

ROWBOTHAM RESIDENCE

PROPOSED ALTERATIONS AND ADDITIONS

8 LEE ROAD,
BEACON HILL
N.S.W. 2100

23 MAY, 2025

PLAN OR DOCUMENT CERTIFICATION

I AM A QUALIFIED STRUCTURAL DRAFTSPERSON

I HOLD THE FOLLOWING QUALIFICATIONS

BUILDING CERTIFICATE - SYDNEY TAFE

MEMBER: BUILDING DESIGNERS ASSOCIATION AUSTRALIA - Accreditation No. 6255

FURTHER I AM APPROPRIATELY QUALIFIED TO CERTIFY THIS
COMPONENT OF THE PROJECT.

I HEREBY STATE THAT THESE PLANS OR DETAILS COMPLY WITH THE
CONDITIONS OF DEVELOPMENT CONSENT OF THE APPROPRIATE
LOCAL GOVERNMENT AUTHORITY AND / OR THE RELEVANT AUSTRALIAN
BUILDING INDUSTRY STANDARDS.

SALLY GARDNER 23/05/25

NAME

DATE

Sally Gardner

SIGNATURE



8 Cassia Lane, Dee Why, NSW, 2099 Australia
ABN 17 751 732 195
Accreditation Number 6255
www.designanddraft.com.au

- "Approval" - obtained by either an 'Accredited Certifying Authority' or 'Local Council'. The Owner will directly pay all fees associated with the following:-
- Building approval from council or accredited certifier, any footpath and kerb deposits with the local council, insurance fees to Building Services Corporation, Long Service Leave levy fees and approval fees by water and sewerage authority. All other fees are to be paid by the builder. The amount of any local authority deposits which are forfeited due to damage or other causes, will be deducted from payments due to the builder.
- The Builder is to provide at his/her own expense adequate Public Risk Insurance and arrange indemnification under the Workers Compensation Act. Works insurance to be as stated in the contract conditions.
- All tenderers are to visit the site to satisfy themselves as to the nature and extent of the Works, facilities available and difficulties entailed in the works as Variations will not be allowed due to work arising owing to neglect of this clause.
- Variations will not be permitted without prior written approval by the owners.
- The Builder is to ensure all construction, levels and other items comply with the conditions of the Building Approval.
- The Builder is to arrange for all inspections required by the relevant authorities and/or lending institutions, to their requirements.
- The Builder is to obtain approval for interruptions to existing services and minimise the duration and number in interruptions. Any interruptions to existing services and equipment is to be undertaken by appropriately qualified tradespersons.
- The Builder shall restore, reinstate or replace any damage to existing structures or landscaping caused by the construction works or workpersons.
- A legible copy of the plans bearing approval stamps, must be always maintained on the job site. Hours of construction shall be restricted to the times as required by the building approval.
- These drawings shall be read in conjunction with the BASIX Certificate and all other consultant's drawings and specifications and with any such written instructions as may be issued during the course of the contract.
- Set out dimensions shown on this drawing shall be verified by the builder on site before commencement of any work. Dimensions shall not be obtained by scaling the drawings. Use only figured dimensions. All dimensions are in millimetres.
- Any detailing in addition to what is supplied shall be resolved between the Owner and the Builder to the Owner's approval, except for any structural details or design which is to be supplied by the Engineer.
- Any work indicated on the plans but not specified and any item not shown on the plans which is obviously necessary as part of proper construction and/or finish, is to be considered as shown and specified and is to be undertaken at the Builder's expense.
- All work to be carried out in a tradesman like manner and in accordance with the standards, codes and regulations of the Standards Association of Australia, National Construction Code of Australia and any statutory authority having jurisdiction over the works.
- The Builder shall provide sediment and siltation control measures as required by Council and maintain them throughout the duration of the works.
- The Builder shall provide protection to existing trees that remain, or as required by the Approval Conditions.
- Residential slabs, footings and concrete structures to NCC 2022 - ABCB Housing Provisions Part 3 & 4, AS2870 Residential slabs and footing & AS3600 Concrete structures.
- All structural work is to be in accordance with the structural details prepared by a suitably qualified structural engineer. Including but not limited to all piers, footings, concrete slabs, retaining walls, steelworks, formwork, underpinning, additional structural loads, timber framing, wind bracing and associated connections. Builder to obtain, prior to finalising the tender unless previously obtained by owners.
- Steel structures installation certificate to NCC 2022 - ABCB Housing Provisions Part 4, 5 & 6 & AS4100 Steel structures code.
- Steel framing to NCC 2022 - ABCB Housing Provisions Part 6, AS4100 Steel Structures, AS/NZS4600 Cold-formed steel structures & NASH Standard.
- All brickwork is to be selected by owner and all masonry structures to comply with NCC 2022 - ABCB Housing Provisions Part 5 & AS3700 Masonry structures.
- If a member which provides structural support to the work is subject to attack by Termites, protection measures are to comply with Termite management installation of Perimeter & Collars to NCC 2022 - ABCB Housing Provisions Part 3.4 & AS3660.1 Termite management - New Building Work and be installed to manufacturer's specifications.
- Damp proof course and flashings to NCC 2022 - ABCB Housing Provisions Part 5, 7 & 12 & AS/NZS2904 Damp-proof courses and flashings.
- Metal Roof & Tile Roof Design and installation shall be in accordance with NCC 2022 - ABCB Housing Provisions, Part 7 & AS1562.
- Timber framing installation to NCC 2022 - ABCB Housing Provisions Part 6, AS1684 Residential timber framed construction & AS/NZS1170 Structural design actions. Sustainable timbers and not rainforest or old growth timber will be used. Recycled timber or second hand timbers are to be sourced and used in preference to plantation timbers, if available and suitable.
- All windows are to be restricted in accordance with NCC 2022 - ABCB Housing Provisions Part 11.3.7 & Part 11.3.8 Protection of openable windows where surface below is more than 2m.
- Window and door glazing supply and installation - with BASIX Certificate and commitments confirmed to NCC 2022 - ABCB Housing Provisions Part 8, AS1288 Glass in Buildings, AS/NZS2208 Safety glazing materials in buildings & AS2047 Windows and external doors in buildings.
- Roof and Wall cladding installation to NCC 2022 - ABCB Housing Provisions Part 7 & AS1562 Design and installation of sheet roof and wall cladding.
- Provide Plasterboard Lining installed to manufacturer's specifications & AS2589.
- A breathable vapour permeable membrane that complies and is installed to AS/NZS4200.1 & AS/NZS4200.2, is to be provided to all external walls.
- All external wall claddings must be compliant with the requirements of NCC 2022 - ABCB Housing Provisions Part 7, AS1684 and all relevant CodeMark Certificates. Claddings are to be battened out from timber frame to provide an "air" gap, to prevent condensation. Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturers specification. Check condensation requirements, this may not be needed.
- Natural Stone Cladding to be compliant with the requirements of NCC 2022, ABCB Housing Provisions - Part 13.2 Masonry. Workmanship is to comply with relevant Australian Standards or installed in accordance with manufacturers specifications.
- All bathrooms and wet areas to be waterproofed to NCC 2022 - ABCB Housing Provisions Part 10, AS3740 and provide a Guaranteed Flexible Waterproof Membrane to all wet area floors & shower walls to manufacturers specifications and installation instructions.
- Waterproof installation to NCC 2022 - Housing Provisions Part 10, AS3740 Waterproofing of domestic wet areas (internal) & AS4654 Waterproof membranes for external use.
- Tiling installation certificate to AS3958.1 and AS3958.2.
- Shower screen, mirrors and wardrobe glass installation to NCC 2022 - Housing Provisions Part 8, AS1288 & AS/NZS2208.
- Provide lift off hinges where the toilet pan is within 1.2m of the hinged side of the door, in accordance with NCC 2022 - ABCB Housing Provisions Part 10.4.
- Allow for separate taps for the washing machine and keep them separate from those of the laundry tub. A dedicated laundry space comprising of one washbasin and a space for a washing machine must be provided in accordance with NCC 2022 - Housing Provisions Part 10.4.
- All Architraves and skirtings to the profile as selected by owner and painted or stain finish as selected.
- All plumbing and drainage work to be installed and completed by a licensed tradesman and in accordance with the statutory body having authority over the works. Connect all waste to Sydney Water sewer line.
- Sydney Water Sewer - Water Services Coordinator to provide certification as required.
- Plumber to provide NSW Fair Trading Plumbing and Drainage Certificate to AS 3500 Plumbing and Drainage - Stormwater drainage to be included as required.
- Provide hardwired & interconnected smoke alarm devices. Smoke alarms to be installed to NCC 2022 - ABCB Housing Provisions Part 9.5, NSW 9.5.1 & AS 3786.
- All Balustrades to comply with NCC 2022 - ABCB Housing Provisions Part 11, AS 1684, AS 1170, AS 1288 & AS/NZS 2208
- Glass balustrade installation to NCC 2022 - Housing Provisions Part 11, AS 1288 Glass in buildings, AS/NZS 2208 Safety glazing materials in buildings & AS 1170 Structural design actions.
- Timber balustrade/privacy screen certificate NCC 2022 - ABCB Housing Provisions Part 11, AS 1684 & AS 1170.
- All stairs providing access to comply with NCC 2022 - ABCB Housing Provisions Part 11, AS 4586 including slip resistance P3 / R10 for Dry or P4 / R11 for Wet.
- Condensation Management must be adhered to in accordance with NCC 2022 - Housing Provisions Part 10.8.
- Electrical Certificate of Compliance by Licensed Electrician - AS/NZS 3000 Wiring Rules
- Electrical works to be in accordance with SAA wiring rules and be done by a licensed tradesperson. Obtain electrical layout prior to proceeding. All electrical power (GPO's) and light outlets to be determined by owner.
- Air conditioning installation by a licensed contractor to NCC 2022 - ABCB Housing Provisions Part 10 & 13 & AS 4254 Ductwork for air handling systems in buildings.
- Painting: All paints or other coatings shall be of the best quality materials & of approved manufacture. All priming materials shall be of an approved brand acceptable to the manufacturer of the finishing coats to be used. External joinery intended to be painted shall be primed on all faces at the place of assembly. Where new work or alteration work adjoins existing painted surfaces allow for repainting existing surfaces to provide uniform appearance. ZERO-VOC or LOW-VOC paints and primers only are to be used.

