NEW RESIDENCE

[redacted]

41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

PENINSULA HOMES

Revision A Front Verandah reduced and southern Upper setbacks increased as council request 14/Oct/2020

bdaa ACCREDITED BUILDING DESIGNER

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL

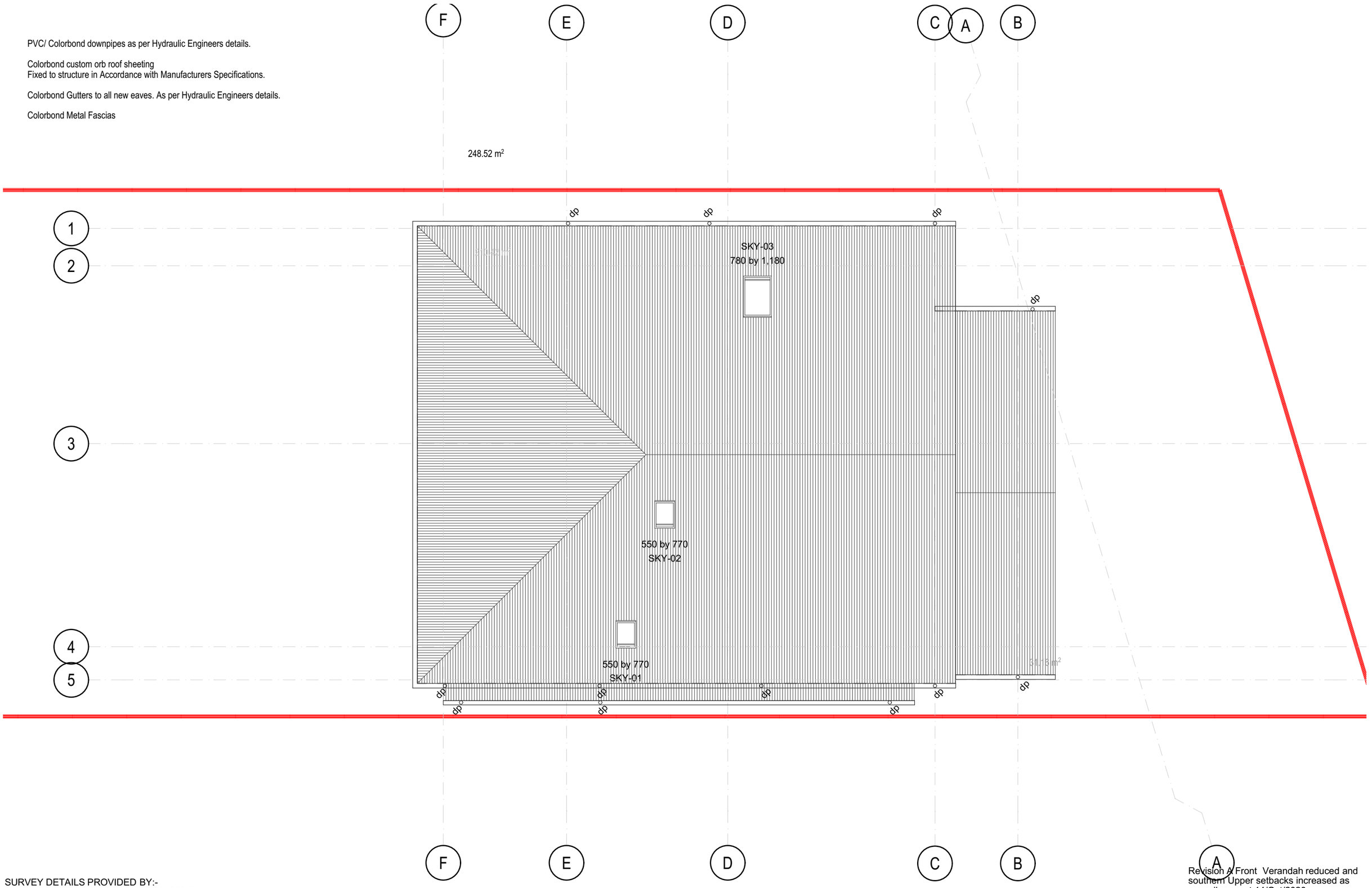
SDS
SustainAbility Design™ Specialist

PVC/ Colorbond downpipes as per Hydraulic Engineers details.

Colorbond custom orb roof sheeting
Fixed to structure in Accordance with Manufacturers Specifications.

Colorbond Gutters to all new eaves. As per Hydraulic Engineers details.

Colorbond Metal Fascias



SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

Revision A Front Verandah reduced and southern Upper setbacks increased as council request 14/Oct/2020

PENINSULA HOMES

bdaa ACCREDITED BUILDING DESIGNER — SALLY GARDNER DESIGN AND DRAFT — PLANS DRAWN FOR APPROVAL

SDS SustainAbility Design™ Specialist

Client

NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
ROOF PLAN

True North

Scale 1:100

Date Wednesday, 14 October 2020

Job Number **20-0306**

Drawn S.G.

Drawing No. A1

A

CHILD SAFETLY NOTE:
In accordance with NCC requirements for Child Safety.
All New Bedroom Windows 2m or more above finished Ground Level must be supplied with either Reinforced Mesh screens or child safe locks which prevent windows from opening more than 125mm and comply with BCA / NCC Part 3.9.2; IF sill height in less than 1.7m.

Install and Connect mains powered smoke & fire detection devices to comply with AS3786 & NCC clause 3.7.5

STAIRS
Provide a handrail along the full length of the flight and a slip resistant finish to the edge of the nosings to comply with 3.9.1 and 3.9.2 of NCC.

POWDER ROOM
Provide Mechanical Ventilation to satisfy NCC / BCA Part 3.8.5

SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

GFA
Manly DCP
A: 133.27 m²

GROSS FLOOR AREA
stairs excluded
A: 193.64 m²

A Revision A Front Verandah reduced and southern Upper setbacks increased as council request 14/Oct/2020

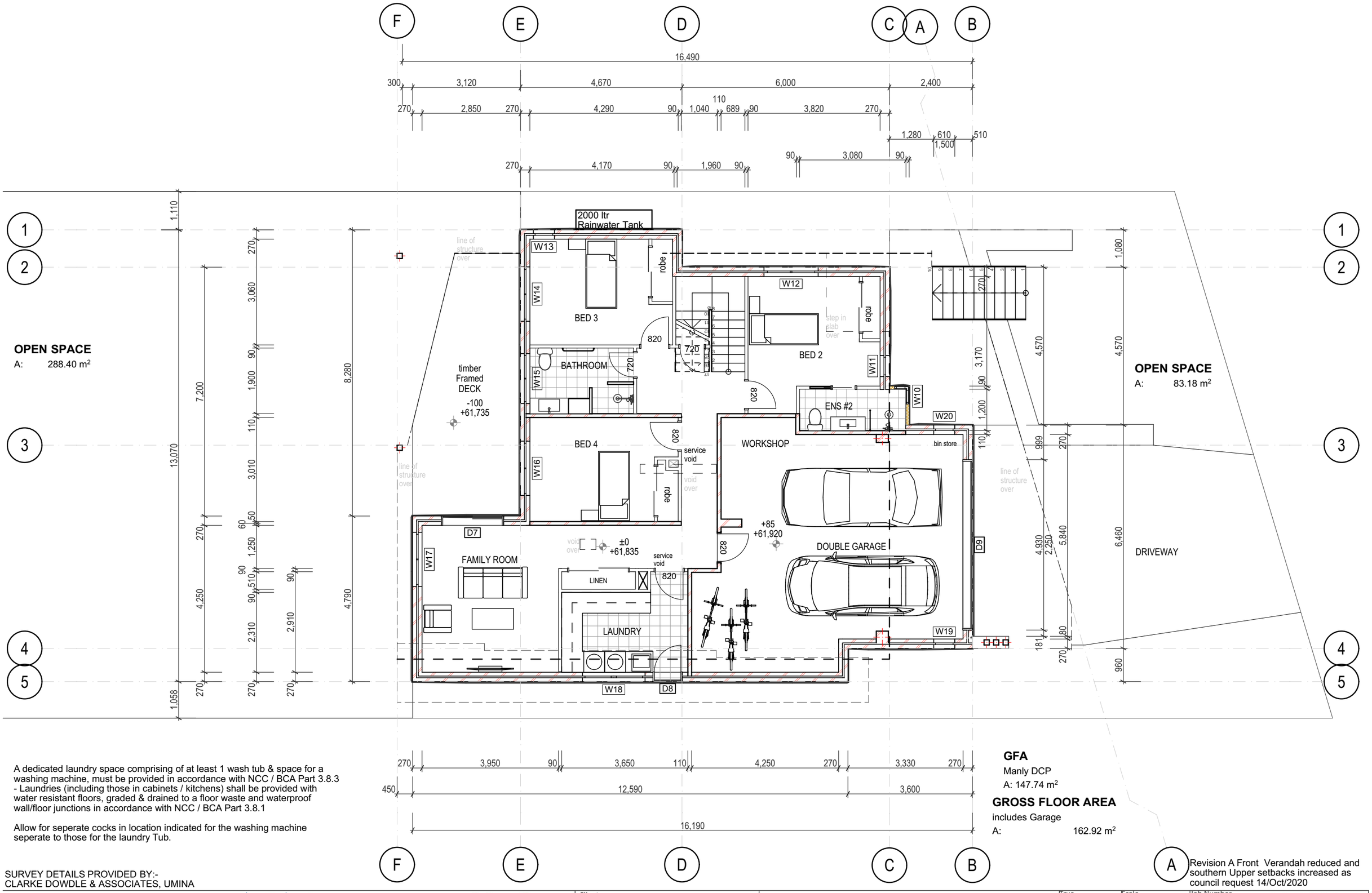
PENINSULA HOMES
bdaa ACCREDITED BUILDING DESIGNER
SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL
SDS SustainAbility Design™ Specialist

Client [redacted]

NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093
Drawing Title
FIRST FLOOR PLAN

True North

Scale 1:100
Date Wednesday, 14 October 2020
Drawn S.G.
Job Number **20-0306**
Drawing No. A2
A



A dedicated laundry space comprising of at least 1 wash tub & space for a washing machine, must be provided in accordance with NCC / BCA Part 3.8.3 - Laundries (including those in cabinets / kitchens) shall be provided with water resistant floors, graded & drained to a floor waste and waterproof wall/floor junctions in accordance with NCC / BCA Part 3.8.1

Allow for seperate cocks in location indicated for the washing machine seperate to those for the laundry Tub.

