

NORTH

DP 238994

THE BOUNDARY POSITION IS APPROXIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION WORKS.

ALL TREE HEIGHTS AND SPREAD ARE APPROXIMATE ONLY AND ARE SHOWN FOR TENDER PURPOSES ONLY. ALL TREE RELATED ISSUES TO BE REFERRED TO AN ARBORIST

APPROXIMATE POSITION OF SEWER MAIN. REFER TO SEWER DIAGRAM FOR DETAILS.  
NOTE: PRIOR TO ANY DESIGN AND CONSTRUCTION, A SEWER PEGOUT MUST BE UNDERTAKEN TO DETERMINE THE EXACT LOCATION OF THE SEWER LINE.

**NOTE:**

OWNER TO DEMOLISH & REMOVE FROM SITE EXISTING HOUSE, INCLUDING FOOTINGS & SERVICES ABOVE & BELOW GROUND, PATHS, DRIVE, TREES & FENCES ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**NOTE:**

ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

**LOT 6****D.P:** 238994**L.G.A:** NORTHERN BEACHES

**SITING HAS BEEN COMPLETED IN ACCORDANCE WITH WARRINGAH DCP 2011**

**SITE AREA** 696.8 m<sup>2</sup>**LANDSCAPED AREA**

**TOTAL LANDSCAPE AREA:** 430.2 m<sup>2</sup>  
(MIN. DIMENSION OF 2.0m) 61.7 %

**MIN. REQUIRED BY COUNCIL:** 40 %**PRIVATE OPEN SPACE**

**TOTAL OPEN SPACE AREA:** 244.7 m<sup>2</sup>  
(MIN. DIMENSION OF 5.0m)

**MIN. REQUIRED BY COUNCIL:** 60 m<sup>2</sup>**HEIGHT RESTRICTION**

**MAXIMUM RIDGE HEIGHT** 8.5 m  
**MAXIMUM CEILING HEIGHT** 7.2 m  
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)

**BUILDING ENVELOPE**

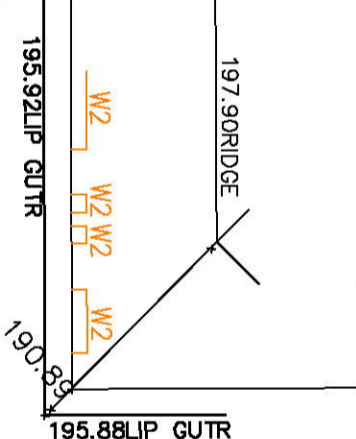
**BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY**

**SITE COVERAGE****STORMWATER CALCULATION**

**ROOF FOOTPRINT:** 234.8 m<sup>2</sup>  
**DRIVEWAY/ PAVED AREAS:** 42.9 m<sup>2</sup>  
**EXISTING POOL AREA:** 56.8 m<sup>2</sup>  
**TOTAL:** 334.5 m<sup>2</sup>  
48 %

**MAX SITE COVERAGE FOR OSD:** 40%**Maximum 1000mm CUT**

**DROP EDGE BEAM TO NATURAL GROUND**  
**NO EXPOSED FILL PERMITTED OUTSIDE BUILDING PERIMETER**



**STORMWATER TO EASEMENT VIA RAINWATER TANK AND O.S.D**

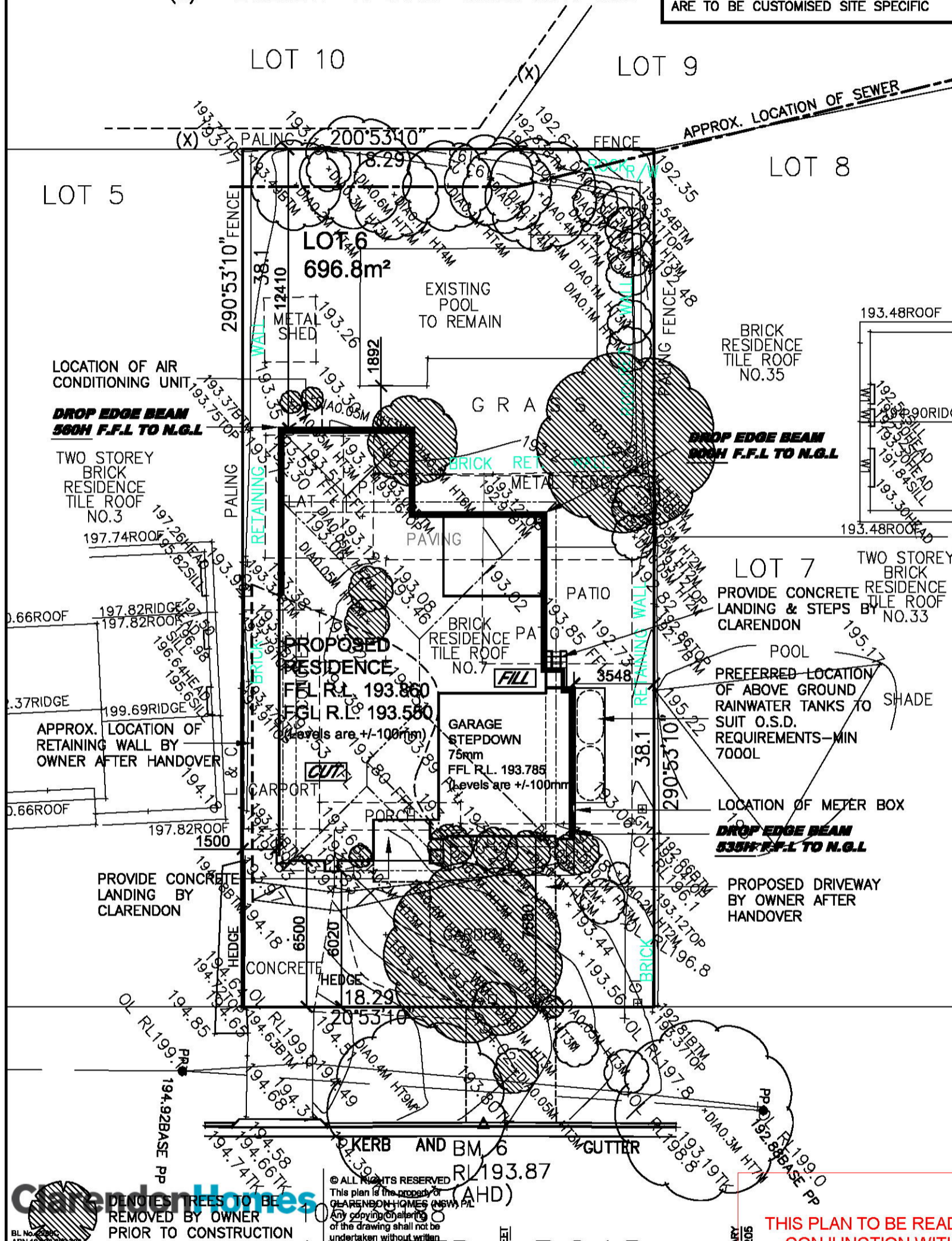
REFER TO HYDRAULIC DETAILS

**SALINE AFFECTED SOILS**

REFER TO ENGINEER'S DETAIL

**WIND CLASSIFICATION:** "M"**SLAB CLASSIFICATION:** "N2"

(X) - EASEMENT TO DRAIN WATER 0.915 WIDE



**CLARENDON HOMES**  
BL No. 2299  
ABN 18 600 299 700

**CLARENDON HOMES (NSW) PTY LTD**  
21 Clarendon Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

**SCALE 1:200****GENERAL NOTES**

- THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE:

DATE:

**PRODUCT:**

**FAIRMONT 41**  
Oxford  
R/H Garage  
  
Sapphire Specification

**CLIENT:**

**Mr McMILLAN**  
**Mrs McMILLAN**  
  
SITE ADDRESS:  
Lot. 6, No. 7, D.P. 238994  
Milsted Road  
TEDEEV LIII 1 S 2084

**DA DRAWINGS**

<b>DRAWN:</b> SC	<b>DATE:</b> 11.05.17	<b>Rev:</b> F
<b>RATIO @ A3:</b> 1:200	<b>CHECKED:</b> BG	
<b>SHEET:</b> 2	<b>JOB No:</b> 29912249	<b>NSW</b>