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WINDOW SCHEDULE

NO.	HEIGHT	WIDTH	LOCATION	FRAME / GLAZING STYLE (minimum BASIX requirement)	U value : SHGC	Additional Requirements
WINDOW SCHEDULE						
W1	1.200	0.900	Sunroom	Powder Coated Aluminium framed Louver window with clear glazing	6.44 : 0.75	Nil
W2	1.200	0.900	Sunroom	Powder Coated Aluminium framed Louver window with clear glazing	6.44 : 0.75	Nil
W3	2.400	1.550	Sunroom	Powder Coated Aluminium framed Fixed / Louver window with clear glazing	6.44 : 0.75	Louver gaps not to exceed 100mm when open
W4	2.400	1.550	Sunroom	Powder Coated Aluminium framed Fixed / Louver window with clear glazing	6.44 : 0.75	Louver gaps not to exceed 100mm when open
W5	2.400	1.550	Sunroom	Powder Coated Aluminium framed Fixed / Louver window with clear glazing	6.44 : 0.75	Louver gaps not to exceed 100mm when open
W6	2.400	1.550	Sunroom	Powder Coated Aluminium framed Fixed / Louver window with clear glazing	6.44 : 0.75	Louver gaps not to exceed 100mm when open
GLAZED DOOR SCHEDULE						
D1	2.200	2.000	Sunroom	Powder Coated Aluminium framed Sliding door with clear glazing	6.44 : 0.75	Nil

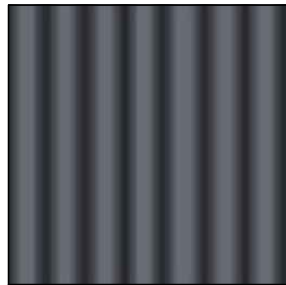
All sizes listed include the frame and are nominal sizes for BASIX Certification.
All glazing assemblies to comply with NCC 2022 - ABCB Housing Provisions Part 8, AS1288 Glass in Buildings and AS/NZS2208 Safety Glazing Materials in Buildings and AS2047 Windows and External doors in Buildings.
All external glazing is to have a maximum reflectivity index of 25%.