GFA
Manly DCP
A: 147.74 m²

GROSS FLOOR AREA
includes Garage
A: 162.92 m²

SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

A Revision A Front Verandah reduced and southern Upper setbacks increased as council request 14/Oct/2020

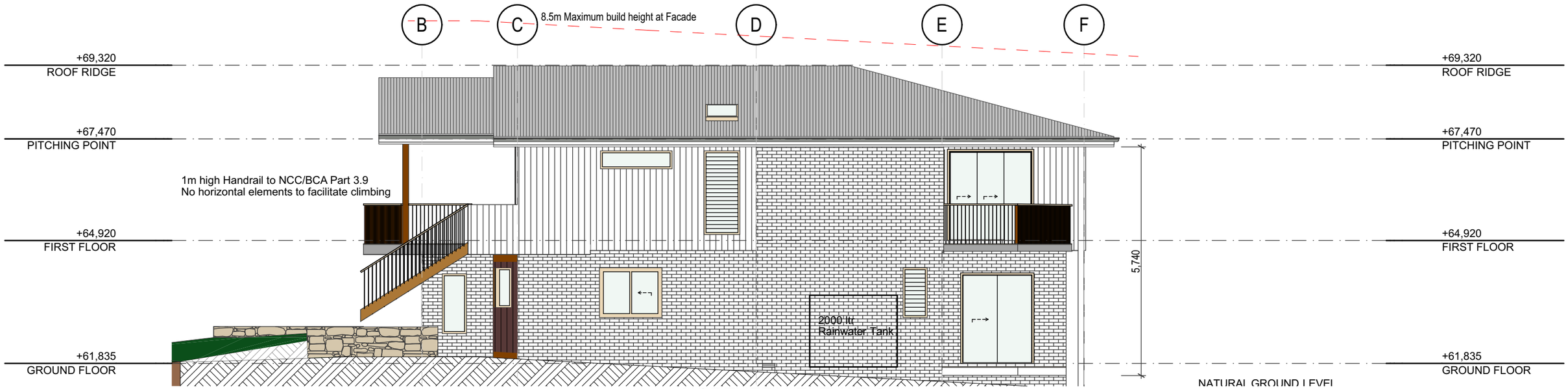
PENINSULA HOMES
bdaa ACCREDITED BUILDING DESIGNER
SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR APPROVAL
SDS SustainAbility Design™ Specialist

Client [redacted]

NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093
Drawing Title
GROUND FLOOR PLAN

True North

Scale 1:100
Job Number **20-0306**
Date Wednesday, 14 October 2020
Drawn S.G.
Drawing No. A
A3

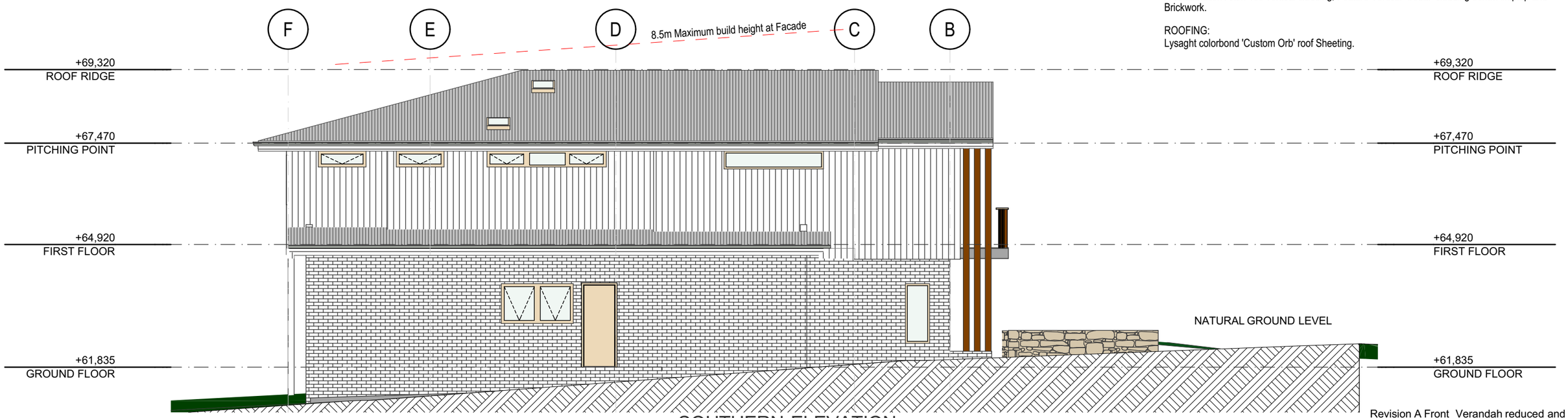


NORTHERN ELEVATION

GENERAL WINDOW AND DOOR NOTE:
All windows to be Powder Coated Aluminium with fly screens.
Front door to be Solid Core Timber '1020mm x 40mm' Feature door.
Garage Doors; Automatic Panel lift and Solid core to side Deck.
All other external doors to be Powder Coated Aluminium.

EXTERNAL CLADDINGS:
A combination Axon 133 vertical cladding, Feature Vertical 'Cedar' cladding 86mm shiplap and Brickwork.

ROOFING:
Lysaght colorbond 'Custom Orb' roof Sheeting.



SOUTHERN ELEVATION

SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

Revision A Front Verandah reduced and southern Upper setbacks increased as council request 14/Oct/2020

PENINSULA HOMES

bdaa ACCREDITED BUILDING DESIGNER

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL

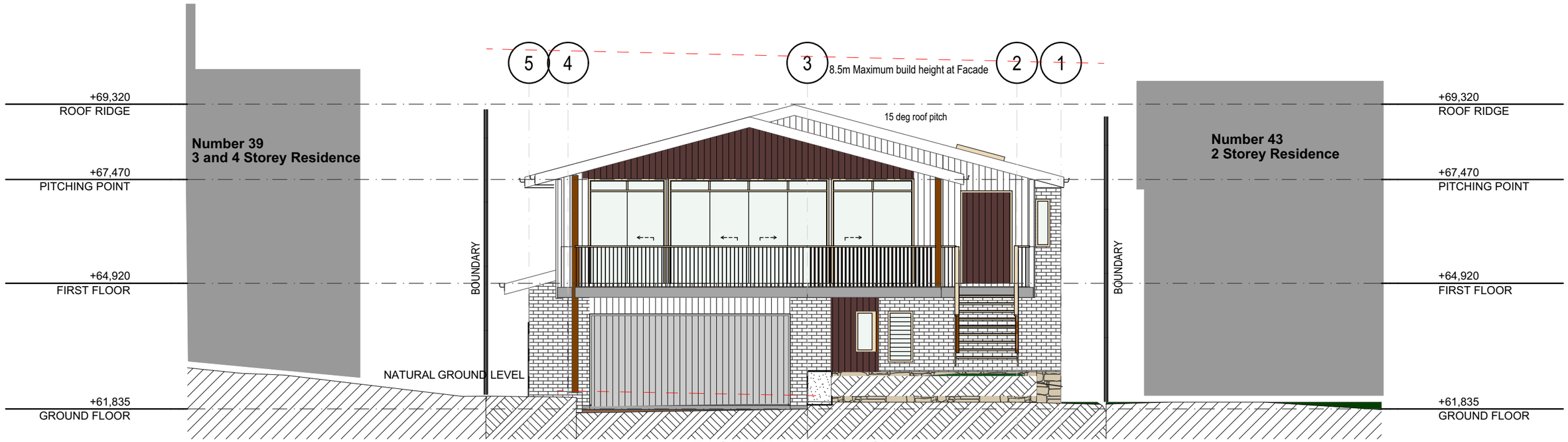
SDS SustainAbility Design™ Specialist

Client [redacted]

NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
ELEVATION SHEET 1

Scale	Job Number	
1:100	**20-0306**	
Date	Drawn	Drawing No.
Wednesday, 14 October 2020	S.G.	A4 A



EASTERN ELEVATION

GENERAL WINDOW AND DOOR NOTE:
All windows to be Powder Coated Aluminium with fly screens.
Front door to be Solid Core Timber '1020mm x 40mm' Feature door.
Garage Doors; Automatic Panel lift and Solid core to side Deck.
All other external doors to be Powder Coated Aluminium.

EXTERNAL CLADDINGS:
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ROOFING:
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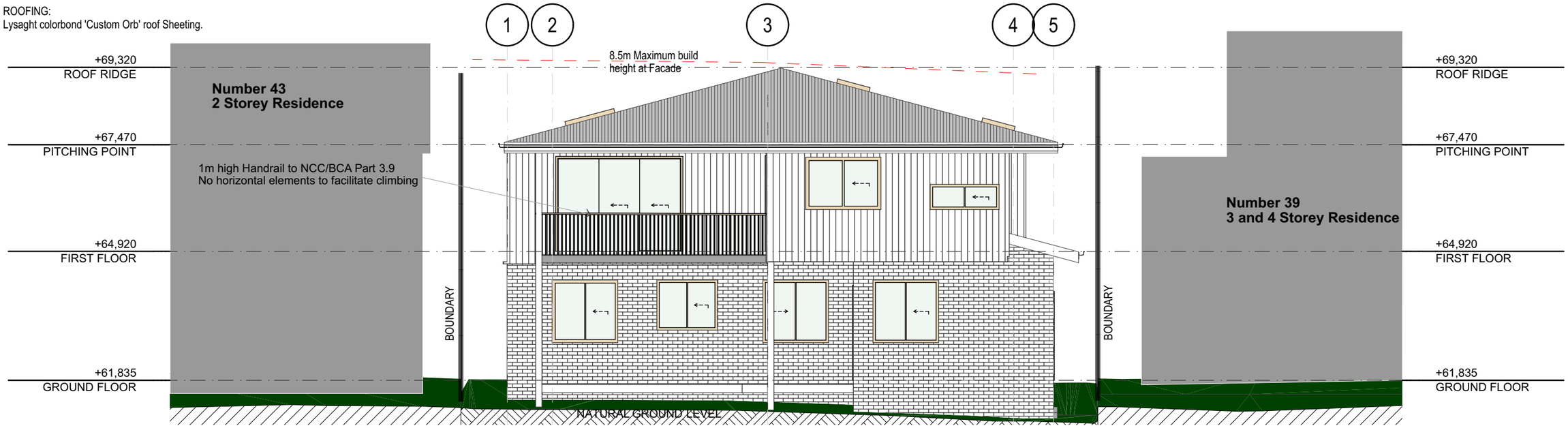


WESTERN ELEVATION

SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

Revision A Front Verandah reduced and southern Upper setbacks increased as council request 14/Oct/2020

PENINSULA HOMES

bdaa ACCREDITED BUILDING DESIGNER SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR APPROVAL

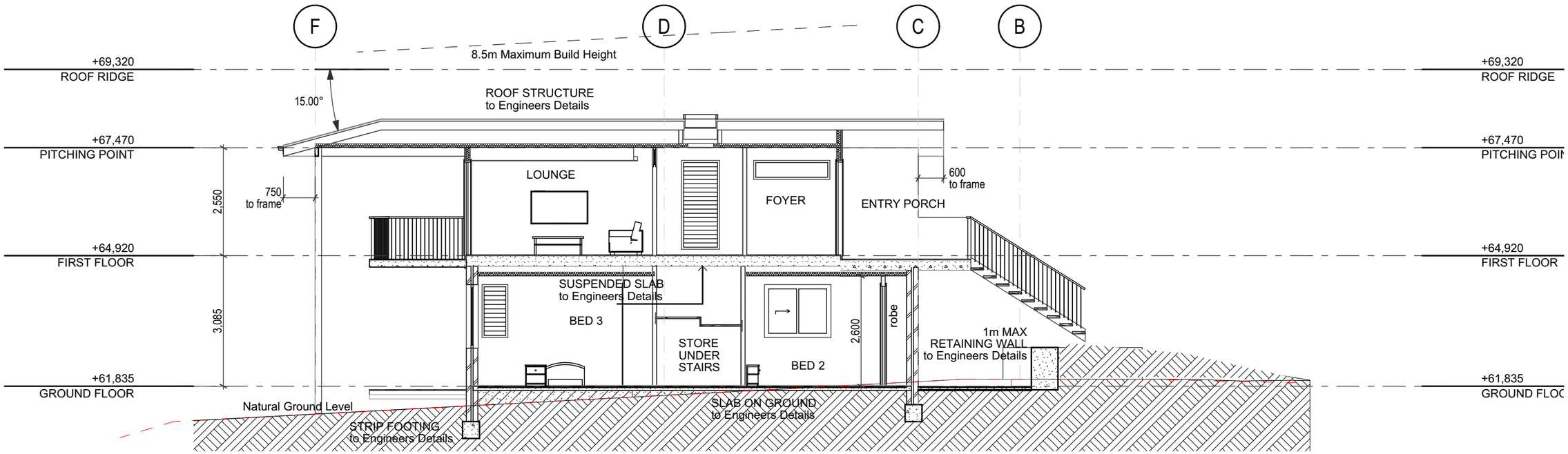
SDS SustainAbility Design™ Specialist

Client [redacted]

