

TWBA

PRIVATE CERTIFICATE

- Building Approvals - Construct
- Building Inspections - Compliance
- Building Co-ordinator
- Building Consultant
- Advice on Council Matters

RECEIPT

Receipt No 20

To TERRY WEST BUILDING
APPROVALS & CONSULTANTS

PO BOX 255
WINSTON HILLS 2153
NSW

Applic Reference

GL Re PRVC-Priv
1 X N0191/06:158 B

Total:

Amounts Tendered

Cash

Cheque

Db/Cr Card

Money Order

Agency Rec

Total

Rounding

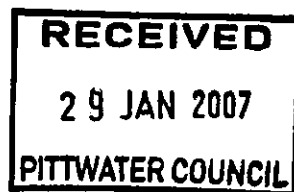
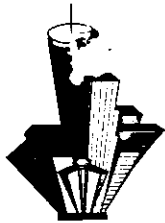
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Cashier JBibb

TERRY WEST BUILDING APPROVALS Pty Ltd



**TWBA – Terry West Building Approvals &
Consultants Pty Ltd**
A.C.N. 084953186

Unit 48, No. 9 Hoyle Avenue,
Castle Hill 2154
P.O. Box 255, Winston Hills 2153
Phone - 9659 0593
Mobile - 0412 596 835
Fax - 9659 0585

- Building Approvals-Construction Cert.
- Building Co-ordinator
- Building Consultant
- Advice on Council Matters

A.B.N. 36084953186

The General Manager
Pittwater Council
P.O. Box 882,
Mona Vale 1660

25th January 2007

Dear Sir,

Re: Development Consent No. N0191 / 06
Premises: Lot 1, D.P. 602462, No. 158 Barrenjoey Road, Newport

With reference to the above please find attached copies of all relevant documentation in relation to the issuing of a Construction Certificate by Terry West Building Approvals & Consultants Pty Ltd for the additions & alterations to existing dwelling including new swimming pool upon the subject premises.

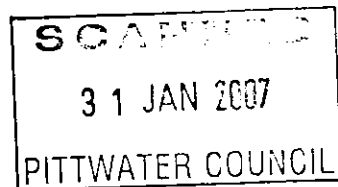
The following documentation is submitted as compliance with Conditions of the above Development Consent:

- Copy of the Development Consent
- Copy of the Construction Certificate
- Copy of the Stamped Plans
- Compliance certificates from respective consultants certifying their designs comply with relevant Australian Standards, B.C.A Requirements & Council Guidelines
- Home Warranty Insurance – Conditions No. A2 & A5
- Details of T.W.B.A. Insurance & Accreditation

It is further advised that Terry West of Terry West Building Approvals & Consultants Pty Ltd (Register No 3191) has been appointed by the owner as the Accredited Certifier and the Principal Certifying Authority for the Development.
Work associated with this consent will be commencing upon the site on approximately the 30th January 2007.

Yours faithfully
Terry West

T.W.B.A.





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Furness Constructions
P.O. Box 1599,
Mona Vale 1660

25th January 2007
Ref: T.W.B.A./ C.C. No. 1 / 2007

CONSTRUCTION CERTIFICATE
**Issued under Section 109C(1) (b), 81A(4) of the Environmental Planning and
Assessment Act 1979**

Subject Land: Lot 1, D.P. 602462, No. 158 Barrenjoey Road, Newport

Description of Development: Additions & Alterations to existing Dwelling
including new Swimming Pool

Development Consent No: N0191 / 06

Date: 25th August 2006

Classification under B.C.A.: Dwelling Additions – Class 1a
Swimming Pool – 10b
Garage – 10a

T.W.B.A.

Construction Certificate No.:

T.W.B.A./ C.C. No. 1 / 2007

Date of Issue:

25th January 2007

CERTIFICATION

It is certified that the work, if completed in accordance with the attached plans drawn by Trish Dobson, Drawing No. 0602 / CC-01 to 07, Issue CC, Dated 8th December 2008, which are stamped as approved by Terry West of Terry West Building Approvals and Consultants Pty Ltd will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in section 81A (5) of the Environmental Planning and Assessment Act, 1979.

The issue of this Construction Certificate permits the commencement of building works in accordance with the relevant approved plans, specifications and above-mentioned Development Consent.

Note 1: Prior to commencement of work, the applicant must notify Council in writing of the commencement date for the erection of the building, giving at least two (2) days notice.