DOOR & WINDOW NOTE:
All Doors and Windows to be keyed alike with deadlocks to all sashes & doors. Provide weather strips and door seals around openings to prevent drafts.
All new bedroom windows, where the floor level of the room is 2.0m or more above outside finished ground level, must be supplied with either permanently fixed robust mesh screens or permanent window locks which prevent the window from opening more than 125mm, if the lowest openable portion of the window is within 1.7m of the floor, in accordance with NCC - 2022, Part 11.3.7 & Part 11.3.8. Wind loading compliance to all new windows and glazed doors to be confirmed by the Engineer prior to ordering and installation.

BASIX INSULATION SCHEDULE - (minimum requirements)

Construction	Additional insulation required (R-value)
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking dark (solar absorptance > 0.70)

ROOFING MATERIAL & COLOUR SCHEDULE



Lysaght - "Custom-orb" sheeting
Colour classification in accordance with
NSW Basix (Dark - solar absorbance > 0.70)
" Ironstone " - Colorbond roof sheeting.

ROOFING MATERIALS
Roof tiles / sheeting to be compliant with the requirements of NCC 2022 - ABCB Housing Provisions Part 7 and AS 1582

IMPORTANT NOTE: Any proposed product changes after approval of the CC to be immediately notified to the Certifying Authority for concurrence.




EXTERNAL WALL CLADDING MATERIAL



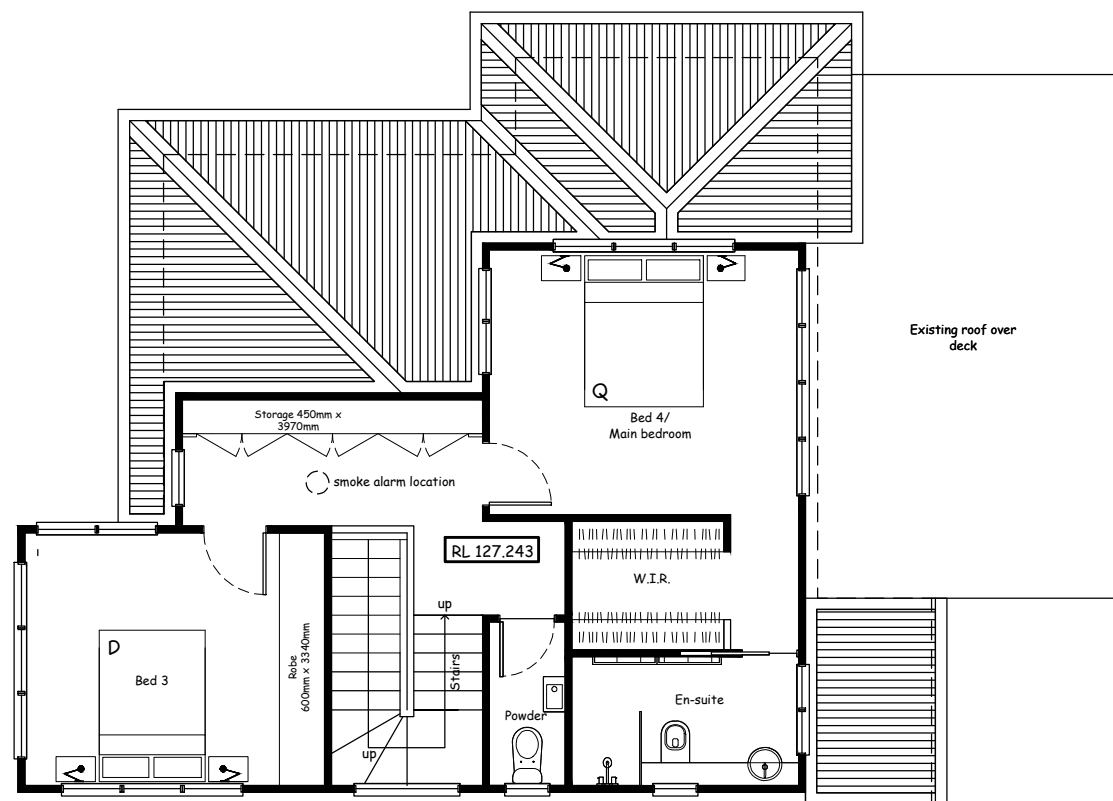
External cladding to match existing in profile
Use "James Hardie - Axon" cladding as an alternative if original cladding cannot be matched.

BASIX COMMITMENTS

LIGHTING : Basix requirements
A minimum of 40% of new or altered light fixtures must be fitted with flourescent, compact flourescent or light-emitting diode (LED) lamps.