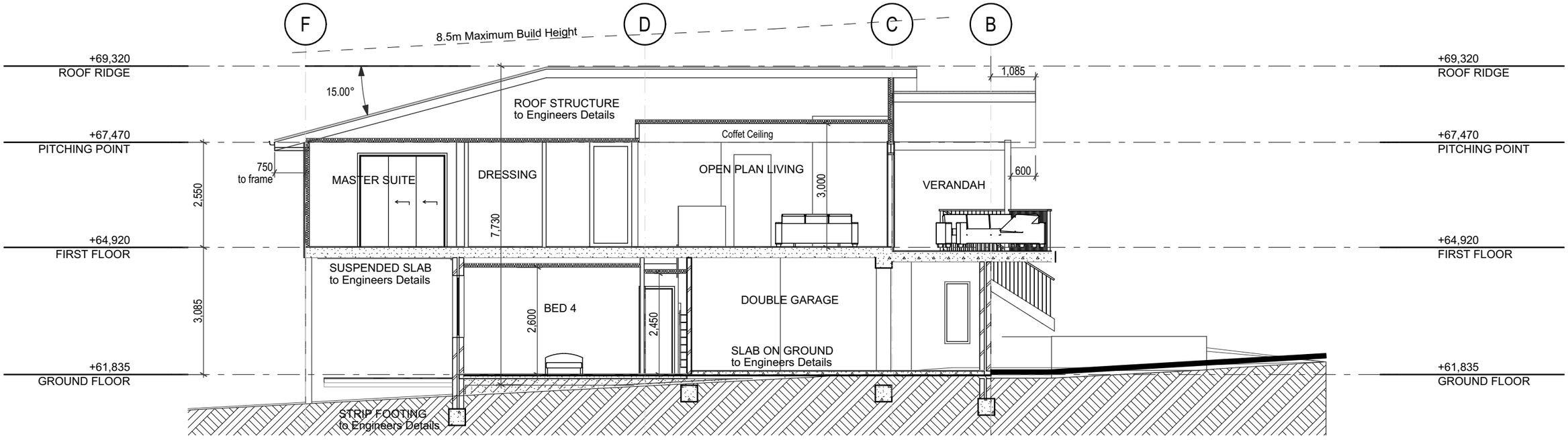
NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
ELEVATION SHEET 2

Scale	Job Number	
1:100	**20-0306**	
Date	Drawn	Drawing No.
Wednesday, 14 October 2020	S.G.	A5 A



S1 LONG SECTION NORTH



S2 LONG SECTION CENTRAL

SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

Revision A Front Verandah reduced and southern Upper setbacks increased as council request 14/Oct/2020

PENINSULA HOMES

bdaa ACCREDITED BUILDING DESIGNER

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL

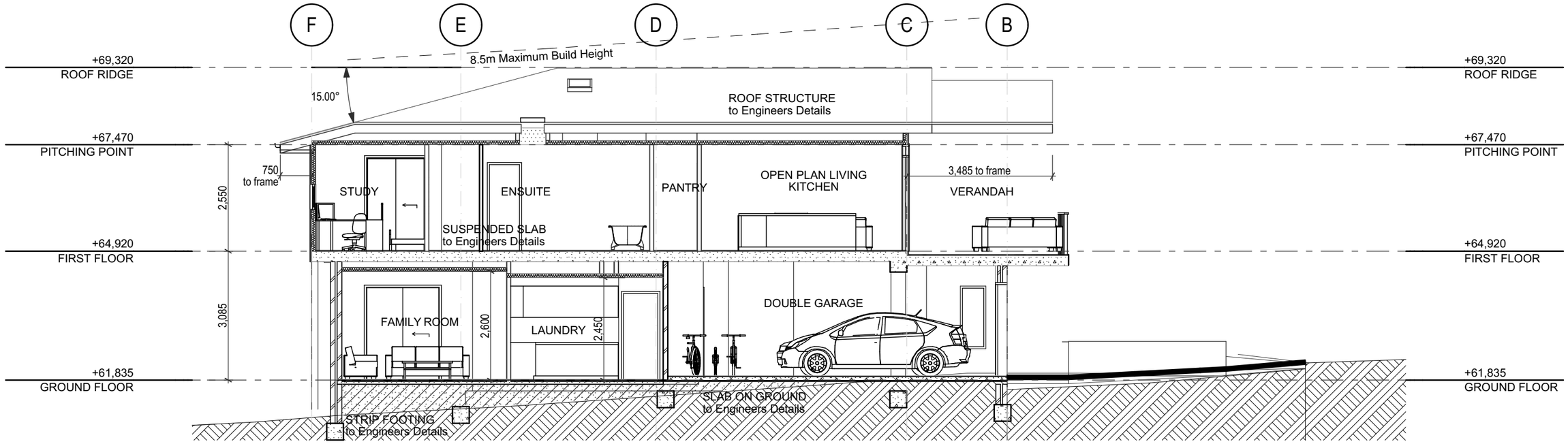
SDS SustainAbility Design™ Specialist

Client [redacted]

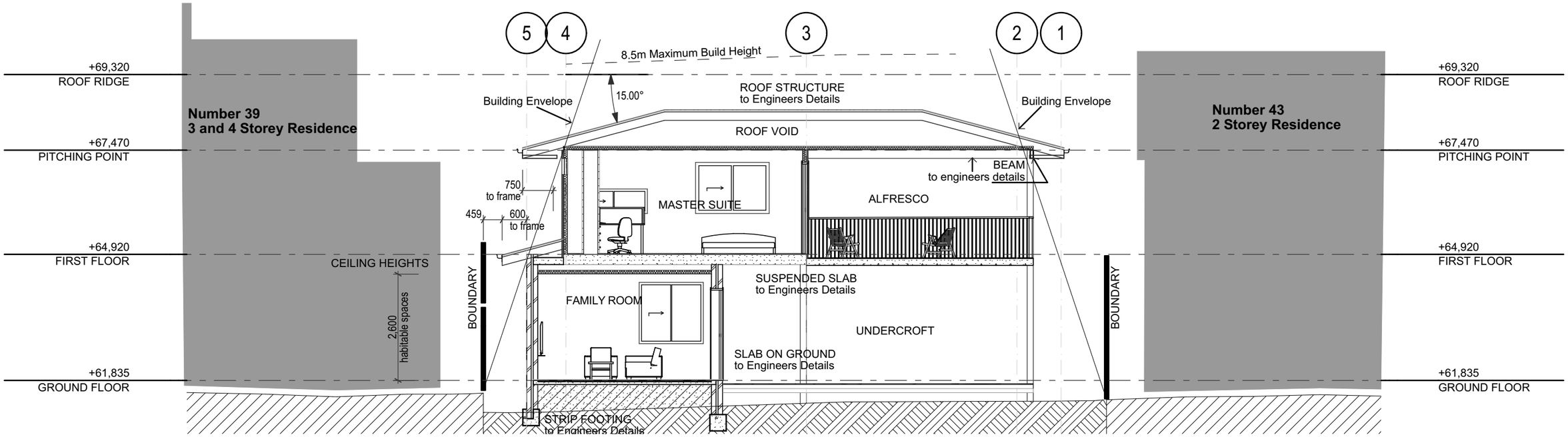
NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
SECTIONS SHEET 1

Scale	Job Number	
1:100	**20-0306**	
Date	Drawn	Drawing No.
Wednesday, 14 October 2020	S.G.	A6 A



S3 LONG SECTION SOUTH



S4 CROSS SECTION WEST

SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

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bdaa ACCREDITED BUILDING DESIGNER

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL

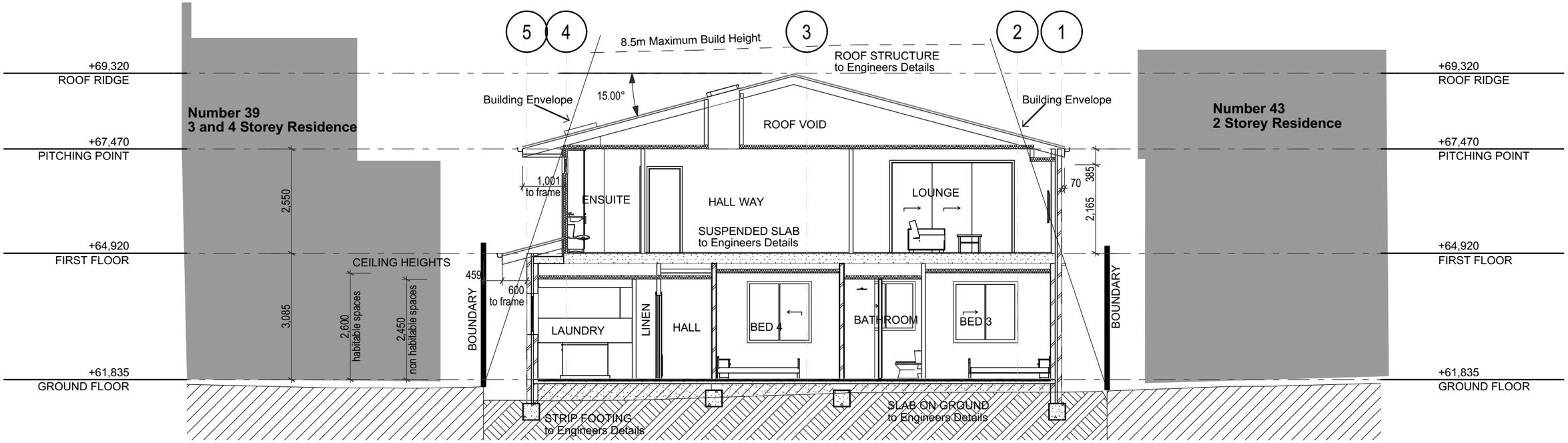
SDS SustainAbility Design™ Specialist

Client [redacted]

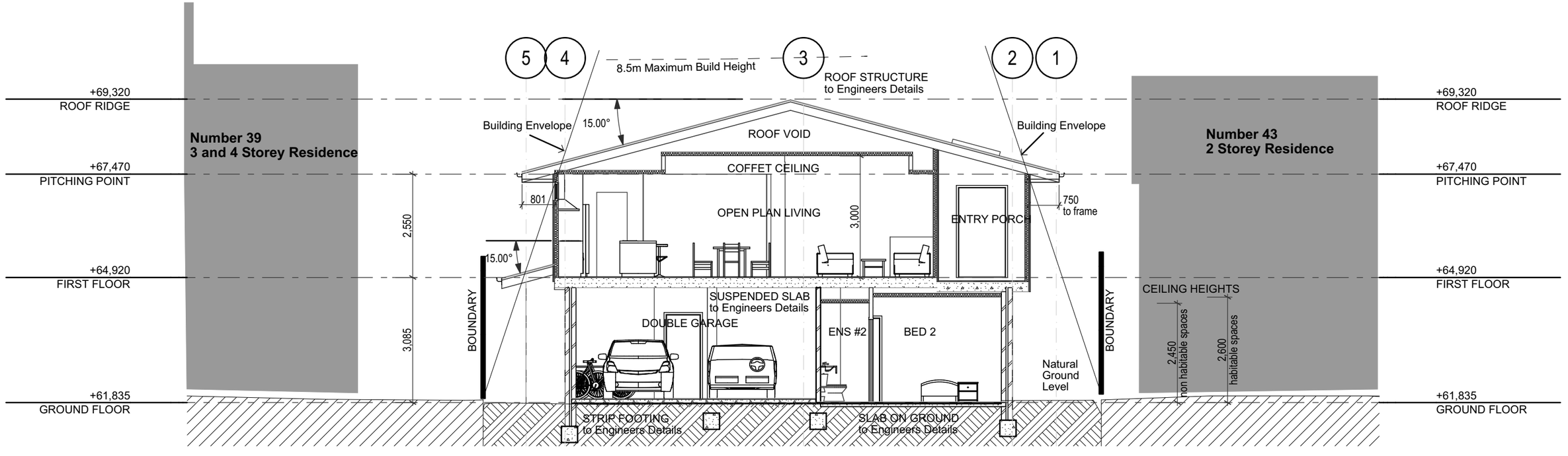
NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
SECTIONS SHEET 2