**DRIVEWAY GRADIENT PROFILE**

SCALE-1:100



**THIS PLAN TO BE READ IN CONJUNCTION WITH**

DA2017/0897

NORTHERN BEACHES COUNCIL

(S) SMOKE ALARM

● AIR CONDITIONING DUCT

⊗ EXHAUST FAN

1 FLOOR JOIST DIRECTION

DP ○ DOWN PIPE LOCATION

TAP X GARDEN TAP LOCATION

(L.O.B) LIFT OFF HINGES

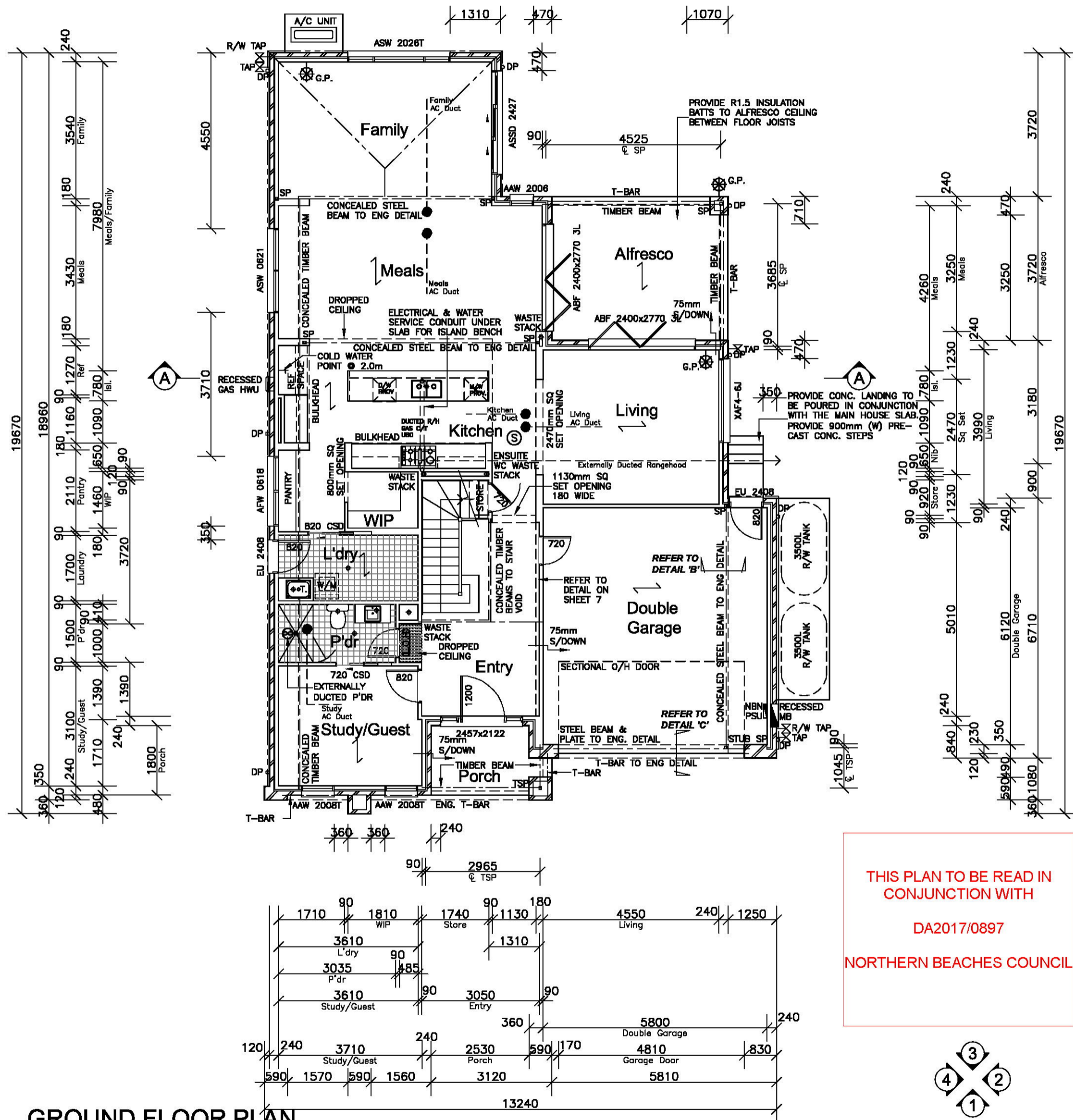
SP STEEL POST

TSP TELESCOPIC STEEL POST

NOTE:  
(UNLESS NOTED OTHERWISE)  
300 DEEP BULKHEADS & SQ.  
SETS. 150 DROPPED CEILINGS

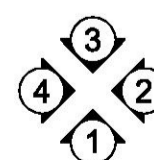
NOTE:  
INTERNAL DOOR LEAF HEIGHTS TO  
GROUND FLOOR TO BE 2340mm(H)

NOTE:  
PROVIDE (x4) 450mm DEEP MELAMINE  
SHELVING TO W.I.P



GROUND FLOOR PLAN

THIS PLAN TO BE READ IN  
CONJUNCTION WITH  
DA2017/0897  
NORTHERN BEACHES COUNCIL



CLIENT'S SIGNATURE:

DATE:

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 708

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 9954 5300

© ALL RIGHTS RESERVED  
This plan is the property of  
CLARENDON HOMES (NSW) P/L  
Any copying or altering  
of the drawing shall not be  
undertaken without written  
permission from  
CLARENDON HOMES (NSW) P/L  
# DIMENSIONS TO BE READ IN  
METRES UNLESS OTHERWISE STATED

PRODUCT:  
**FAIRMONT 41**  
Oxford  
R/H Garage  
Sapphire Specification

CLIENT:  
**Mr McMILLAN**  
**Mrs McMILLAN**  
SITE ADDRESS:  
Lot. 6, No. 7, D.P. 238994  
Milsted Road  
TEDDEV HILL NSW 2084

DA DRAWINGS

DRAWN: PG.	DATE: 07.06.17	Rev: F
RATIO @ A3: 1:100	CHECKED: M.P	
SHEET: 3	JOB No: 29912249	NSW

(S) SMOKE ALARM

● AIR CONDITIONING DUCT

DP = DOWN PIPE LOCATION 400x200mm EAVE VENT

(L.O.B) LIFT OFF HINGES

SP = STEEL POST

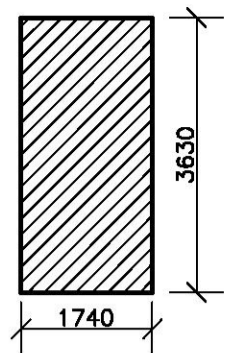
TSP = TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

⊗ EXHAUST FAN

NOTE:  
(UNLESS NOTED OTHERWISE)