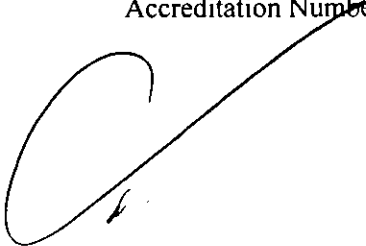
T.W.B.A. will notify Council of its appointment as the Principal Certifying Authority (P.C.A.)

Note 2: This Construction Certificate remains valid for the duration of the above Development Consent.

Note 3: You are required to submit a copy of the approved Construction Certificate plans to Sydney Water for their concurrent consent. Prior to the commencement of works a copy of the approval form Sydney Water is to be submitted to this office.

Terry West

N.S.W Accreditation Scheme for Building Surveyors and Allied Professions
Accreditation Number 3191

A large, stylized handwritten signature in black ink, starting with a large loop and ending with a long horizontal stroke.

T.W.B.A.



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A.B.N. 36084953186

Development Details

PROPERTY: Lot 1, D.P. 602462, No. 158 Barrenjoey Road, Newport

DEVELOPMENT: Additions & Alterations to existing Dwelling including
new Swimming Pool

DEVELOPMENT CONSENT No. N0191 / 06

DATE APPROVED: 25th August 2006

OWNER: Scott & Dorothea McAlpine
158 Barrenjoey Road,
Newport 2106

APPLICANT: Furness Constructions
P.O. Box 1599,
Mona Vale 1660

T.W.B.A.

CONSTRUCTION CERTIFICATE No: **T.W.B.A. / CC No 1 / 2007**

DATE APPROVED: **25th January 2007**

VALUE: **\$ 100,000**

BUILDING MATERIALS:

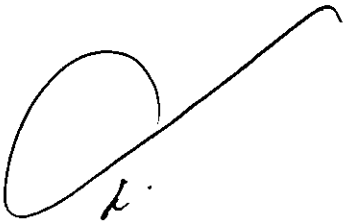
Walls – Masonry

Roof – Colorbond

Flooring – Concrete Slab

RISE IN STOREYS: **One**

Terry West
25th January 2007

A handwritten signature in black ink, consisting of a large, stylized loop followed by a diagonal stroke and a small mark at the end.

T.W.B.A.

25/10/2006 11:00

NO.762 0002

25 Oct 06 10:58a

02 9979 8663

Craig & Linda Furness

02 9979 8663

01 2 86534585

p.1

**T.W.B.A TERRY WEST BUILDING APPROVALS
& CONSULTANTS PTY LTD**
PHONE: 96590593, MOBILE: 0412596835, FAX: 96590585
Unit 48 No.9 Hoyle Ave, Castle Hill 2154, P.O Box 255 Winston Hills 2153
A.C.N. 084953186 A.B.N 36084953186

CONSTRUCTION CERTIFICATE APPLICATION

(under the environmental planning and assessment act 1979)

1. APPLICANT DETAILS

Full Name: FURNESS CONSTRUCTIONS
Address: P.O. Box 1599
MONA VALE Post Code: 1660
Phone: Work: () Home: ()
Mobile: () 0414429966 Fax: () 9979 8663
Signature: [Signature]

2. OWNERS DETAILS

Full Name: Scott & Dorothea McAlpin
Address: 158 Barnemeyer Rd
Newport Post Code: 2106
Phone: Work: () 99051876 Home: () 99975067
Mobile: () 042518779 Fax: () 99050812
Signature: [Signature]

3. SUBJECT LAND

Address: 158 Barreripen Rd Newport.
Post Code: 2106
Lot(s): 1 Section: _____ DP(s): 602 462

4. BRIEF DESCRIPTION OF DEVELOPMENT

Brief description of work (include details of building(s) to be erected or subdivision work to be completed):

Construct suspended concrete deck stairs &
pool to rear of house, glass handrails lining
to pool & deck, shade structure to top deck.

Total floor area of building(s) (if applicable): 45 m²

Estimated value of work: Approx. \$100,000 -

5. DEVELOPMENT CONSENT (Refer to development consent for details)

Development consent number: NO 191/06.

Date of Determination: 25/8/2006

6. HOME BUILDING ACT 1989

If a licensed builder has been nominated, has the appropriate building insurance been in accordance with Part 6 or the Home Building Act 1989

☒ YES

☐ NO

25/10/2006 11:00

NO.762 0001

25 Oct 06 10:58a Craig & Linda Furness

02 9979 8663

P.2

19-10-06:17:25

161 2 96590585

4/

7. INSTRUCTIONS FOR COLLECTION

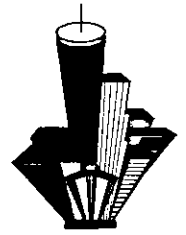
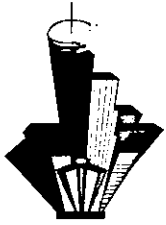
Payment is to made upon collection of all Construction Certificates and Final Occupation Certificates.