Scale	Job Number	
1:100	**20-0306**	
Date	Drawn	Drawing No.
Wednesday, 14 October 2020	S.G.	A7 A



S5 CROSS SECTION CENTRAL



S6 CROSS SECTION EAST

SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

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bdaa ACCREDITED BUILDING DESIGNER SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR APPROVAL

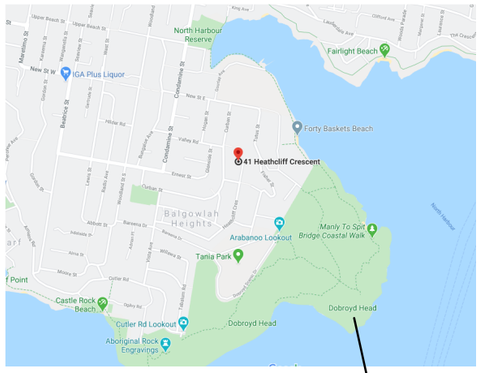
SDS SustainAbility Design™ Specialist

Client [redacted]

NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
SECTIONS SHEET 3

Scale	Job Number	
1:100	**20-0306**	
Date	Drawn	Drawing No.
Wednesday, 14 October 2020	S.G.	A8 A



SITE LOCATED HERE

Solar Access
Summer Solstice
3pm

Solar Access
Summer / Winter Solstice
12 noon

Solar Access
Summer Solstice
9am

Prevailing Summer
Cooling Breezes

Solar Access
Winter Solstice
9am

Manly and
Harbour
Views

Solar Access
Winter Solstice
3pm

District Views

Prevailing Winter
Chilling Winds and
Summer HOT Winds

Manly and Harbour Views

Prevailing Winter
Chilling Winds

Private Open space

Private Open space

Private Open space

DA Side Setback 1m

DA Side Setback 1m

8m Rear Setback

6.3m Established Front Setback

 # 43
2 STOREY
BRICK DWELLING
TILE ROOF
Floor Levels:
61.85m &
64.54m

Gutter Level: 69.75m

Gutter Level: 67.21m

sill: 66.41
head: 67.01

sill: 66.26
head: 63.91

sill: 63.30
head: 63.92

279°29'
40.715

LOW
BRICK
WALL
TAP
WM
DRIVEWAY

PROPOSED WORKS

CONCRETE
BALCONY
CONCRETE
BALCONY

BBQ

17
626.0m² Deed
629.7m² Calc.

GARAGE
Floor Level:
61.39m

 # 41
2 STOREY
BRICK & CLAD DWELLING
TILE ROOF
Floor Levels: 61.42m, 64.11m,
Ridge Level: 67.68m

LAUNDRY
Floor Level:
61.41m

Gutter Level: 66.57m

CONCRETE
PATH
GARDEN
TAP
WM
GARDEN
CONCRETE
PATH
LOW
BRICK
WALL

41.935
99°29'

Position

TREES TO BE
REMOVED TO
FACILITATE NEW
DRIVEWAY

PP
EDGE
CENTRELINE
OF
B.M. Nail in T.K.
r.l. 61.80m A.H.D.
TOP
OF
352°47'
15.91
BITUMEN
KERB
BITUMEN

HEATHCLIFF
CRESCENT

sill: 63.87
head: 65.72

sill: 64.82
head: 65.47

sill: 63.39
head: 65.85

sill: 67.03
head: 68.41

sill: 67.03
head: 68.40

 # 39
3 & 4 STOREY
RENDERED DWELLING
FLAT METAL ROOF
Floor Levels: 60.51m, 63.39m,
66.27m & 69.15m

Gutter Level: 71.65m

Gutter Level: 70.04m

sill: 62.96
head: 65.26

sill: 62.96
head: 65.26

sill: 67.15
head: 69.02

GARAGE
Floor Level:
62.96m

16

DIAL BEFORE YOU DIG
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NORTHERN BEACHES COUNCIL - MANLY
MDCP Schedule 1 - Map A - Residential Density Areas - 1 unit/500m2 of Site Area
MDCP Schedule 1 - Map B - Residential Open Space Areas - OS3
Manly LEP2013 - Land zoned R2 Low Density Residential

SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

Revision A Front Verandah reduced and southern Upper setbacks increased as council request 14/Oct/2020

PENINSULA HOMES

bdaa ACCREDITED BUILDING DESIGNER

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL

SDS SustainAbility Design™ Specialist

Client [redacted]

NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
SITE ANALYSIS

True North

Scale 1:200

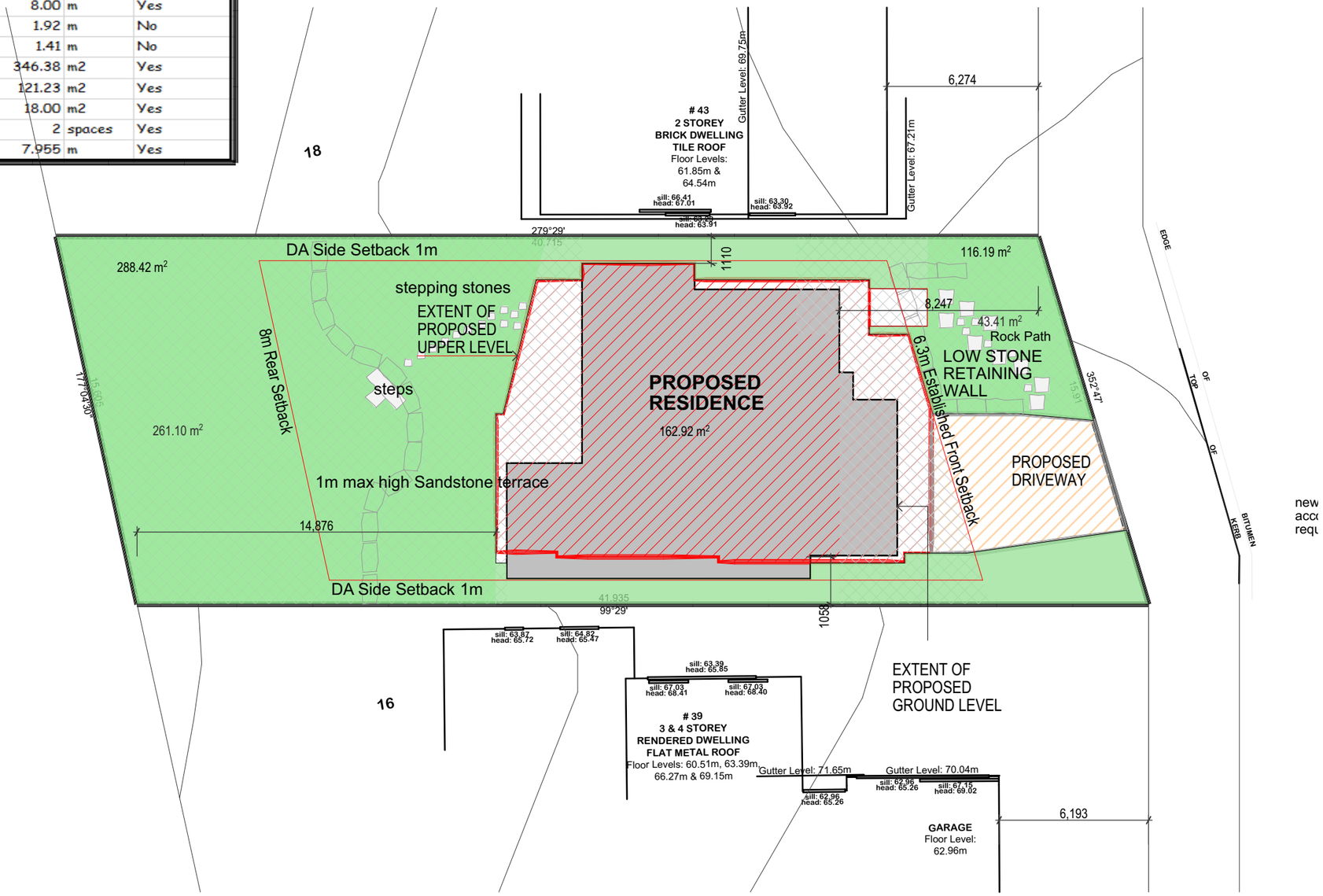
Date Wednesday, 14 October 2020

Job Number **20-0306**

Drawn S.G.

Drawing No. S1 A

SITE CALCULATIONS NORTHERN BEACHES - MANLY COUNCIL							
Site Area 629.78 m2							
	PROPOSED			CONTROL	COMPLIANCE		COMPLIES
Floor Space Ratio (FSR)	282.40	m2	44.84%	377.868	0.6 (60%)	:1	yes
Residence	215.00	m2					
Driveway	34.74	m2					
Site Coverage	249.74	m2	39.66%				
Pervious Area	380.04	m2	60.34%				
Building Height	7.73	m			>8.5	m	Yes
Wall height	5.745 4.232	m m	North South		6.5	m	Yes
Front Setback	6.3 8.247	m m	to Deck to building		6.23	m	Yes
Rear setback	14.88	m			8.00	m	Yes
Side setback - North	1.11	m		1/3x wall height	1.92	m	No
Side setback - South	1.06	m		1/3x wall height	1.41	m	No
Open Space	404.61	m2	64.25%	55%	346.38	m2	Yes
Soft Open Space	304.51	m2	87.91%	35% of 55%	121.23	m2	Yes
Private Open Space	261.00	m2			18.00	m2	Yes
Car parking	2.00	spaces			2	spaces	Yes
Garage Door Width	4.90	m	30.80%	50%	7.955	m	Yes



SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

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SDS SustainAbility Design™ Specialist

Client [redacted]

NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
SITE CALCULATIONS

True North

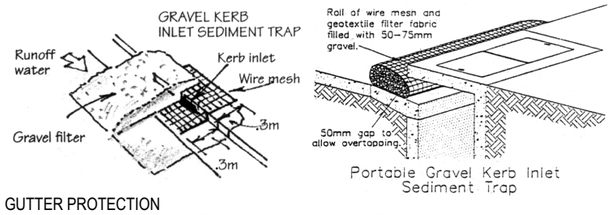
Scale 1:200

Job Number 20-0306

Date Wednesday, 14 October 2020

Drawn S.G.

Drawing No. S2 A



GUTTER PROTECTION
Provide protection to down hill Grate in Gutter by means of Sand bags or blue metal wrapped in geotextle fabric. When soil or sand builds up around this sediment barrier, the material should be relocated to the site for disposal.

SITE ACCESS
Vehicular access to the site must be via a single entry point that is stabilised to prevent the tracking of sediment onto the roads and footpath.
Soil, earth, mud, clay, concrete washing, paint or similar materials must be removed from the roadway, by means other than washing, on a daily basis.

ON-GOING WASTE MANAGEMENT
Residents to manage waste on a daily basis - by seperating materials into re-usables, recyclables, waste and garden organics for inclusion in appropriate disposal bins.
Bins to be placed kerbside on specified days for collection by council.