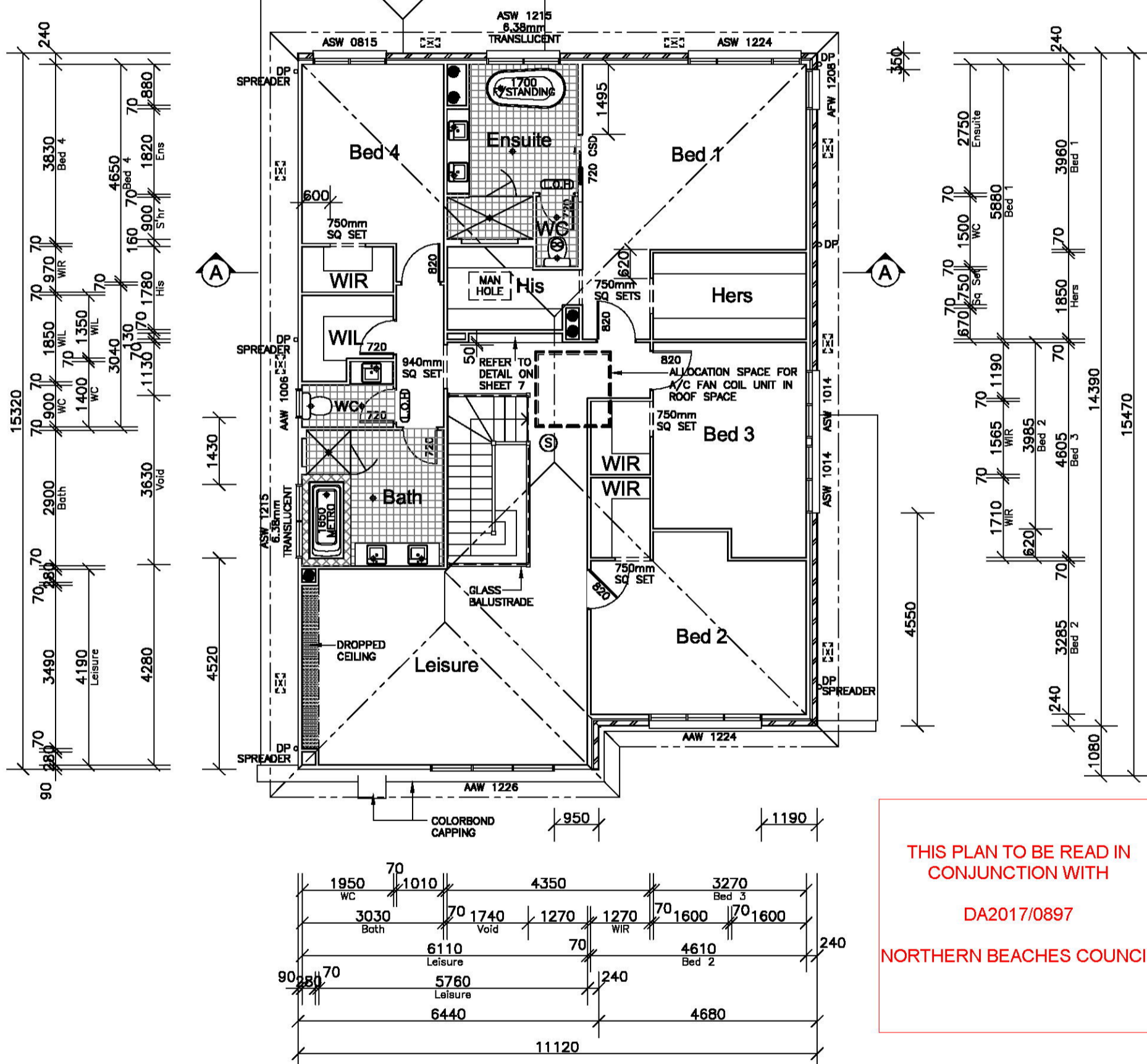
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS



STAIR CUTOUT  
SCALE 1:100

NOTE:  
SHOWER NOOK/RECESS REFER TO  
CDN 54.240 & SHEET 10 FOR DETAILS

NOTE:  
ALL FIRST FLOOR BEDROOM & LIVING  
WINDOWS TO BE FITTED WITH A  
RESTRICTING DEVICE COMPLIANT  
WITH PART 3.9.2.5 OF THE B.C.A -  
PROTECTION OF OPENABLE WINDOWS



FIRST FLOOR PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 882 708  
Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8854 5500

© ALL RIGHTS RESERVED  
This plan is the property of  
CLARENDON HOMES (NSW) P/L  
Any copying or altering  
of the drawing shall not be  
undertaken without written  
permission from  
CLARENDON HOMES (NSW) P/L  
# DIMENSIONS TO BE READ IN  
CONJUNCTION WITH

PRODUCT:  
**FAIRMONT 41**  
Oxford  
R/H Garage  
Sapphire Specification

CLIENT:  
Mr McMILLAN  
Mrs McMILLAN  
SITE ADDRESS:  
Lot. 6, No. 7, D.P. 238994  
Milsted Road  
TERRACE HILLS NSW 2084

DA DRAWINGS

DRAWN: PG.	DATE: 07.06.17	Rev: F
RATIO @ A3: 1:100	CHECKED: M.P.	
SHEET: 4	JOB No: 29912249	NSW

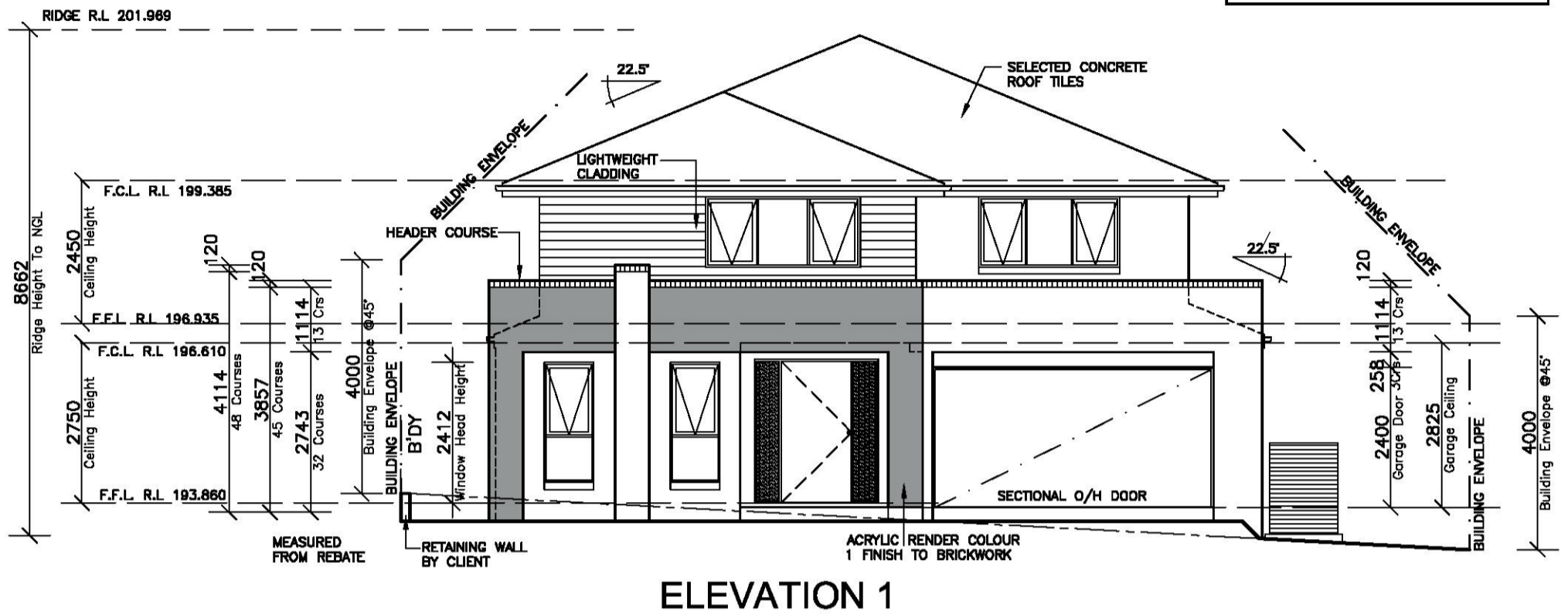
NOTES:  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
CDN 21.010-21.080