			 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA	Accreditation Number 6255 0413 710 256 ABN 17 751 732 195  SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR APPROVAL	 SustainAbility Design™ Specialist	This drawing is the copyright of Sally Gardner Design & Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design & Draft. Do not scale dimensions from this drawing. Figured dimensions are to be used only. The builder / contractor shall check and verify all levels and dimensions on the site prior to commencement of any work, creation of shop drawings or fabrication of components. Any errors or omissions are to be verified by the builder / contractor and referred to the designer prior to the commencement of works.	Clients Julie + Todd ROWBOTHAM	Project Proposed Alterations + Additions 8 Lee Road, Beacon Hill, N.S.W. 2100	True North	Scale 1:100 @ A3	Job Number 25-0327		
								Drawing Title Schedules & BASIX Commitments		Date 23 May, 2025	Drawn RG	Drawing No N2	Revision -
											Checked SG		
	date	amendment											

19
D.P.211841
568.3 m² calc



18
D.P.211841

20
D.P.211841

EXISTING UPPER FLOOR AREA = 54.01m²
(measured to outside face of external walls)

IN GROUND
POOL

date	amendment



Accreditation Number 6255
0413 710 256
ABN 17 751 732 195

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PLANS DRAWN FOR APPROVAL



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Clients

Julie + Todd
ROWBOTHAM

Project

Proposed Alterations + Additions
8 Lee Road, Beacon Hill, N.S.W. 2100

Drawing Title

Existing Upper Floor Plan

True North



Scale
1:100 @ A3

Date
23 May,
2025

Job Number

25-0327

Drawn

RG

Checked

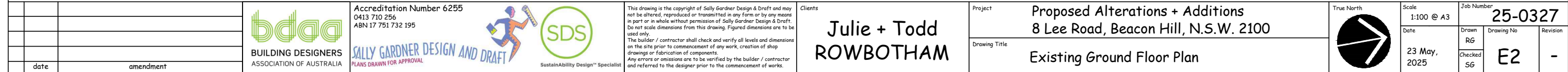
SG

Drawing No

E1

Revision

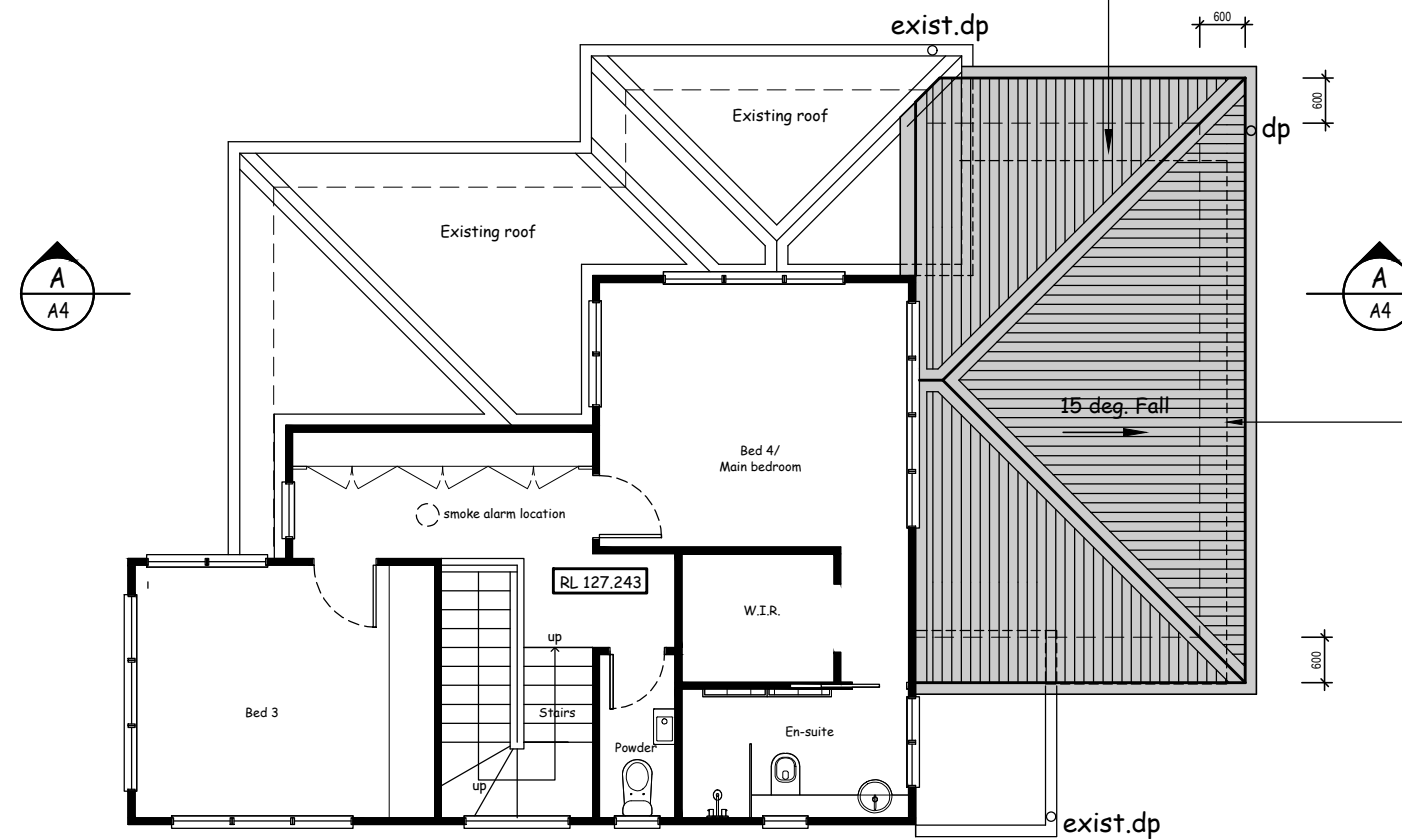
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Provide Colorbond Guttering to all new eaves in accordance with Hydraulic Engineer's details. Set gutter with sufficient fall to all downpipes and secure with brackets max. 1200mm apart.

19
D.P.211841
568.3 m² calc

Colorbond "Custom-Orb" roof sheeting fixed to framing or trusses in accordance with the manufacturers specifications. Colour to match existing roof or as selected by owners. Reflective sarking to be installed under sheeting. Provide all ridge, barge and other fittings as required to complete the roof and leave fully cleaned.