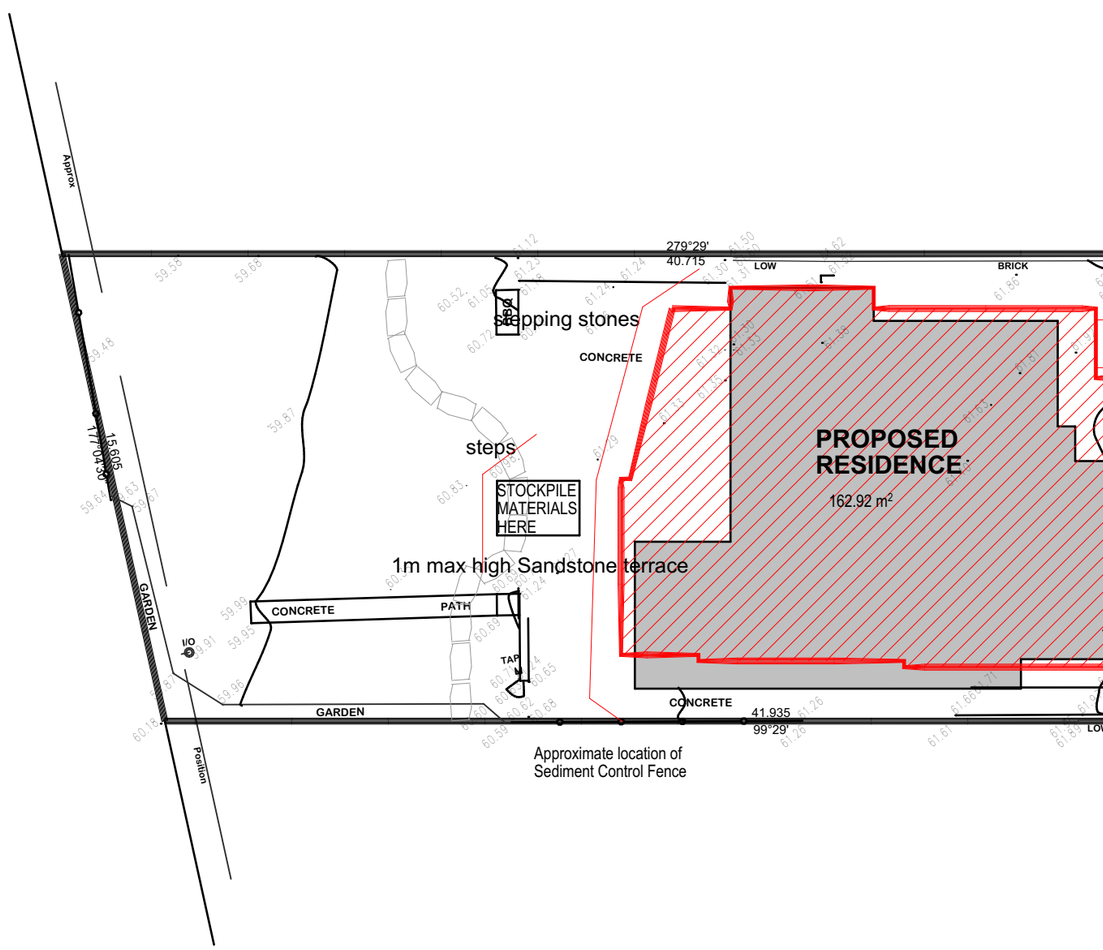
ON-SITE PRACTICES
All trenches must be filled immediately after services are laid.
Excess materials such as cement, water from tool cleaning, paintbrushes and brick and concrete slurry, must not be washed into stormwater system.
It is against the law to pollute waters with any solid, liquid or gas. Where possible construct a depression or earth dam below brick, concrete or tile cutting.
If this is not possible, pass water through a filter.

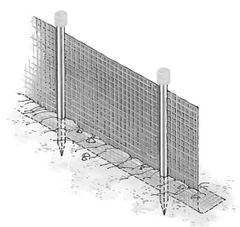
SEDIMENT NOTE:
1. All Erosion and Sedimnet Control measures to be inspected and maintained daily, by the site manager.
2. Minimise disturbed areas, remove excess soil from excavation area as soon as possible.
3. All material stockpile to be clear from drains, gutters and footpaths, or within sediment fence.
4. Drainage to be connected to Stormwater as soon as possible. If stored on site, it must be filtered before releasing into the stormwater system or waterways.
5. Roads and footpaths to be swept daily.

BUILDING WASTE DISPOSAL
All waste materials are to be sorted and transported to the local authorized waste management centre for potential re-use or recycling.
Garden waste to be delivered to an authorized Recycling centre for chipping for reuse as mulch.
Any Asbestos materials located on the site during the demolition process is to be properly disposed of in accordance with the guidelines of the relevant regulatory authority.
Every attempt will be make to keep waste to a minimum.

STOCK PILES
All stockpiles are to be kept on-site where possible. Any materials placed on the footpaths or nature strips requier council's permission.
All stockpiles are to be placed away from the drainage lines and street gutters.
It is best to locate these on the highest part of the site if possible. Place waterproof covering over stockpiles. If required provide diversion drain & bank around stockpiles.

DUST CONTROL
To reduce dust generated by wind action, the removal of the top soil is to be minimised. To prevent dust generation, watering down of the site, especailly during the movement of machinery is required.
Where excavating into rock, keep the surface moist to minimise dust. Construct a gravel entry/exit point using blue metal and restrict all vehicle movements within the site to a minimum.
Ensure wind breaks, such as existing fences are maintained during the construction phase until new landscaping is provided or reinstated.
Prevent dust by covering stockpiles.





SEDIMENT CONTROL FENCE
1 Excavate a trench a minimum of 200mm wide and 200mm deep on the uphill side of the proposed line of silt fence.
2 Drive adequate length support posts to a depth (minimum 400mm) appropriate for the site conditions downhill of the trench.
A. Post spacing is typically at 2m centres with wire attached along the top between posts to assist with support of the silt fence.
B. Post spacing can be increased up to 4m centres if supported by 2.5mm diameter high tensile wire at mid height and along the top with hog rings, clips or pins every 150mm connecting the silt fence along the top wire.
3 Roll out silt fence and position up against the support posts and fold over top wire. Hog rings, clips or pins are used to attach the silt fence to the top wire (at the required spacing).
4 Bury bottom section along the base and up the side of the trench leaving a minimum exposed height of 600mm and backfill with soil. Compact to ensure good anchorage. Place safety caps on posts.

SU
CL

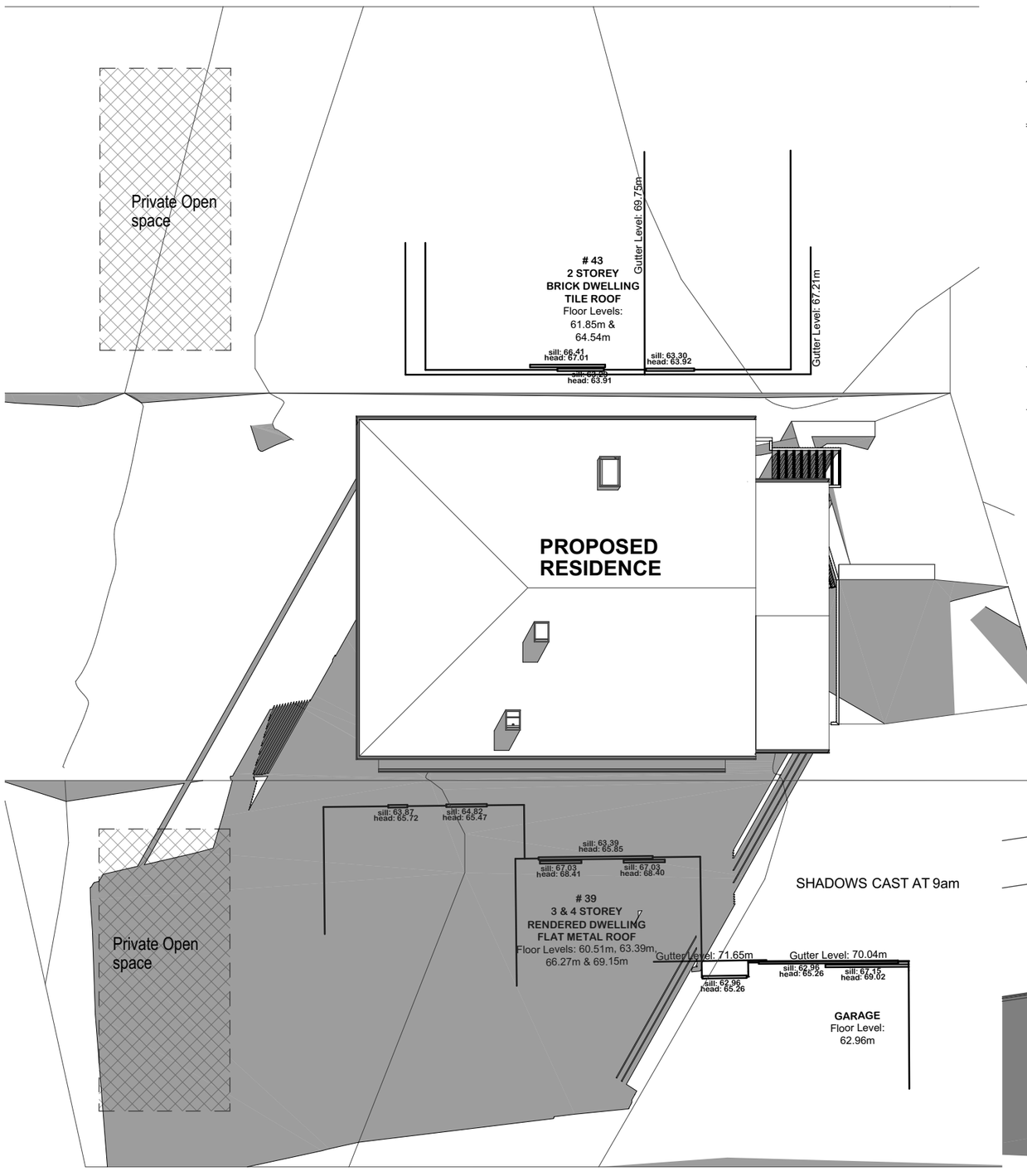
Revision A Front Verandah reduced and southern Upper setbacks increased as council request 14/Oct/2020

PENINSULA HOMES
bdaa ACCREDITED BUILDING DESIGNER
SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR APPROVAL
SDS SustainAbility Design™ Specialist

Client [redacted]

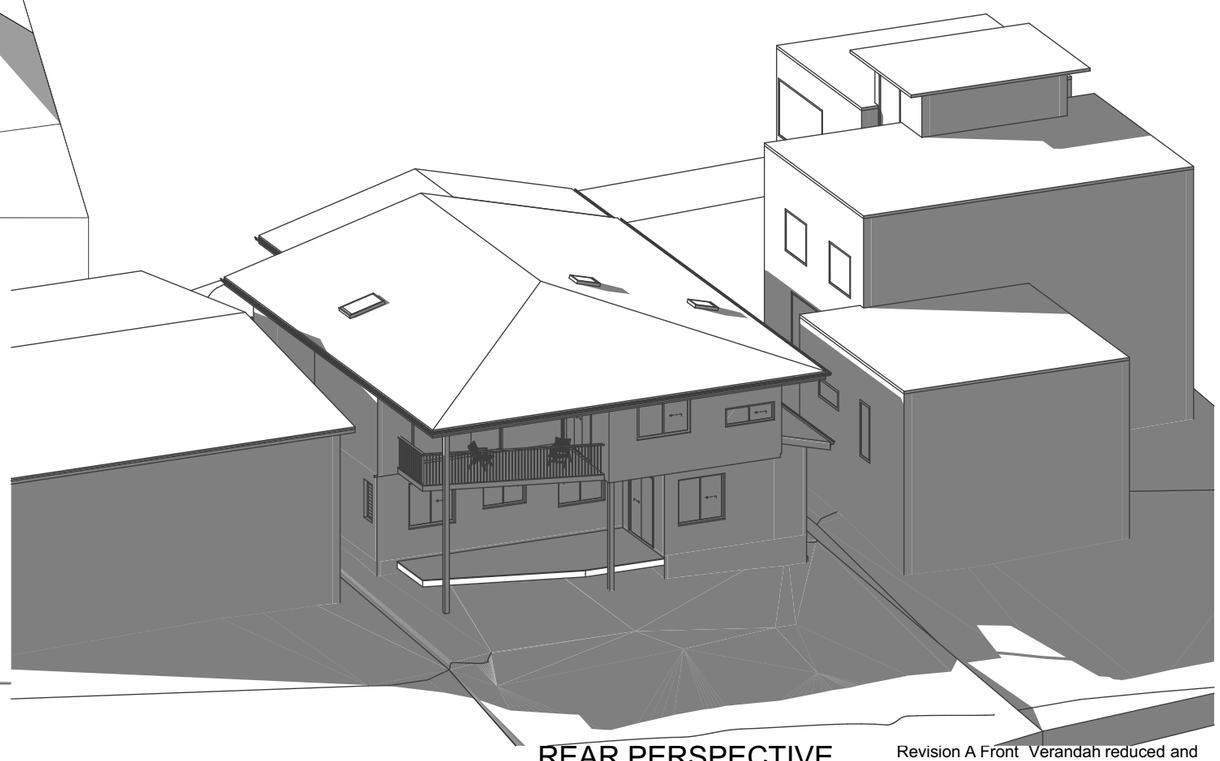
NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093
Drawing Title SEDIMENT MANAGEMENT SEDIMENT and EROSION CONTROL