DENOTES WINDOWS WITH  
6.38mm TRANSLUCENT  
LAMINATED GLAZING

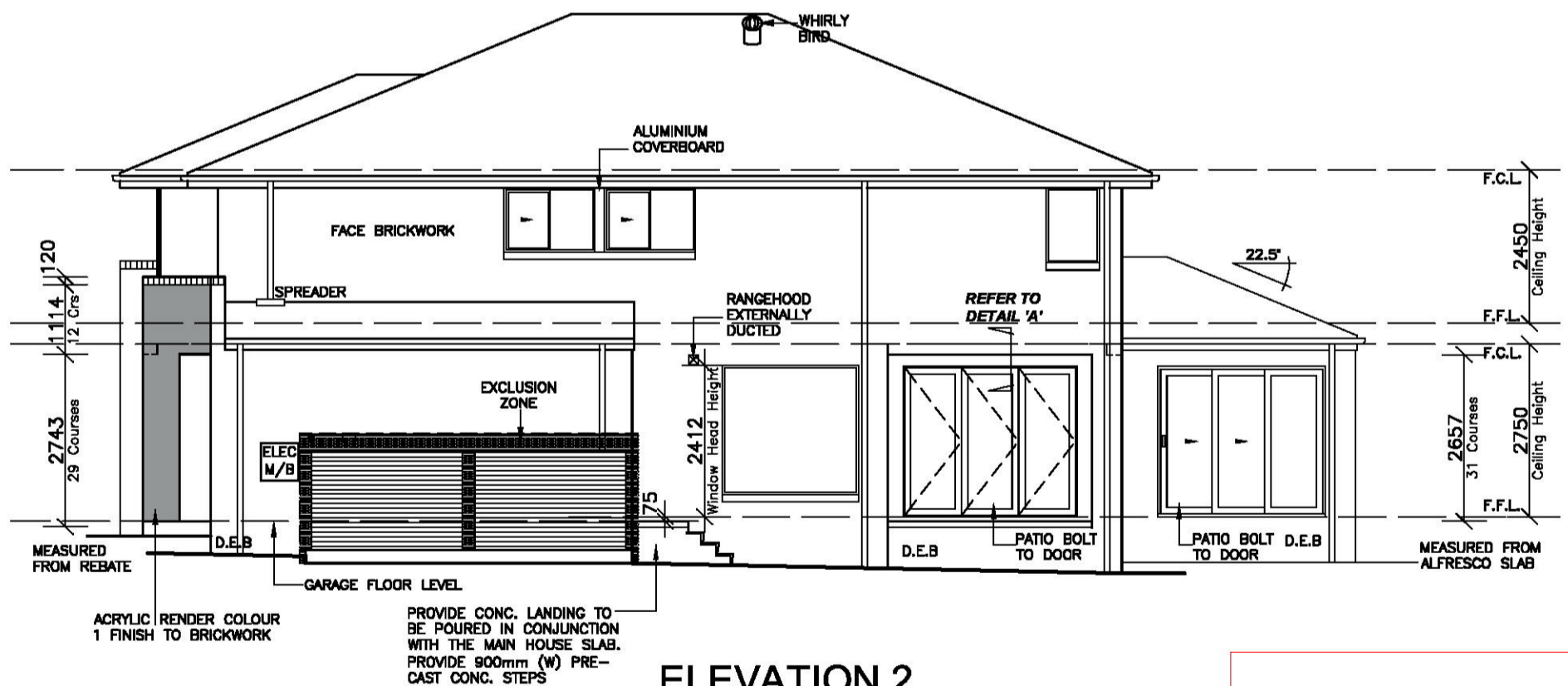
NOTE:  
HEIGHT OF DROP EDGE BEAM MAY  
VARY DUE TO SITE CONDITIONS  
UPON COMPLETION OF SITE WORKS

NOTE:  
NUMBER OF STEPS REQUIRED MAY  
VARY DEPENDING ON SITE  
CONDITIONS

DENOTES ACRYLIC  
RENDER COLOUR 1 (GREY  
CASTLE)



ELEVATION 1



ELEVATION 2

THIS PLAN TO BE READ IN  
CONJUNCTION WITH  
DA2017/0897  
NORTHERN BEACHES COUNCIL

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**  
BL No. 2298C  
ABN 18 003 892 708  
Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8954 5300

© ALL RIGHTS RESERVED  
This plan is the property of  
CLARENDON HOMES (NSW) P/L.  
Any copying or altering  
of the drawing shall not be  
undertaken without written  
permission from  
CLARENDON HOMES (NSW) P/L.  
# DIMENSIONS TO BE READ IN  
CONJUNCTION WITH

PRODUCT:  
**FAIRMONT 41**  
Oxford  
R/H Garage  
Sapphire Specification

CLIENT:  
**Mr McMILLAN**  
**Mrs McMILLAN**  
SITE ADDRESS:  
Lot. 6, No. 7, D.P. 238994  
Milsted Road  
TERRACE HILLS NSW 2084

DA DRAWINGS			
DRAWN: PG.	DATE: 07.06.17	Rev: <b>F</b>	
RATIO @ A3: 1:100	CHECKED: M.P.		
SHEET: <b>5</b>	JOB No: <b>29912249</b>	NSW	

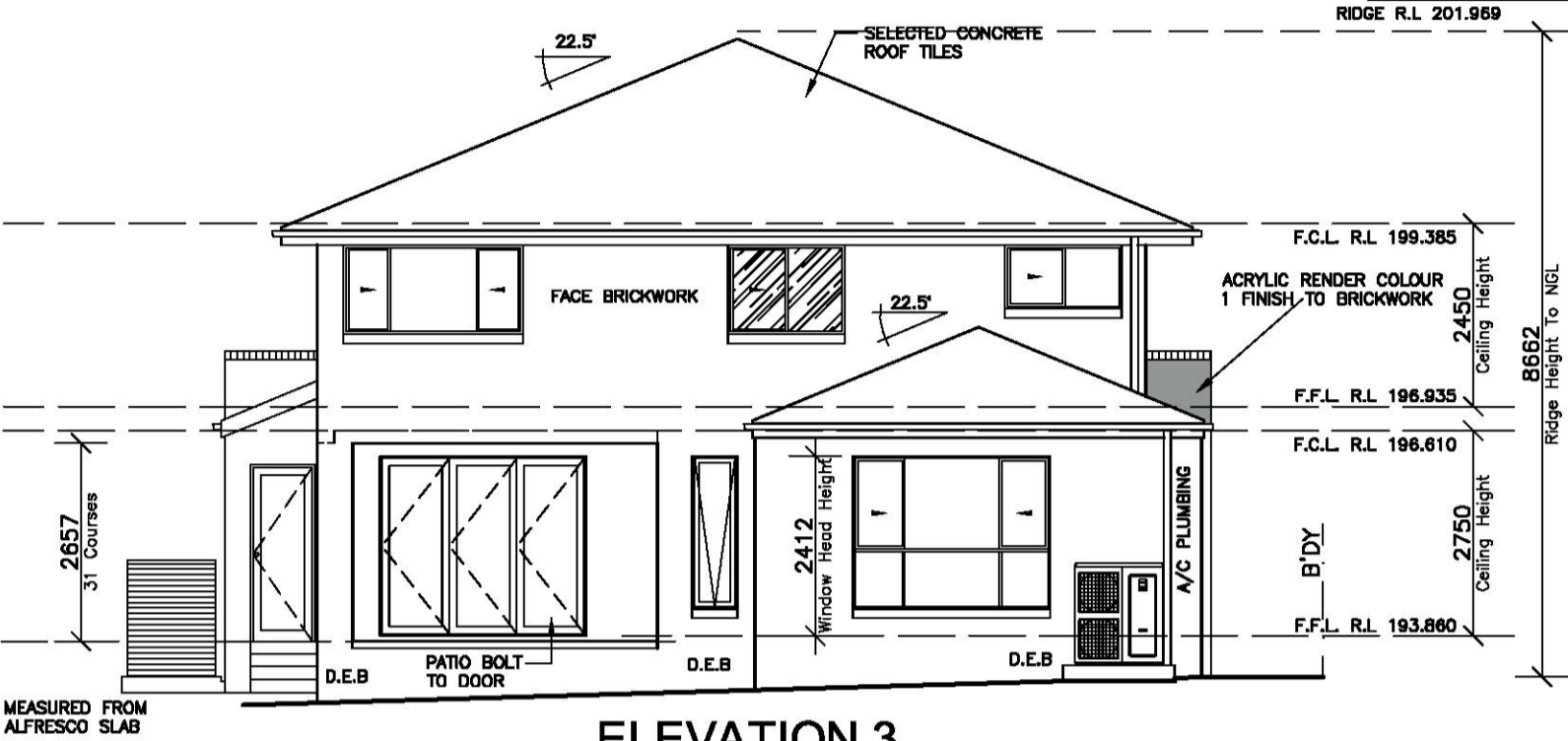
NOTES:  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
CDN 21.010-21.080