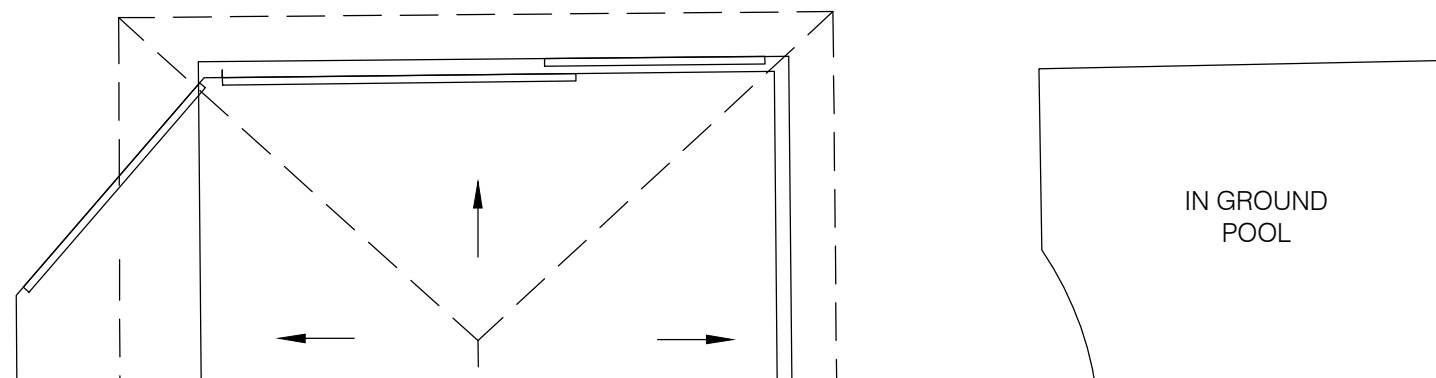
Demolish existing Deck and Roof as indicated (dashed) or as required to allow for new construction and if necessary, rubbish removal. Make good floors & walls to match existing. Protect any items indicated for reuse from damage. Disconnect and terminate existing services, pipelines etc. in a workman like manner. Provide barricades, hoardings, tarpaulins etc. as necessary to protect the existing property and persons within the work area.




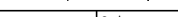
18
D.P.21184

20
D.P.211841

Provide hardwired & interconnected smoke alarm devices. Smoke alarms to be installed to NCC 2022 - ABCB Housing Provisions Part 9.5, NSW 9.5.1 & AS 3786.

PROPOSED UPPER FLOOR AREA = 54.01m²
(measured to outside face of external walls)



		 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA		Accreditation Number 6255 0413 710 256 ABN 17 751 732 195  SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR APPROVAL		 SustainAbility Design* Specialists		This drawing is the copyright of Sally Gardner Design & Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design & Draft. Do not scale dimensions from this drawing. Figured dimensions are to be used only. The builder / contractor shall check and verify all levels and dimensions on the site prior to commencement of any work, creation of shop drawings or fabrication of components. Any errors or omissions are to be verified by the builder / contractor and referred to the designer prior to the commencement of works.		Clients Julie + Todd ROWBOTHAM		Project Proposed Alterations + Additions 8 Lee Road, Beacon Hill, N.S.W. 2100		 True North		Scale 1:100 @ A3		Job Number 25-0327	
date		amendment								Drawing Title Proposed Upper Floor Plan		Date 23 May, 2025		Drawn RG		Drawing No A1		Revision -	
												Checked SG							

Provide hardwired & interconnected smoke alarm devices. Smoke alarms to be installed to NCC 2022 - ABCB Housing Provisions Part 9.5, NSW 9.5.1 & AS 3786.

19
D.P.211841
568.3 m² calc

20
D.P.211841

PROPOSED GROUND FLOOR AREA = 115.90m²
(measured to outside face of external walls)

18
D.P.21184

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Client: Julie + Todd ROWBOTHAM

Project: Proposed Alterations + Additions
8 Lee Road, Beacon Hill, N.S.W. 2100

Drawing Title: Proposed Ground Floor Plan

Scale: 1:100 @ A3

Date: 23 May, 2025

Job Number: 25-0327

Drawn: RG
Checked: SG

Revision: A2

True North

	date	amendment



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PLANS DRAWN FOR APPROVAL



<p>Clients</p>

Julie + Todd
ROWBOTHAM

	Project
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Proposed Alterations + Additions
8 Lee Road, Beacon Hill, N.S.W. 2100

Drawing Title

Proposed Ground Floor Plan

True North



Date
23 May,
2025

Job Number	
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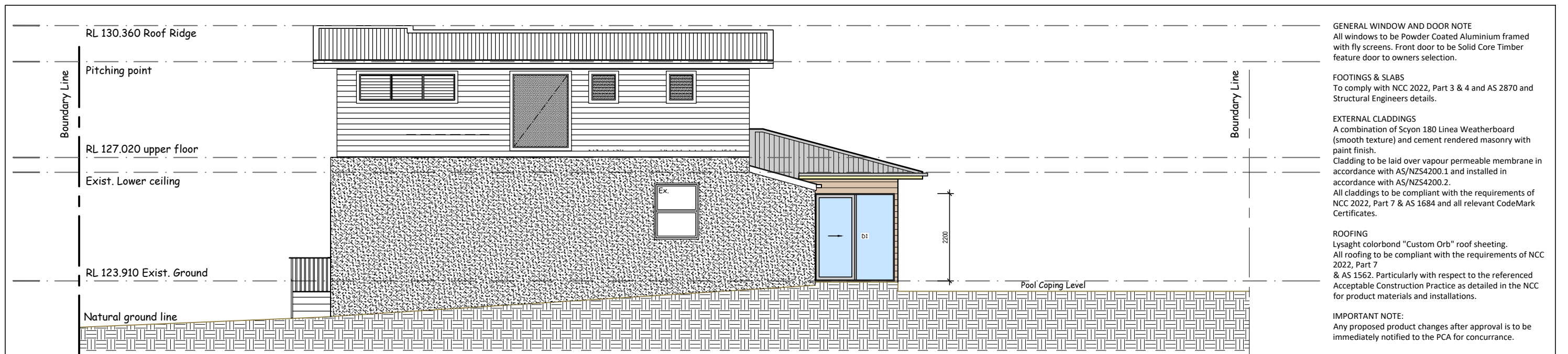
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RG