True North
Scale 1:200
Date Wednesday, 14 October 2020
Job Number 20-0306
Drawn S.G.
Drawing No. S3 A



SHADOWS CAST AT 9am

FRONT PERSPECTIVE



REAR PERSPECTIVE

SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

Revision A Front Verandah reduced and southern Upper setbacks increased as council request 14/Oct/2020

PENINSULA HOMES

bdaa ACCREDITED BUILDING DESIGNER — SALLY GARDNER DESIGN AND DRAFT — PLANS DRAWN FOR APPROVAL

SDS SustainAbility Design™ Specialist

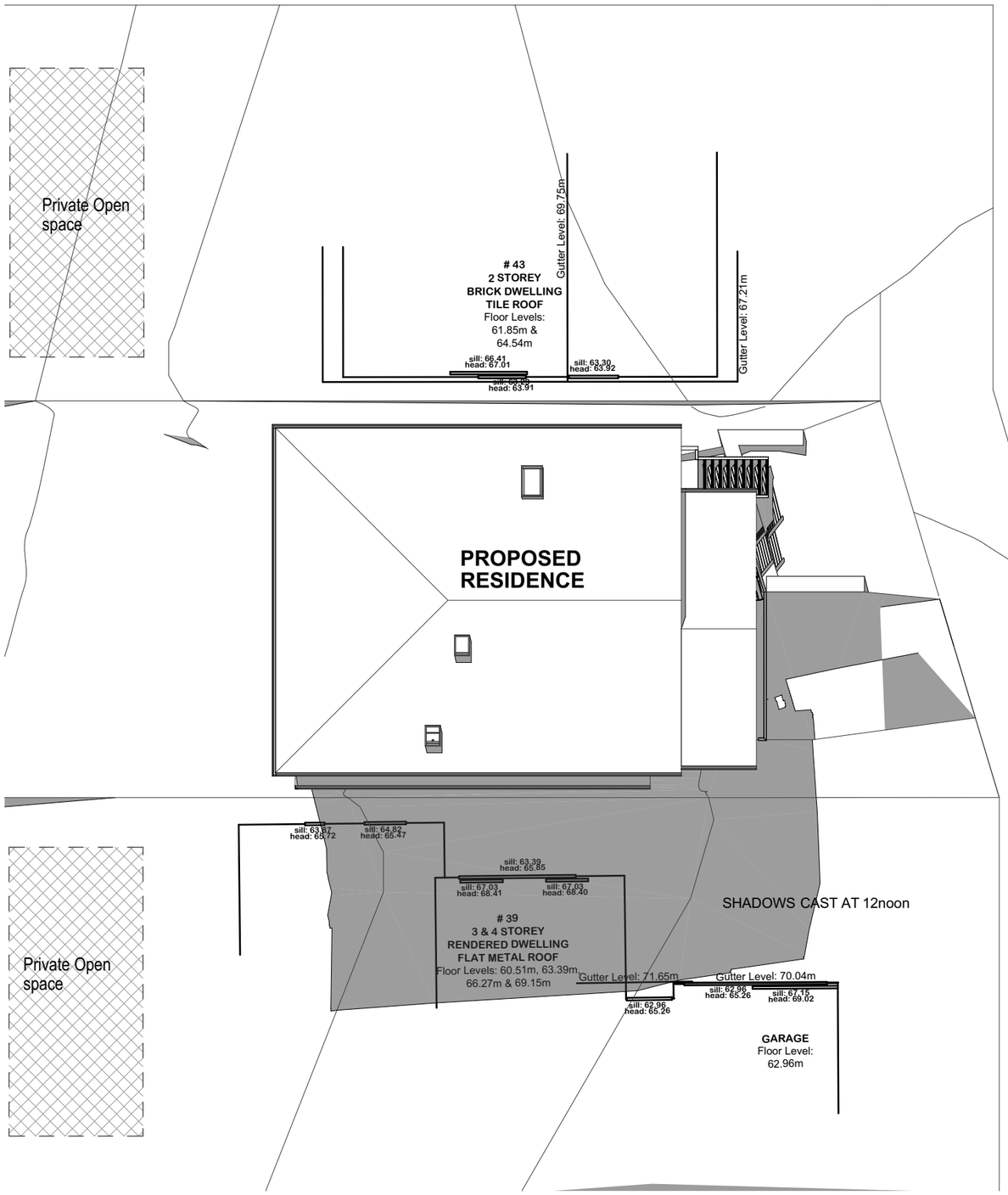
Client [redacted]

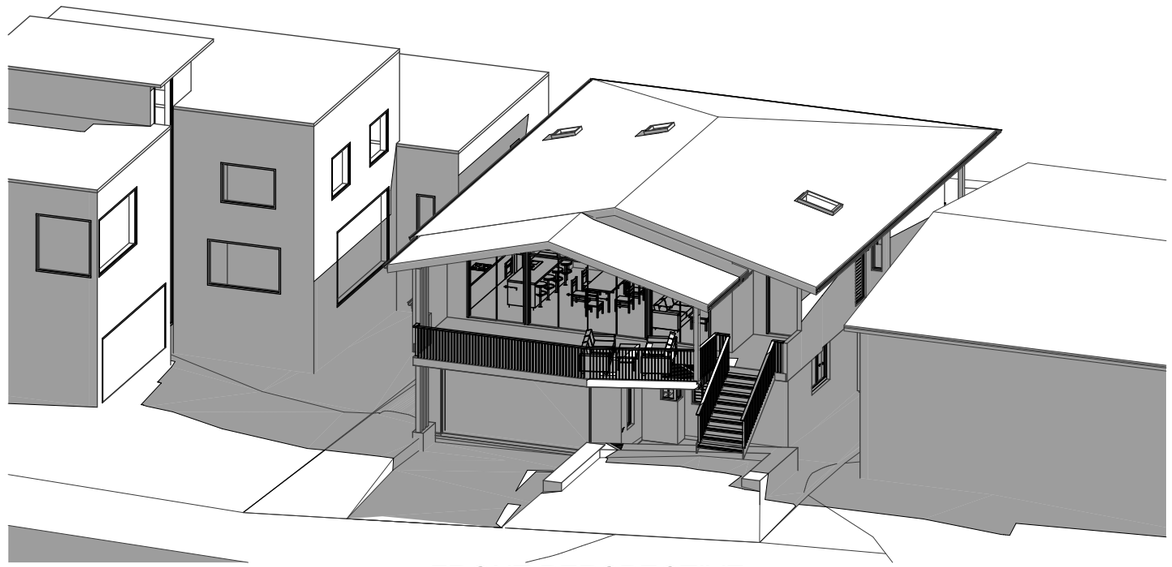
NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
SHADOW DIAGRAM - 9am JUNE 21 - Winter Solstice, FRONT and, REAR PERSPECTIVES

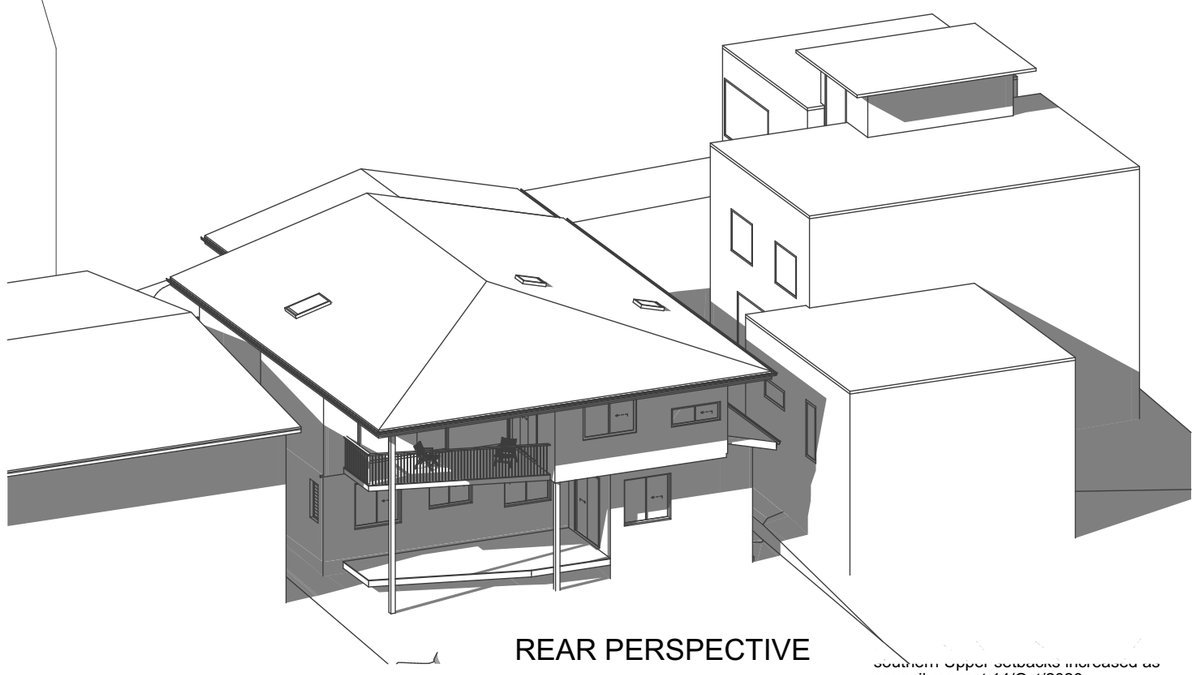
True North

Scale	Job Number	
1:200	**20-0306**	
Date: Wednesday, 14 October 2020	Drawn: S.G.	Drawing No.: S4 A