DENOTES WINDOWS WITH  
6.38mm TRANSLUCENT  
LAMINATED GLAZING

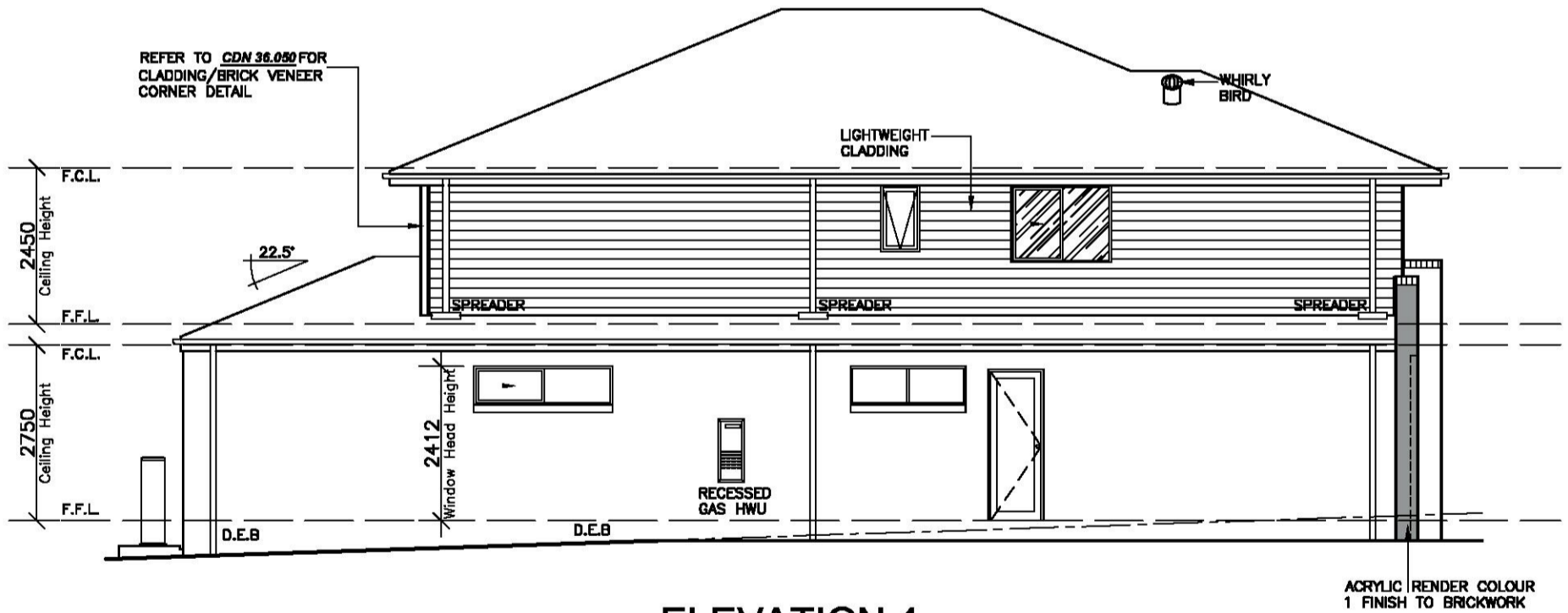
NOTE:  
HEIGHT OF DROP EDGE BEAM MAY  
VARY DUE TO SITE CONDITIONS  
UPON COMPLETION OF SITE WORKS

NOTE:  
NUMBER OF STEPS REQUIRED MAY  
VARY DEPENDING ON SITE  
CONDITIONS

DENOTES ACRYLIC  
RENDER COLOUR 1 (GREY  
CASTLE)



ELEVATION 3



ELEVATION 4

THIS PLAN TO BE READ IN  
CONJUNCTION WITH  
DA2017/0897  
NORTHERN BEACHES COUNCIL

CLIENT'S SIGNATURE: DATE:

<b>ClarendonHomes</b> BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8954 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L. Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L. # DIMENSIONS TO BE READ IN CONJUNCTION TO DA2017/0897	PRODUCT: <b>FAIRMONT 41</b> Oxford R/H Garage  Sapphire Specification	CLIENT: <b>Mr McMILLAN</b> <b>Mrs McMILLAN</b>  SITE ADDRESS: Lot. 6, No. 7, D.P. 238994 Milsted Road TEDDEV HILLS NSW 2084	DA DRAWINGS		
				DRAWN: PG.	DATE: 07.06.17	Rev:
				RATIO @ A3: 1:100	CHECKED: M.P	F
				SHEET: 6	JOB No: 29912249	NSW