Checked

A2

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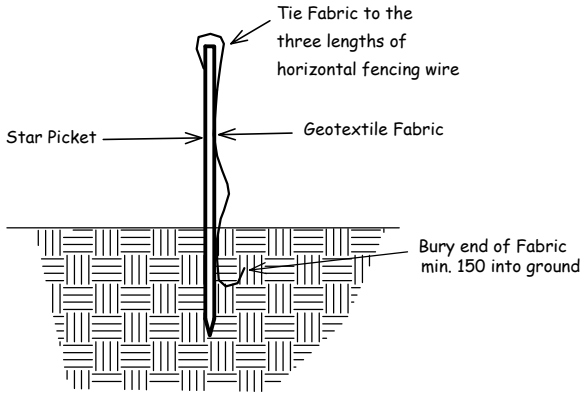
SURFACE WATER & STORMWATER DRAINAGE CONTROL :
Connect all stormwater to existing system that discharges to Council's stormwater collection system. All Works to comply with NCC 2022, Housing Provisions, Part 3.3.4 & Part 3.3.5 as well as AS/NZS 3500.3 & AS 2870.



WASTE MANAGEMENT PLAN
All general waste to be taken off-site by Building Contractor.
All green waste will be converted to compost by the Building Contractor and left on-site.
All excavation materials will be reused as backfill under the slab or disposed of at an authorized waste management center.
Any excess building materials will be returned to the supplier.
Where applicable, all materials that can be recycled, will be.

STOCKPILES :
All stockpiles are to be kept on-site where possible. Any materials placed on the footpaths or nature strips require council's permission.
All stockpiles are to be placed away from the drainage lines and street gutters. It is best to locate these on the highest part of the site if possible. Place waterproof covering over stockpiles.
If required provide diversion drain & bank around stockpiles.

ON-GOING WASTE MANAGEMENT
Residents to manage waste on a daily basis - by separating materials into re-usables, recyclables, waste and garden organics for inclusion in appropriate disposal bins.
Bins to be placed kerbside on specified days for collection by council.



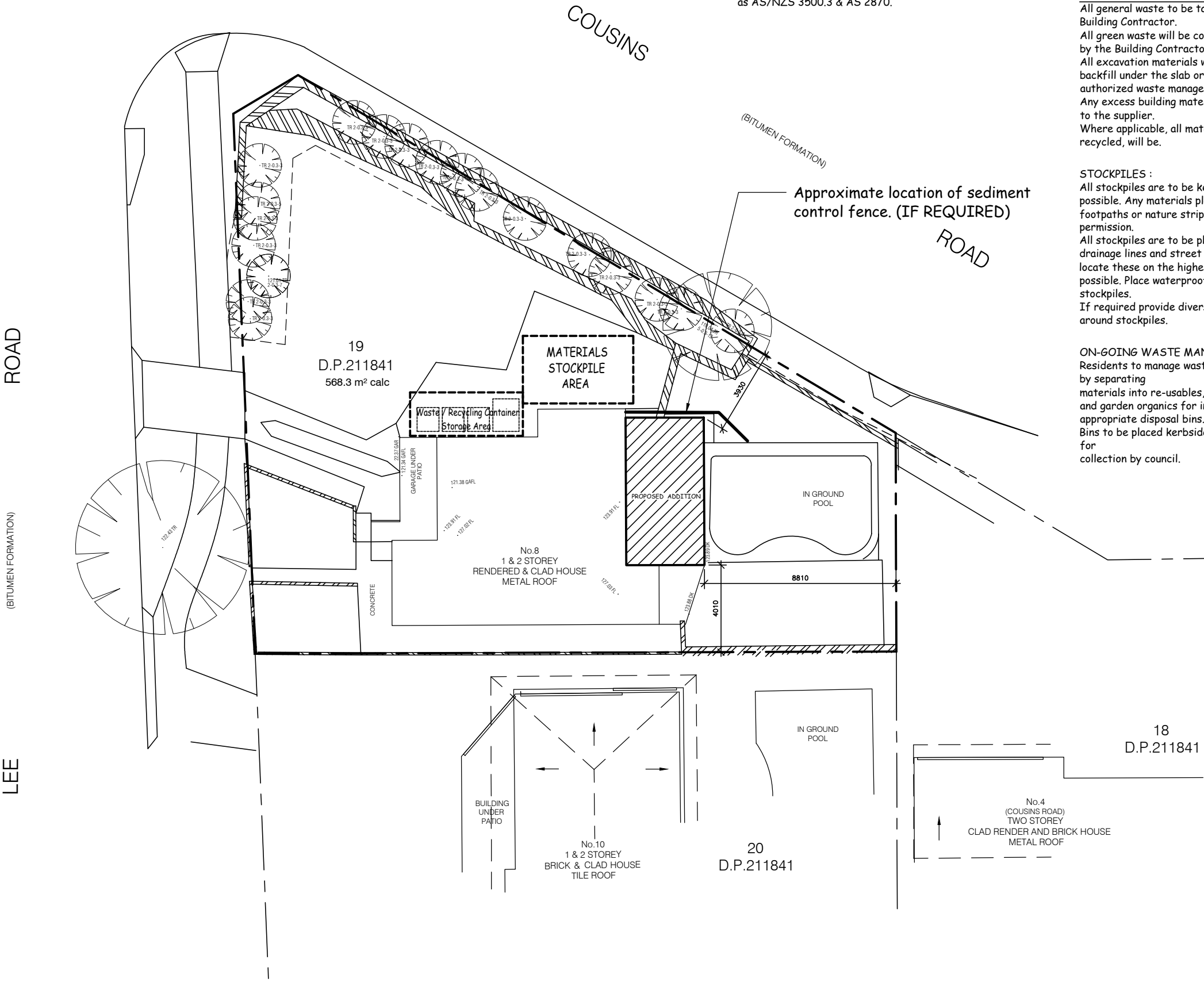
Sediment Control Fence

- SEDIMENT NOTE :**
1. All Erosion and Sediment Control measures to be inspected and maintained daily by the site manager.
 2. Minimise disturbed areas, remove excess soil from excavated area as soon as possible.
 3. All material stockpile to be clear from drains, gutters and footpaths, or within sediment fence area.
 4. Drainage to be connected to stormwater as soon as possible. If stored on site, it must be filtered before releasing into stormwater system or waterways.
 5. Roads and footpaths to be swept daily.