FRONT PERSPECTIVE



REAR PERSPECTIVE

SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

southern upper setbacks increased as council request 14/Oct/2020

PENINSULA HOMES

bdaa ACCREDITED BUILDING DESIGNER — SALLY GARDNER DESIGN AND DRAFT — PLANS DRAWN FOR APPROVAL

SDS SustainAbility Design™ Specialist

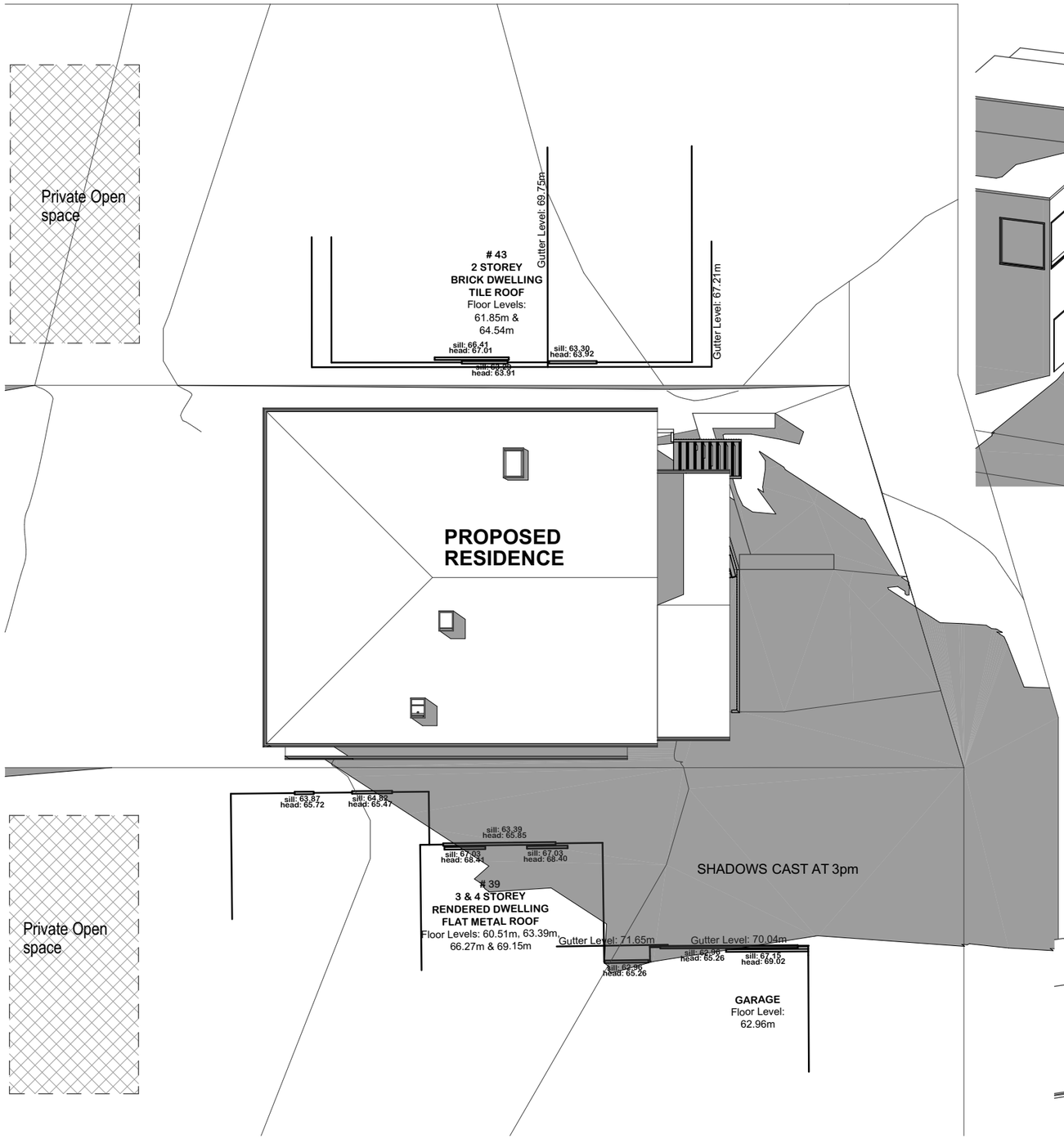
Client [redacted]

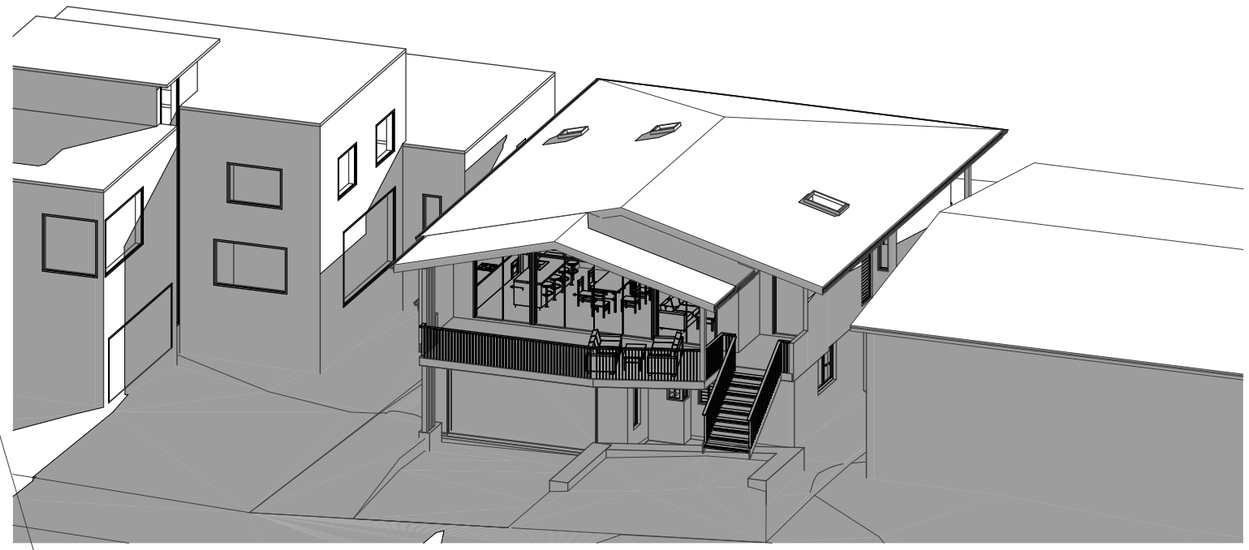
NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
SHADOW DIAGRAM - 12pm JUNE 21 - Winter Solstice, FRONT and, REAR PERSPECTIVES

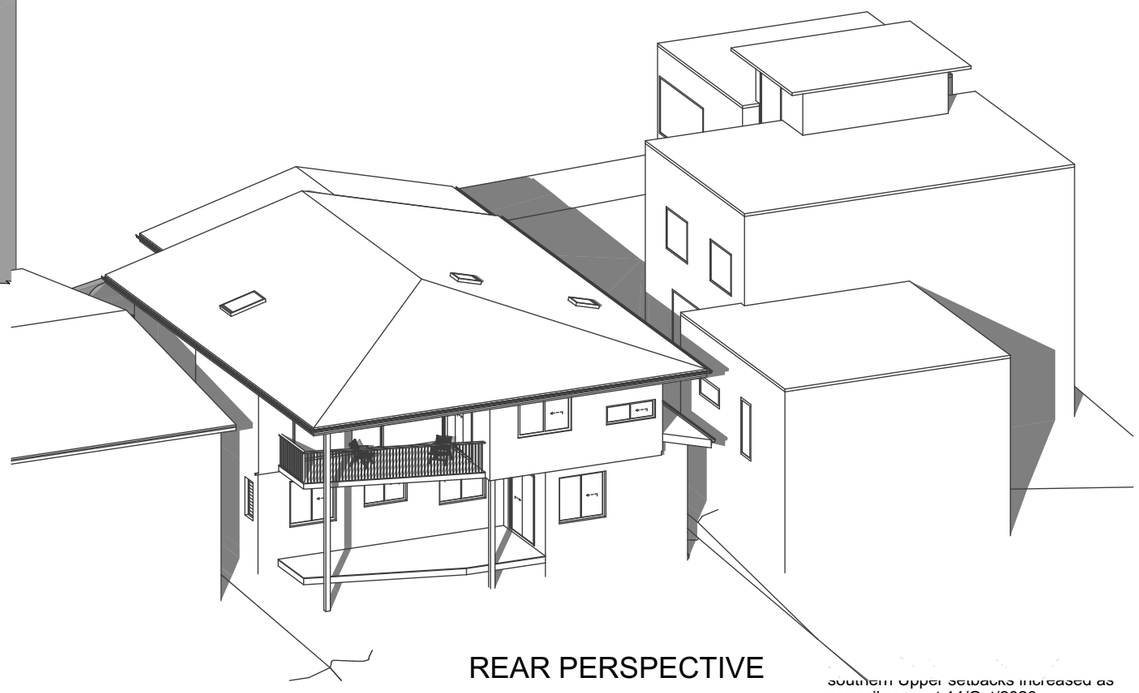
True North

Scale	Job Number
1:200	20-0306
Date: Wednesday, 14 October 2020	Drawn: S.G.
	Drawing No.: S5 A





FRONT PERSPECTIVE



REAR PERSPECTIVE

SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

Southern upper setbacks increased as council request 14/Oct/2020

PENINSULA HOMES

bdaa ACCREDITED BUILDING DESIGNER — SALLY GARDNER DESIGN AND DRAFT — PLANS DRAWN FOR APPROVAL

SDS SustainAbility Design™ Specialist

Client [redacted]

NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
SHADOW DIAGRAM - 3pm JUNE 21 - Winter Solstice, FRONT and, REAR PERSPECTIVES

True North

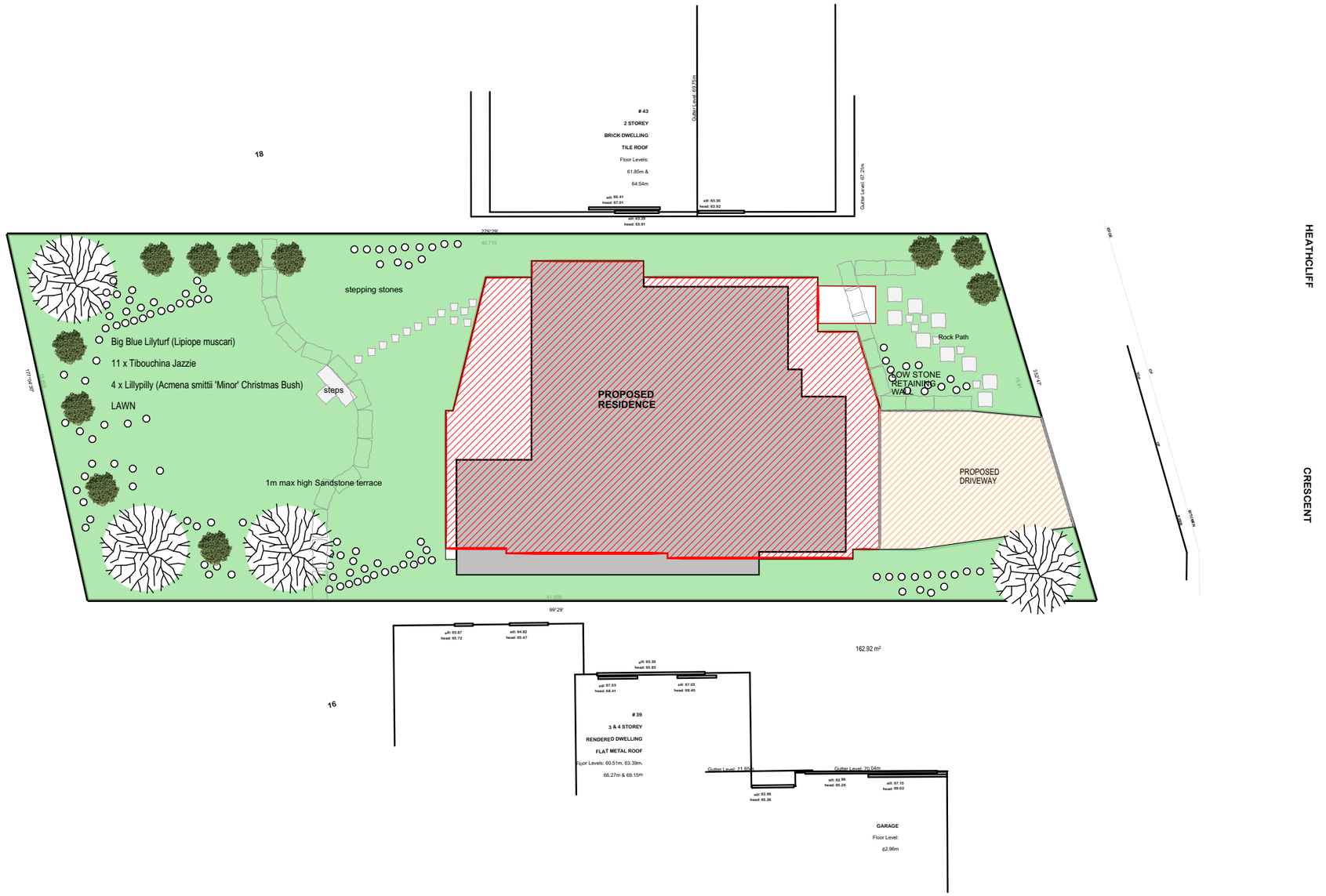
Scale 1:200

Date Wednesday, 14 October 2020

Job Number **20-0306**

Drawn S.G.