DRAWN: PG.	DATE: 07.06.17	Rev:  F
RATIO @ A3: 1:100	CHECKED: M.P	
SHEET: 7	JOB No: 29912249	NSW



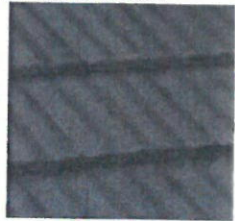


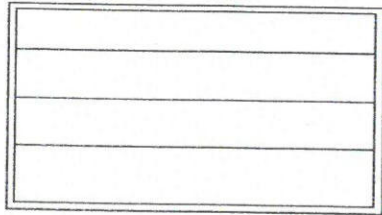

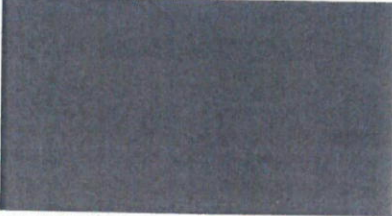

# LIFESTYLE

## - STUDIO -


### BY CLARENDON HOMES

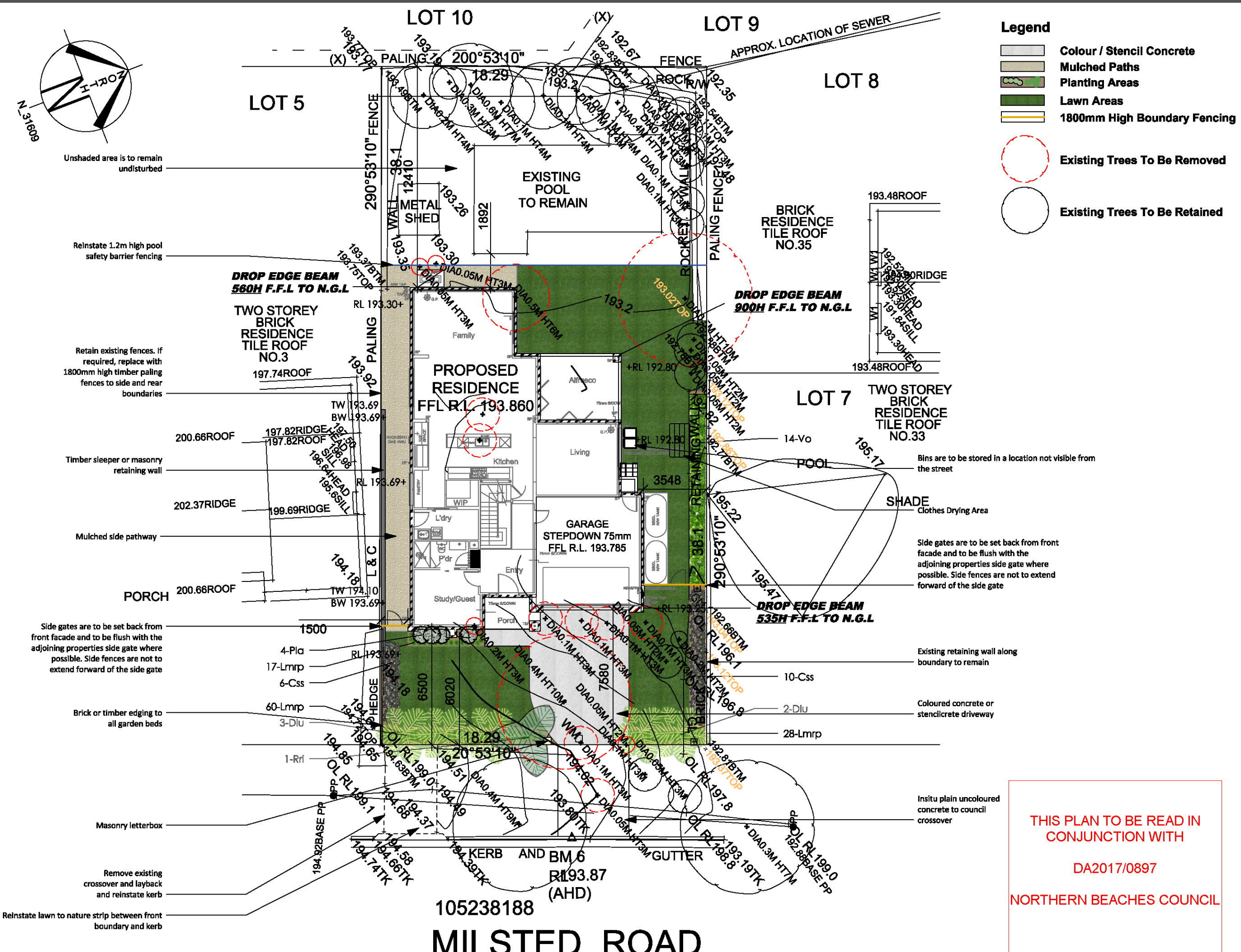
<b>Client:</b>	Mr John Alexander & Mrs Amanda Jane McMillan		
<b>Site Address:</b>	Lot 6, No.7 Milsted Road Terrey Hills NSW		
<b>Job Number:</b>	209912249	<b>House Type:</b>	Fairmont 41
<b>Date Issued:</b>	11/07/2017	<b>Developer:</b>	N/A

<b>Roof BASIX Rating:</b>		<b>Wall BASIX Rating:</b>	
---------------------------	--	---------------------------	--

<b>Main Brick:</b> Urban One, Chiffon 	<b>Feature:</b> Render <b>Colour:</b> Grey Castle 	<b>Roof Type/Style:</b> Contour <b>Colour:</b> Gunmetal 
<b>Window Frame Colour:</b> Custom Black 	<b>Gutter/Fascia/Downpipes/ Watertank:</b> Basalt 	<b>Garage Door Type:</b> Flatline 
<b>Front Entry Door Colour:</b> Sikkens Mahogany 	<b>Lightweight Cladding:</b> T-M Viking Grey 	<b>Garage Door Colour:</b> Caoba Dawn 
<b>Other:</b> N/A	<b>Driveway:</b> To compliment facade <b>*By client after handover</b>	<b>Letterbox:</b> To compliment facade <b>*By client after handover</b> <div style="border: 1px solid red; padding: 5px; text-align: center;"> <p>THIS PLAN TO BE READ IN CONJUNCTION WITH</p> <p>DA2017/0897</p> <p>NORTHERN BEACHES COUNCIL</p> </div>

NOTE: Colours are indicative only and should not be used as a true representation of the product.

Signature 	Date 11 JUL 17
---	----------------



Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	05/07/17
B	Plants & Trees	JS	07/07/17
C	Existing Tree	JS	06/09/17

Drafted:  
JS

Scale: 1:200

Sheet:  
1 of 4

Reference:  
LP 01

Designed by:  
Julian Saw  
Diploma of Horticulture  
(Landscape Design)

General Notes:

1. See Architects drawings for site levels, setbacks and extent of cut and fill.

2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.

3. All relevant Australian standards are to be adhered to.

4. Any structural items are to be installed as per the manufacturer/engineers specifications.

5. This plan is indicative only and not for construction purposes

SITE CALCULATIONS

LOT AREA	666.8 sq m
PROPOSED PAVED AREA TOTAL	42.2 sq m 6.055%
PROPOSED LANDSCAPED AREA TOTAL	231.5 sq m 33.225%
EXISTING AREA TO REMAIN TOTAL	204.5 sq m 29.348%

Client:

Mr McMillan

Client Signatures:

1.

2.

Job No.

647

Drawing:

Landscape Plan

Address:

No. 7 Milsted Road  
Terry Hills

Council:

Northern Beaches

DappleDesigns

Ph: 0437 043 112

www.dappledesigns.com.au

Any existing trees are to be protected in accordance with councils Tree Protection Detail

(X) - EASEMENT TO DRAIN WATER 0.915 WIDE

LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPEED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVTION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINEDWHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER.ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVELANT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGARDE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 80MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER' BUFFALO TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. FEFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SUFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETNETION. WATER THOROUGHLY AFTER PLANTING.

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER 'HAVEN' BRICK EDGING OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR TREATED TIMBER EDGING SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

MAINTENANCE PERIOD

A 12 MONTH MAINTENANCE PERIOD FROM THE DATE OF PRACTICAL COMPLETION WILL APPLY. DURING THIS TIME THE OWNER IS RESPONSIBLE FOR RECTIFYING ANY DEFECTIVE WORK. DURING THE MAINTENACE PERIOD THE FOLLOWING ACTIVITIES ARE TO BE UNDERTAKEN.

a) REPLACEMENTS: ANY PLANTS/TREES THAT HAVE DIED SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON THIS PLAN. THE SPECIMENS MUST BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES.

b) WATERING: REGULAR WATERING OF PLANTS IS REQUIRED. PLANTS SHOULD BE WATERED TWICE A WEEK WITHIN THE FIRST

2 MONTHS OF PLANTING AND AND DURING DRY PERIODS. LESS FREQUENT WATERING IS REQUIRED ONCE PLANTS ARE ESTABLISHED AND DURING PERIODS OF RAIN. THE CONTRACTOR/OWNER SHOULD USE THEIR DISCRETION.

c) GARDEN BEDS: GARDEN AREAS SHOULD BE REGULARLY WEEDED AND MULCH TOPPED UP IF REQUIRED. NO BARE SOIL IS TO BE PRESENT AND SPECIFIED DEPTHS MAINTAINED.

d) LAWN AREAS: LAWN AREAS SHALL BE MOWN REGULARLY (AT LEAST ONCE A WEEK IN GROWING SEASON) IN ORDER TO PROMOTE A THICK LAWN THAT OUTCOMPETES ANY WEEDS. LAWN CLIPPINGS ARE NOT TO BE SPREAD OVER GARDEN AREAS. ANY DEAD AREAS OF LAWN OCCURING THE MAINTENANCE PERIOD, ARE TO BE REPLACE WITH THE TURF VARIETY SPECIFED IN THE PLAN.

e) PRUNING: ADEQUATE HORTICULTURAL PRUNING METHODS SHOULD BE USED ON PLANTS AS BECOMES NECESSARY. ANY HEDGES ARE TO BE TRIMMED REGULARLY, DEAD AND DANGEROUS TREE BRANCHES PRUNED AND LIGHT PRUNING OF SHRUBS TO PROMOTE THICK FOLIAGE COVER.

f) FERTILISING: 'ORGANIC LIFE' FERTILISER OR EQUIVELANT SHALL BE APPLIED AS PER MANUFACTURERS INSTRUCTIONS TO ALL GARDEN BEDS ONCE PER MONTH. DYNAMIC LIFTER OR SIMILAR SHOULD BE APPLIED TO ALL LAWN AREAS TWICE A YEAR, ONCE IN MID SPRING AND ONCE IN EARLY SUMMER. WATER THOROUGHLY AFTER EACH APPLICATION OF FERTILISER.

