenance, and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturers specifications and not used when faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked, and personal protective equipment should be used in accordance with manufacturers specifications.

6.HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to building constructed prior to 1990:

If this existing building was constructed prior to: -

1990 - it therefore may contain asbestos.

1986 - it therefore is likely to contain asbestos Either in cladding material or in fire retardant material. In either case, the builder should check and, if necessary, take appropriate

action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure POWDERED MATERIALS Many materials used in the construction of this building can cause harm if inhaled in the powdered form. Persons working on or in the

building during construction, operational maintenance, or demolition should ensure good ventilation and wear PPE including protection against inhalation while using powdered material or when sanding, drilling, cutting, or otherwise disturbing or creating powdered

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear PPE including protection against inhalation of harmful material when sanding, drilling, cutting, or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning products and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. PPE may also be required. The manufacturers recommendations for the use must always be carefully considered.

Fibreglass, rockwool, ceramic and other material used for the thermal or sound insulations may contain synthetic mineral fibre which may be harmful if inhaled or if it meets the skin, eyes, or other sensitive parts of the body. PPE including protection against inhalation of harmful material should be used when installing, removing, or working near insulation material

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sandling and application and for a period after installations. PPE may also be required. The manufacturers recommendations for the use must be carefully considered at all times

7. CONFIRMED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practicable installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practicable, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For building with enclosed spaces where maintenance of other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance, or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, sir testing equipment and PPE should be provided SMALL SPACES

For building with small spaces where maintenance or other access may be required:

Some small spaces within this building may require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces, they should be schedules so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces

8.PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant, or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDINGS RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it later, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement act should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

For non-residential building where the end use has not been identified:

This building has been designed to the requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit out for the end user

For non-residential buildings where the end use is known:

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs later a further assessment of the workplace health and safety issues should be undertaker

10. OTHER HIGH-RISK ACTIVITY

All electrical work should be carried out in accordance with the relevant Ausgrid Network Standards and SafeWork NSW Codes of Practice: managing electrical risks at the workplace, AS/NZ3012 and all licensing requirements

All work using plant should be carried out in accordance with the code of practice: managing risks of plant at the workplace. All work should be carried out in accordance with code of practice: managing noise and preventing hearing loss at work. Due to the history of serious incidents, it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All of the above applies

BUILDING DESIGNE
DUIL DINO DECIONE
- Hala
ail ail

Accreditation Number 6255 ABN 17 751 732 195





drawing is the copyright of Sally Gardner Design & Draft and may ot be altered, reproduced or transmitted in any form or by any means part or in whole without permission of Sally Gardner Design & Draft, o not scale dimensions from this drawing. Figured dimensions are to b 3 not scale universation of the control of the c is or fabrication of components, or so romissions are to be verified by the builder / contractor cred to the designer prior to the commencement of works,

Julie + Todd ROWBOTHAM

Proposed Alterations + Additions 8 Lee Road, Beacon Hill, N.S.W. 2100 Specification & Safety Notes

25-0327 1:100 @ A3 23 May, N1 2025

WINDOW SCHEDULE

NO.	HEIGHT	WIDTH	LOCATION	FRAME / GLAZING STYLE (minimum BASIX requirement)	U value : SHG	C Additional Requirements
WINDOV	V SCHEDULE					
W1	1.200	0.900	Sunroom	Powder Coated Aluminium framed Louver window with clear glazing	6.44 : 0.75	Nil
W2	1.200	0.900	Sunroom	Powder Coated Aluminium framed Louver window with clear glazing	6.44 : 0.75	Nil
W3	2.400	1.550	Sunroom	Powder Coated Aluminium framed Fixed / Louver window with clear glazing	6.44 : 0.75	Louver gaps not to exceed 100mm when open
W4	2.400	1.550	Sunroom	Powder Coated Aluminium framed Fixed / Louver window with clear glazing	6.44 : 0.75	Louver gaps not to exceed 100mm when open
W5	2.400	1.550	Sunroom	Powder Coated Aluminium framed Fixed / Louver window with clear glazing	6.44 : 0.75	Louver gaps not to exceed 100mm when open
W6	2.400	1.550	Sunroom	Powder Coated Aluminium framed Fixed / Louver window with clear glazing	6.44 : 0.75	Louver gaps not to exceed 100mm when open
GLAZED	DOOR SCHE	DULE				
D1	2.200	2.000	Sunroom	Powder Coated Aluminium framed Sliding door with clear glazing	6.44 : 0.75	Nil

All sizes listed include the frame and are nominal sizes for BASIX Certification. All glazing assemblies to comply with NCC 2022 - ABCB Housing Provisions Part 8, AS1288 Glass in Buildings and AS/NZS2208 Safety Glazing Materials in Buildings and AS2047 Windows and External doors in Buildings. All external glazing is to have a maximum reflectivity index of 25%.

DOOR & WINDOW NOTE:

All Doors and Windows to be keyed alike with deadlocks to all sashes & doors. Provide weather strips and door seals around openings to prevent drafts. All new bedroom windows, where the floor level of the room is 2.0m or more above outside finished ground level, must be supplied with either permanently fixed robust mesh screens or permanent window locks which prevent the window from opening more than 125mm, if the lowest openable portion of the window is within 1.7m of the floor, in accordance with NCC - 2022, Part 11.3.7 & Part 11.3.8. Wind loading compliance to all new windows and glazed doors to be confirmed by the Engineer prior to ordering and installation.

BASIX INSULATION SCHEDULE - (minimum requirements)

Construction	Additional insulation required (R-value)
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking dark (solar absorptance > 0.70)

ROOFING MATERIAL & COLOUR SCHEDULE



Lysaght - "Custom-orb" sheeting Colour classification in accordance with NSW Basix (Dark - solar absorbance > 0.70) "Ironstone" - Colorbond roof sheeting.

ROOFING MATERIALS

Roof tiles / sheeting to be compliant with the requirements of NCC 2022 - ABCB Housing Provisions Part 7

IMPORTANT NOTE: Any proposed product changes after approval of the CC to be immediately notified to the Certifying Authority for concurrence.

EXTERNAL WALL CLADDING MATERIAL



External cladding to match existing in profile Use "James Hardie - Axon" cladding as an alternative if original cladding cannot be matched.

	all all
	haaa
	BUILDING DESIGNERS
4-4-	 ASSOCIATION OF AUSTRALIA

0413 710 256 ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAF



Julie + Todd ROWBOTHAM

Project	Proposed Alterations + Additions 8 Lee Road, Beacon Hill, N.S.W. 2100
Drawing Title	Schedules & BASIX Commitments

Scale 1:100 @ A3	^{Job Number} 25-0327		
Date	Drawn RG	Drawing No	Revis
23 May, 2025	Checked SG	N2	-

BASIX COMMITMENTS

LIGHTING: Basix requirements

A minimum of 40% of new or altered light fixtures

must be fitted with flourescent, compact flourescent or light-emitting diode (LED) lamps.

