Drawing No. S6 A



SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

Revision A Front Verandah reduced and southern Upper setbacks increased as council request 14/Oct/2020

PENINSULA HOMES

bdaa ACCREDITED BUILDING DESIGNER — SALLY GARDNER DESIGN AND DRAFT — PLANS DRAWN FOR APPROVAL

SDS SustainAbility Design™ Specialist

Client

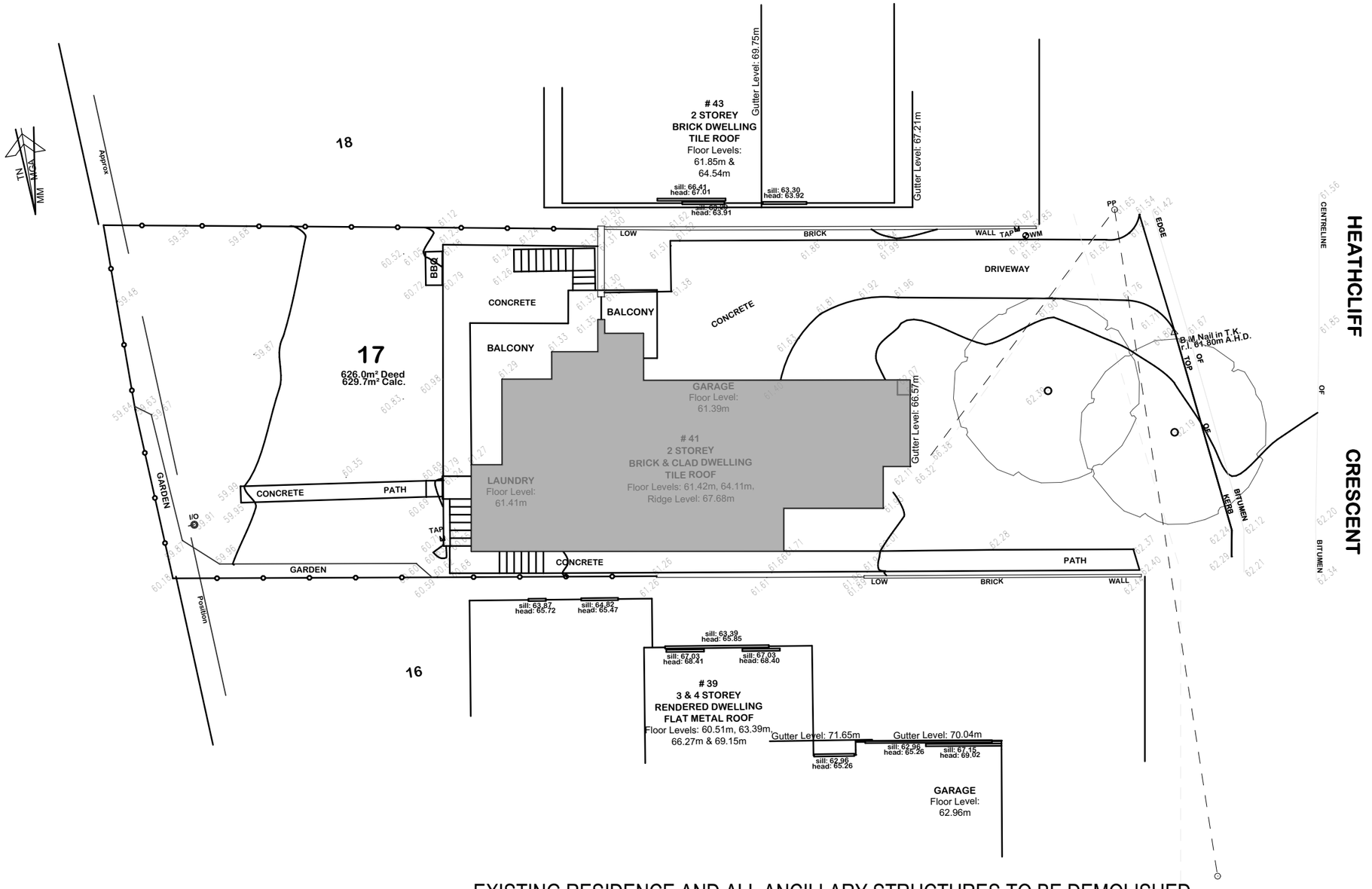
[redacted]

NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
LANDSCAPE PLAN

True North

Scale	Job Number
1:200	**20-0306**
Date: Wednesday, 14 October 2020	Drawn: S.G.
	Drawing No.: S7 A



EXISTING RESIDENCE AND ALL ANCILLARY STRUCTURES TO BE DEMOLISHED.

Provide Site Security fencing around perimeter of the site in Accordance with Council Guidelines.

SURVEY DETAILS PROVIDED BY:-
CLARKE DOWDLE & ASSOCIATES, UMINA

Revision A Front Verandah reduced and southern Upper setbacks increased as council request 14/Oct/2020

PENINSULA HOMES

bdaa ACCREDITED BUILDING DESIGNER

SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR APPROVAL

SDS SustainAbility Design™ Specialist

Client [redacted]

NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
DEMOLITION PLAN

True North

Scale 1:200

Job Number **20-0306**

Date Wednesday, 14 October 2020

Drawn S.G.

Drawing No. D1 A

BASIX COMMITMENTS

WATER COMMITMENTS

Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 200m2 of the site.
Fixtures
The applicant must install showerheads with a minimum rating of 4 star (>6 but <= 7.5 L/min) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.
Alternative water
Rainwater tank- Residence
The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 250m2 of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:
• the cold water tap that supplies each clothes washer in the development
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

THERMAL COMFORT SPECIFICATIONS

Glazing Doors/windows/clerestory
Mid coast Aluminium framed single clear glazing throughout:
Glazed doors and windows:
U-value: 5.40 (equal to or lower than) SHGC: 0.58 (±10%)
Given values are AFRC total window system values (glass and frame)
Skylights
Double glazing with aluminum or timber frames
Roof and Ceilings
Plasterboard with R3.5 insulation (insulation only value) to ceilings with roof above.
Plasterboard with R2.0 insulation (insulation only value) to garage ceiling with habitable rooms above.
Metal roof with foil backed blanket (Ru1.3 and Rd1.3).
External Colour: Medium (0.475<SA<0.7)
External walls:
Double brick with cavity insulation (minimum $R1.8_t$)
Lightweight cladding on framed walls with R2.0 insulation (insulation only value)
Default colour modelled

Internal walls:
Single skin brick with plasterboard lining - R2.0 insulation only required to internal walls adjacent to unconditioned rooms (garage, laundry and naturally ventilated bathrooms)
Plasterboard on studs - no insulation required
Floors
Concrete slab on ground, no insulation required.
Concrete floor between levels with R2.5 insulation to enclosed areas above garage.

Suspended concrete with R2.5 insulation (insulation only value) to open subfloor.
Floor coverings: Carpet to bedrooms/study, tiles to wet areas and timber elsewhere as per plans.

ENERGY COMMITMENTS

Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: : gas instantaneous with a performance of 6 stars.
Cooling System
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: Ceiling Fans + 3-phase airconditioning; Energy rating: EER>3.5 - 4.0
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: Ceiling Fans + 3-phase airconditioning; Energy rating: EER>3.5 - 4.0
The cooling system must provide for day/night zoning between living areas and bedrooms.
Heating system
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase Airconditioning; Energy rating: EER>3.5 - 4.0
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER>3.5 - 4.0
The heating system must provide for day/night zoning between living areas and bedrooms.
Ventilation
The applicant must install the following exhaust systems in the development:
At least 1 Bathroom: individual fan ducted to facade or roof; Operation control: manual switch on / off
Kitchen: individual fan, ducted to façade or roof; Sealed to prevent insulation loss; Operation control: manual switch on/ off
Laundry: individual fan, ducted to façade or roof; Sealed to prevent insulation loss; Operation control: manual switch on/ off
Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of ac
at least 4 of the bedrooms / study; at least 3 of the living / dining rooms; the kitchen; all bathrooms/toilets; the laundry; all hallways
ALL DOWN LIGHTS TO BE SEALED
Natural lighting
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.
Other
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.

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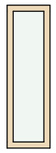
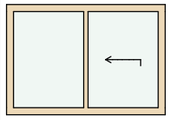
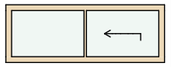
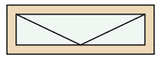
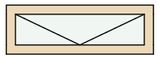
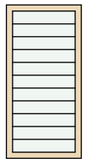
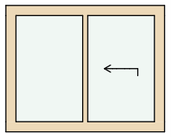
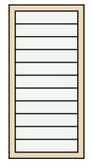
PLANS DRAWN FOR APPROVAL
SDS SustainAbility Design™ Specialist

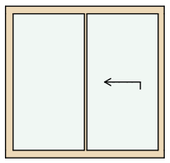
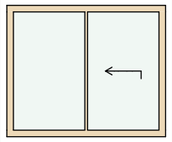
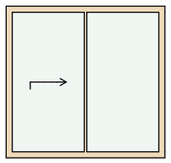
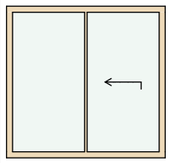
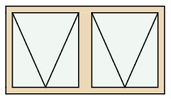
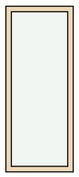
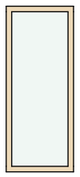
Client [redacted]

NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093

Drawing Title
BASIX COMMITENTS

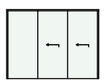
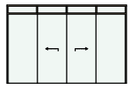
Scale
Job Number 20-0306
Date Wednesday, 14 October 2020
Drawn S.G.
Drawing No. N1 A

WINDOW SCHEDULE												
ID	W1	W2	W3	W4	W5	W6	W7	W8	W9	W11	W12	W13
W x H	1,800×450	900×2,100	350×1,165	1,800×1,250	1,650×600	1,200×400	1,200×400	3,000×400	2,500×450	610×1,250	1,570×1,250	610×1,250
SILL HEIGHT	1,800	150	900	1,000	1,000	1,950	1,950	1,950	1,900	1,150	1,150	1,150
HEAD HEIGHT	2,250	2,250	2,065	2,250	1,600	2,350	2,350	2,350	2,350	2,400	2,400	2,400
ELEVATION												

WINDOW SCHEDULE							
ID	W14	W15	W16	W17	W18	W19	W20
W x H	1,570×1,500	1,450×1,200	1,570×1,500	1,570×1,500	1,810×1,000	610×1,500	610×1,500
SILL HEIGHT	900	1,200	900	900	1,100	600	750
HEAD HEIGHT	2,400	2,400	2,400	2,400	2,100	2,100	2,250
ELEVATION							

DOOR & WINDOW NOTE:
All windows to be Powder Coated Aluminium with fly screens.
Front door to be Solid Core Timber '1220mm x 40mm' Feature door.
All other external doors to be Powder Coated Aluminium.
All Doors and Windows to be keyed alike deadlocks to all sashes & doors.
All windows and doors shall conform to the Relevant Australian Standard.
All windows and doors are to be weather stripped as per NCC.
All glazed assemblies will comply with As 2047 and AS 1288.
All glazing to have a max reflectivity index of 25%
Provide 'Frosted' Glasing to all bathrooms. UNO.

GLAZING NOTE:
Window load classification to all new windows and glazed doors is to be confirmed by the engineer prior to ordering and installation.

DOOR SCHEDULE									
									
ID	D1	D2	D3	D4	D5	D6	D7	D8	D9
W x H	1,220×2,250	3,000×2,250	2,100×2,250	1,870×2,550	3,900×2,550	1,990×2,550	1,800×2,250	850×2,100	4,930×2,250

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SDS SustainAbility Design™ Specialist

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NEW RESIDENCE
41 HEATHCLIFF CRESCENT BALGOWLAH HEIGHTS NSW 2093
Drawing Title
WINDOW & DOOR SCHEDULES

Scale 1:1
Job Number **20-0306**
Date Wednesday, 14 October 2020
Drawn S.G.
Drawing No. N2
A