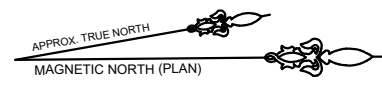
ON-SITE PRACTICES :
All trenches must be filled immediately after services are laid.
Excess materials such as cement, water from tool cleaning, paintbrushes and brick and concrete slurry, must not be washed into stormwater system. It's against the law to pollute waters with any solid, liquid or gas.
Where possible, construct a depression or earth dam below brick, concrete or tile cutting. If this is not possible, pass waste water through a filtration system prior to release.

DUST CONTROL :
To reduce dust generated by wind action, the removal of the top soil is to be minimised. To prevent dust generation, watering down of the site, especially during the movement of machinery is required.
Where excavating into rock, keep the surface moist to minimise dust. Ensure wind breaks, such as existing fences are maintained during the construction phase until new landscaping is provided or reinstated. Prevent dust by covering stockpiles.

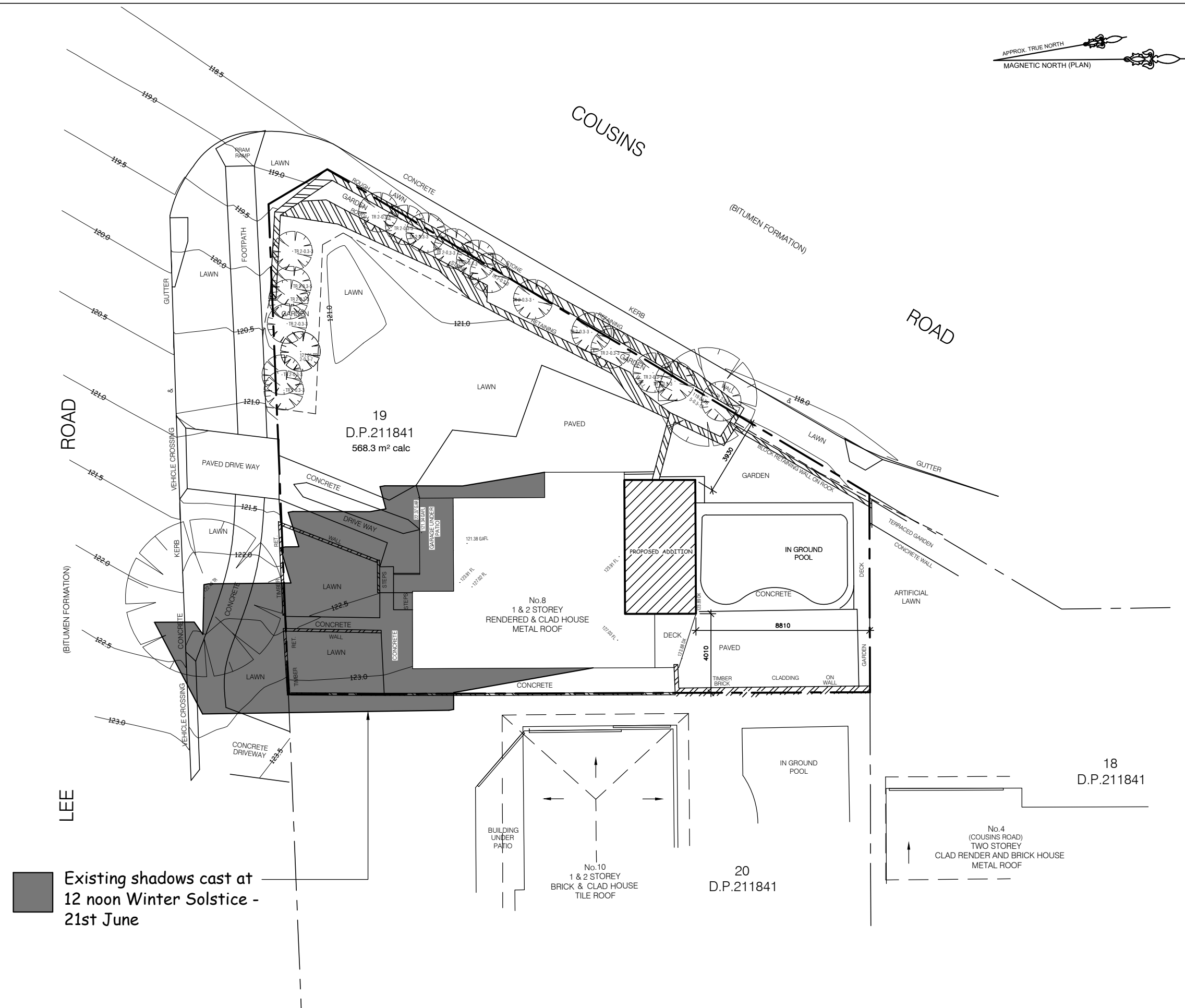
BUILDING WASTE DISPOSAL
All waste material to be sorted and transported to the local authorized waste management centre for potential re-use by recycling.
Garden waste to be delivered to an authorized Recycling centre for chipping for reuse as mulch.
Any Asbestos materials located on the site during the demolition process is to be properly disposed of in accordance with the guidelines of the relevant regulatory authority.
Every attempt will be made to keep waste to a minimum and re-use on site if practicable.