PLANT LIST

TYPE	SYMBOL	BOTANIC NAME	COMMON NAME	MATURE HEIGHT X WIDTH	QTY	POT SIZE
TREES						
	Dlu	DYPsis LUTESCENS	GOLDEN CANE PALM	5M X 4M	5	25LTR
	Rri	RAVENEa RIVULARIS	MAJESTIC PALM	4.5M X 7M	1	25LTR
SHRUBS						
	Css	CAMELLIA SASANQUA	SASANQUA CAMELLIA	TRIMMED UP TO 3M	16	200MM
	Pla	PLECTRANTHUS ARGENTATUS	SILVER SPURFLOWER	1M X1M	4	200MM
GRASSES & STRAP LEAF PLANTS						
	Lmrp	LIRIOPE MUSCARI 'ROYAL PURPLE'	LILY TURF	0.4M X 0.4M	105	140MM
HEDGES						
	Vo	VIBURNUM ODORATISSUM	SWEET VIBURNUM	TRIMMED UP TO 2M	14	200MM

THIS PLAN TO BE READ IN  
CONJUNCTION WITH

DA2017/0897

NORTHERN BEACHES COUNCIL

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	05/07/17
B	Plants & Trees	JS	07/07/17
C	Existing Tree	JS	06/09/17

Drafted:

JS

Scale: 1:200

Sheet:

2 of 4

Reference:

LP 01

Designed by:

Julian Saw

Diploma of Horticulture

(Landscape Design)

General Notes:

1. See Architects drawings for site levels, setbacks and extent of cut and fill.

2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.

3. All relevant australian standards are to be adhered to.

4. Any structural items are to be installed as per the manufacturer/engineers specifications.

5. This plan is indicative only and not for construction purposes

SITE CALCULATIONS

LOT AREA	686.8 sq m	
PROPOSED PAVED AREA TOTAL	42.2 sq m	6.055%
PROPOSED LANDSCAPED AREA TOTAL	231.5 sq m	33.225%
EXISTING AREA TO REMAIN TOTAL	204.5 sq m	29.348%

Client:

Mr McMillan

Client Signatures:

1.

2.

Job No.

647

Drawing:

Plant List/Specification

Address:

No. 7 Milsted Road

Terry Hills

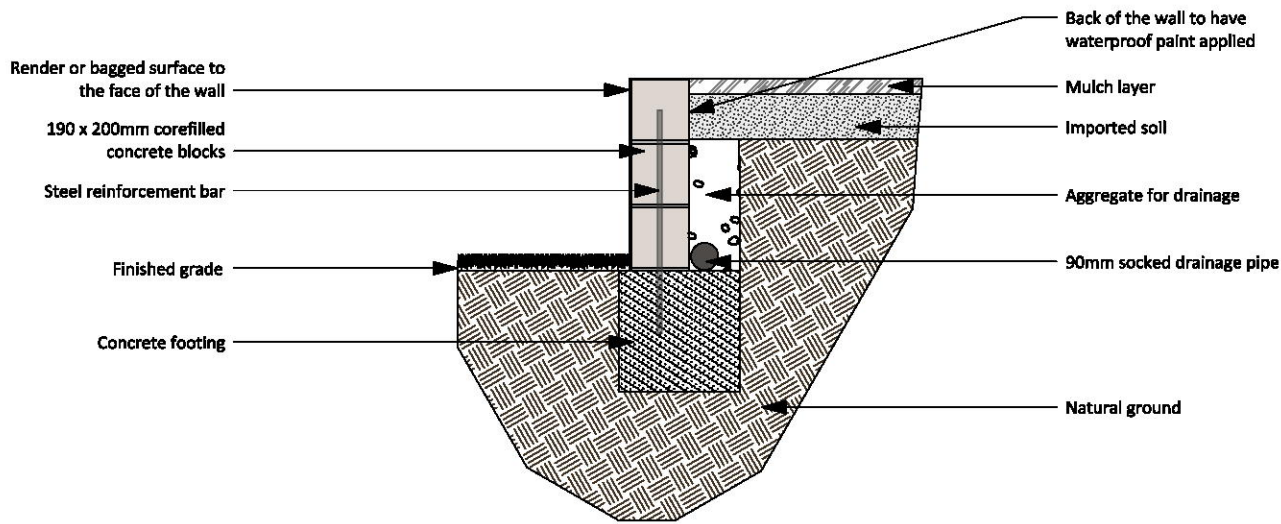
Council:

Northern Beaches

DappleDesigns

Ph: 0437 043 112

www.dappledesigns.com.au

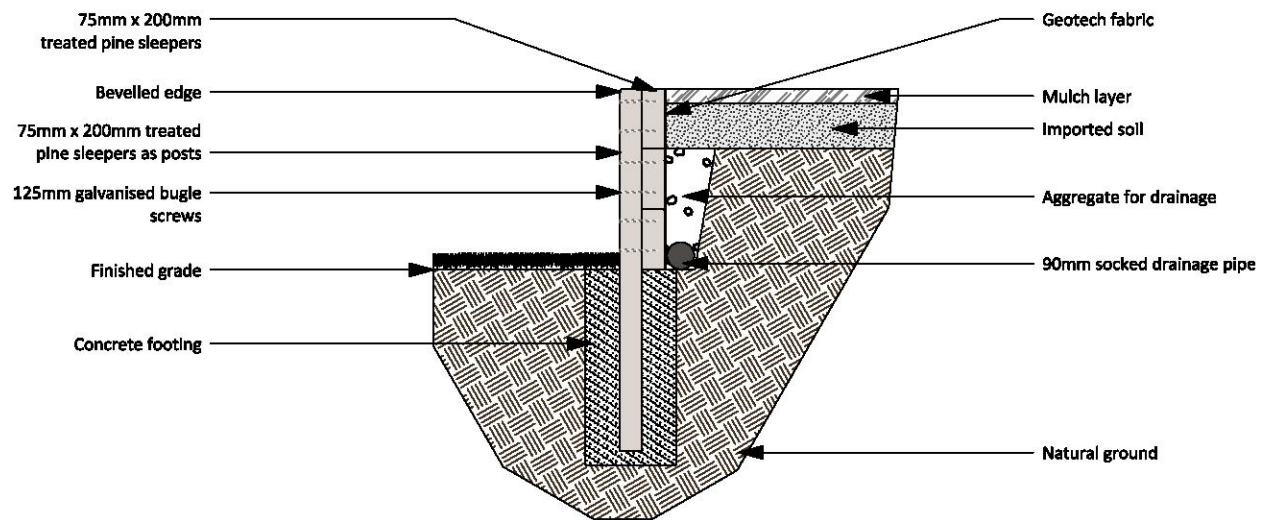


#### DETAILS

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STAIGHT
3. REFER TO PLAN FOR HEIGHTS
4. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS

#### RENDERED/BAGGED RETAINING WALL DETAIL

SCALE 1:25



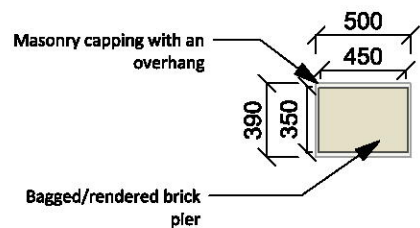
#### DETAILS

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STAIGHT OR SLIGHTLY SLANTED TOWARDS THE SOIL BEING RETAINED
3. TIMBER IS TO BE FREE OF CRACKS AND KNOTS
4. REFER TO PLAN FOR HEIGHTS
5. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS

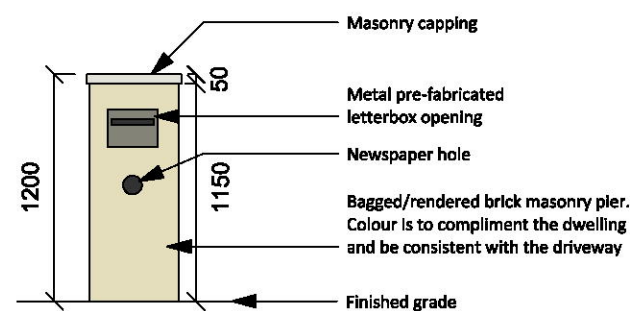
#### TREATED TIMBER RETAINING WALL DETAIL