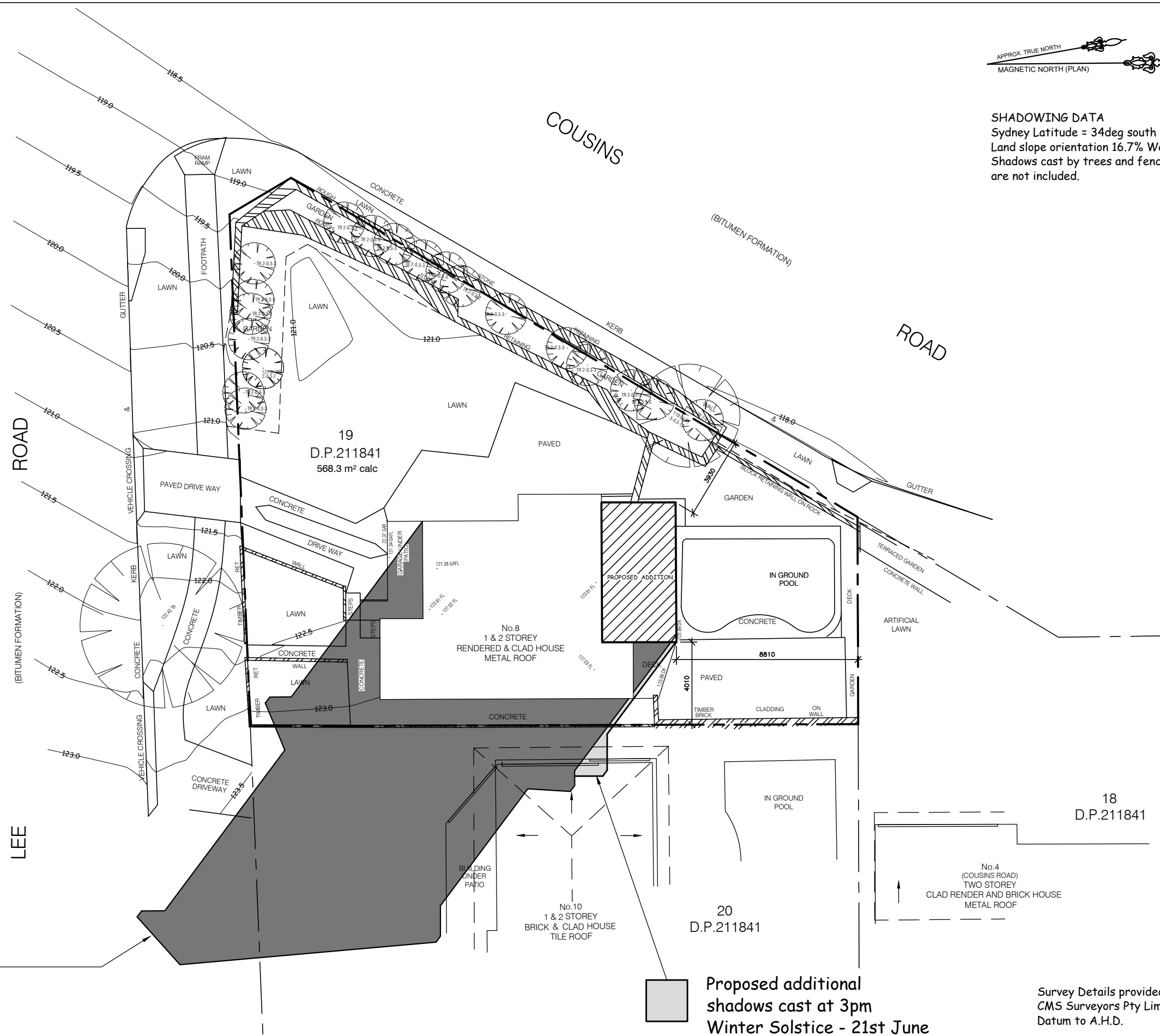
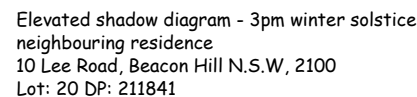
			Accreditation Number 6255 0413 710 256 ABN 17 751 732 195		This drawing is the copyright of Sally Gardner Design & Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design & Draft. Do not scale dimensions from this drawing. Figured dimensions are to be used only. The builder / contractor shall check and verify all levels and dimensions on the site prior to commencement of any work, creation of shop drawings or fabrication of components. Any errors or omissions are to be verified by the builder / contractor and referred to the designer prior to the commencement of works.	Clients Julie + Todd ROWBOTHAM	Project Proposed Alterations + Additions 8 Lee Road, Beacon Hill, N.S.W. 2100	Drawing Title Sediment Control & Waste Management Plan		Scale 1:200 @ A3	Job Number 25-0327		
date	amendment										Drawn RG	Drawing No S3	Revision -







Note: There are no new shadows cast over neighbouring properties at 12 noon on the Winter Solstice, as a result of the proposed works.



Existing shadows cast at 12 noon Winter Solstice - 21st June



Survey Details provided by
CMS Surveyors Pty Limited
Datum to A.H.D.

		 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA	Accreditation Number 6255 0413 710 256 ABN 17 751 732 195  SALLY GARDNER DESIGN AND DRAFT <small>PLANS DRAWN FOR APPROVAL</small>	 SustainAbility Design™ Specialist	This drawing is the copyright of Sally Gardner Design & Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design & Draft. Do not scale dimensions from this drawing. Figured dimensions are to be used only. The builder / contractor shall check and verify all levels and dimensions on the site prior to commencement of any work, creation of shop drawings or fabrication of components. Any errors or omissions are to be verified by the builder / contractor and referred to the designer prior to the commencement of works.	Clients <div style="text-align: center;"> <h2>Julie + Todd ROWBOTHAM</h2> </div>	Project Proposed Alterations + Additions 8 Lee Road, Beacon Hill, N.S.W. 2100	 True North	Scale 1:200 @ A3	Job Number 25-0327
Drawing Title 3pm Shadow Diagram - Winter Solstice	Date 23 May, 2025						Drawn RG		Drawing No S6	Revis -