SCALE 1:25

#### TOP VIEW



#### FRONT VIEW

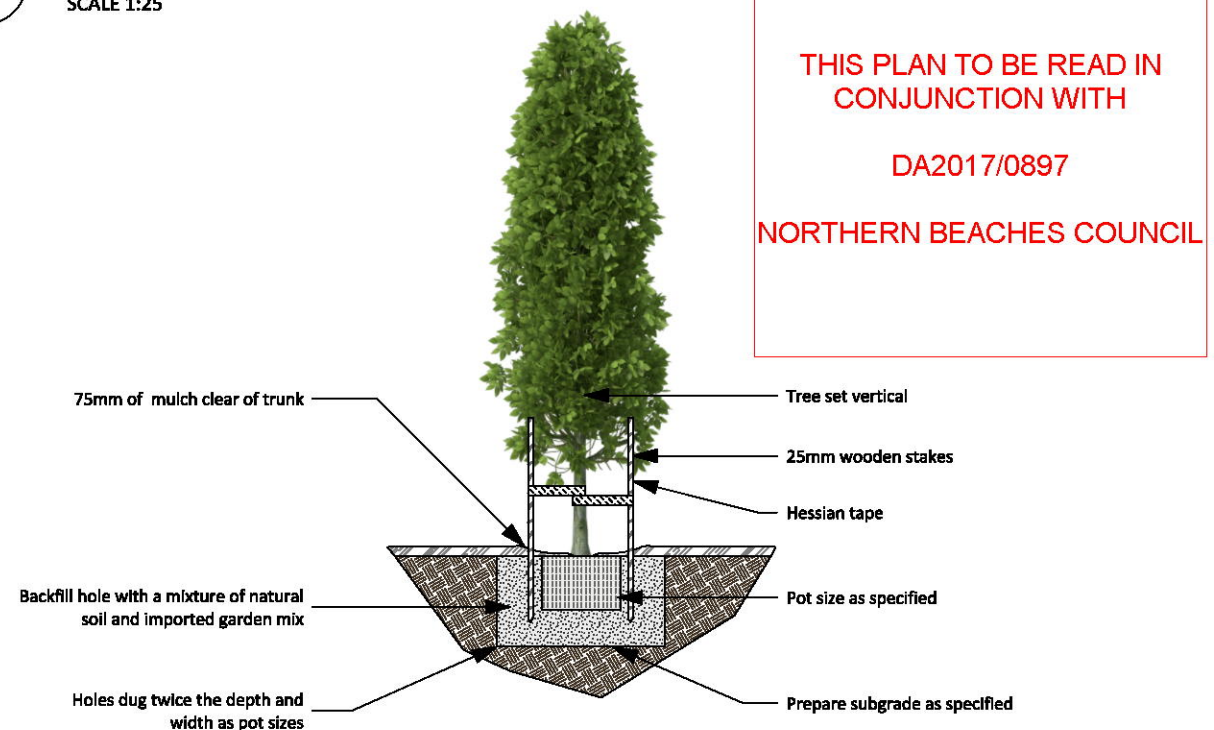


#### DETAILS

1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
2. ENSURE THAT NO CEMENT OR RENDER IS LEFT ON THE BRICKWORK OR LETTERBOX OPENING
3. BRICK PIER IS TO LEVEL AND STRAIGHT

#### LETTERBOX DETAIL

SCALE 1:40



#### DETAILS

1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
2. WATER THOROUGHLY AFTER PLANTING

#### TREE PLANTING DETAIL

SCALE 1:40

#### Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	05/07/17
B	Plants & Trees	JS	07/07/17
C	Existing Tree	JS	06/09/17

Drafted:	Scale: 1:200
JS	0 0 1 2 3 M

Sheet:	Reference:
3 of 4	LP 01

Designed by:

**Julian Saw**  
Diploma of Horticulture  
(Landscape Design)

General Notes:  
1. See Architects drawings for site levels, setbacks and extent of cut and fill.  
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.  
3. All relevant Australian standards are to be adhered to.  
4. Any structural items are to be installed as per the manufacturer/engineers specifications.  
5. This plan is indicative only and not for construction purposes

SITE CALCULATIONS		
LOT AREA	696.8 sq m	
PROPOSED PAVED AREA TOTAL	42.2 sq m	6.055%
PROPOSED LANDSCAPED AREA TOTAL	231.5 sq m	33.225%
EXISTING AREA TO REMAIN TOTAL	204.5 sq m	29.348%

Client: **Mr McMillan**

Client Signatures:

- 1.
- 2.

Job No. **647**

Drawing: **Construction Details**

Address: **No. 7 Milsted Road  
Terry Hills**

Council: **Northern Beaches**

**DappleDesigns**

Ph: 0437 043 112  
www.dappledesigns.com.au



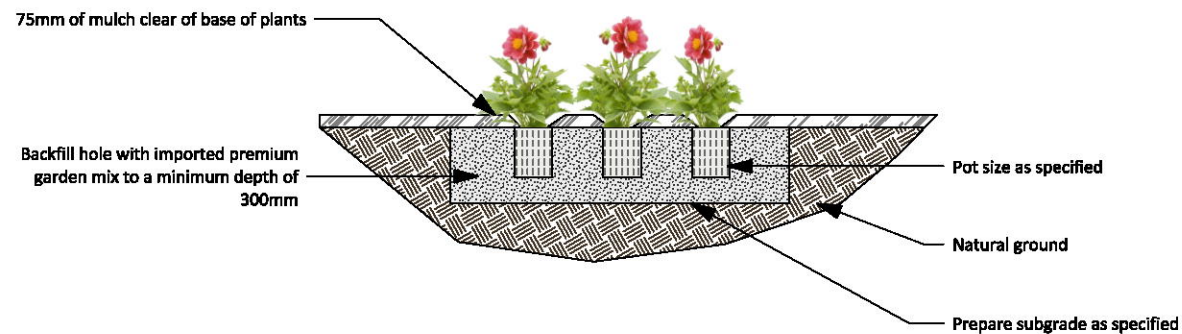
#### DETAILS

1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
4. WATER THOROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED



TURF LAYING DETAIL

SCALE 1:20



#### DETAILS

1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
3. WATER THOROUGHLY AFTER PLANTING
4. REFER TO PLAN FOR QUANTITIES AND SPACING



SHRUB & GROUNDCOVER PLANTING DETAIL

SCALE 1:30

THIS PLAN TO BE READ IN  
CONJUNCTION WITH

DA2017/0897

NORTHERN BEACHES COUNCIL

#### Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	05/07/17
B	Plants & Trees	JS	07/07/17
C	Existing Tree	JS	06/09/17

Drafted: JS	Scale: 1:200 0 0 1 2 3M
----------------	----------------------------

Sheet: 4 of 4	Reference: LP 01
------------------	---------------------

Designed by:

**Julian Saw**  
**Diploma of Horticulture**  
**(Landscape Design)**

General Notes:  
1. See Architects drawings for site levels, setbacks and extent of cut and fill.  
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.  
3. All relevant Australian standards are to be adhered to.  
4. Any structural items are to be installed as per the manufacturer/engineers specifications.  
5. This plan is indicative only and not for construction purposes

SITE CALCULATIONS		
LOT AREA	686.8 sq m	
PROPOSED PAVED AREA TOTAL	42.2 sq m	6.055%
PROPOSED LANDSCAPED AREA TOTAL	231.5 sq m	33.225%
EXISTING AREA TO REMAIN TOTAL	204.5 sq m	29.348%

Client: **Mr McMillan**

Client Signatures:

- 1.
- 2.

Job No. **647**

Drawing: **Planting Details**

Address: **No. 7 Milsted Road**  
**Terry Hills**

Council: **Northern Beaches**

**DappleDesigns**

Ph: 0437 043 112  
www.dappledesigns.com.au