8. I HEREBY APPOINT TERRY WEST OF T.W.B.A. AS THE PRINCIPAL CERTIFYING AUTHORITY AND ACCREDITED CERTIFIER

Signature of OWNER

9. DATE:

25/10/06



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•Building Consultant
•Advice on Council Matters

A.B.N. 36084953186

Furness Constructions
P.O. Box 1599,
Mona Vale 1660

25th January 2007

Dear Sir,

Re: Construction Certificate

Premises: Lot 1, D.P. 602462, No. 158 Barrenjoey Road, Newport

Attached hereto is the Construction Certificate for the additions & alterations to existing dwelling including new swimming pool upon the subject premises.

This Certificate hereby grants permission for construction to commence.

Your attention is drawn to all of the Conditions of Development Consent, in particular the following:

- Condition No. A7 – Construction Hours
- Condition No. A9 – AAA Rated Water Saving Devices to be fitted throughout Development & 5 Star Hot Water System to be installed
- Conditions No. D1 to D3 – Sedimentation & Erosion Control Measures

NOTE: Amendments to the Section 109E (3) (d) of the Environmental Planning & Assessment Act has seen the introduction of "Critical Stage Inspections".

Critical stage inspections simply means that it is your responsibility to call me, giving forty eight (48) hours notice, to enable me to conduct the below-mentioned inspections.

It is further advised that if such inspections are not conducted by myself, T.W.B.A. will be unable to issue the Final Occupation Certificate at completion.

Complying with the E.P & A Act requirements surrounding Critical Stage Inspections is most important!

T.W.B.A.

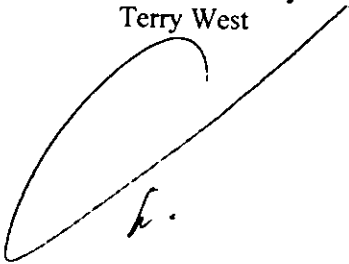
Inspections for Class 1 & 10 Buildings are as follows:

- **At the commencement of the building works**
- **After excavation for and prior to the placement of any footings**
- **Prior to pouring any in - situ reinforced concrete building element**
- **Prior to covering of the framework for any floor, wall or roof**
- **Prior to covering of waterproofing in any wet areas**
- **Prior to covering any stormwater drainage connections**
- **Final Inspection - Completion of the building prior to the issuing of the Final Occupation Certificate**

Should you have further concerns in relation to the above matter please don't hesitate to contact the undersigned

Best of luck with your development and thank you for engaging the services of T.W.B.A.

Yours sincerely
Terry West

A handwritten signature in black ink, appearing to be 'T. West', written over a horizontal line.

T.W.B.A.



**Pittwater
Council**

ABN 61 340 837 871 Telephone (02) 9970 1111 Facsimile (02) 9970 7150
Postal Address: P.O. Box 882, Mona Vale NSW 1660, DX 9018 Mona Vale

pittwaterlga.com.au e-mail: pittwater_council@pittwater.nsw.gov.au

**CONSENT NO: N0191/06
ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979 (AS AMENDED)
NOTICE TO APPLICANT OF DETERMINATION
OF A DEVELOPMENT APPLICATION**

Applicants Name and Address:
TRISHA DOBSON
34A MARINE PARADE
AVALON 2107

Being the applicant in respect of Development Application No **N0191/06**

Pursuant to section 80(1) of the Act, notice is hereby given of the determination by
Pittwater Council, as the consent authority, of Development Application No **N0191/06** for:

**Alterations and additions to the existing dwelling including construction of a
swimming pool.**

At: 158 BARRENJOEY ROAD, NEWPORT (Lot 1 DP 602462)

Decision: The Development Application has been determined by the granting of
consent based on information provided by the applicant in support of the application,
including the Statement of Environmental Effects, and in accordance with
**Drawings Numbered: - 0602/DA-L02 Issue B drawn by Trish Dobson and dated 30.7.06; -
30.7.06; - 0602/DA-L03 Issue B drawn by Trish Dobson and dated 30.7.06; -
0602/DA-L04 Issue B drawn by Trish Dobson and dated 30.7.06; - 0602/DA-L05
Issue B drawn by Trish Dobson and dated 30.7.06; - 0602/DA-L06 Issue B drawn by
Trish Dobson and dated 30.7.06; - 0602/DA-L07 Issue B drawn by Trish Dobson
and dated 30.7.06; and - 602/ DA-L11 drawn by Trish Dobson and dated 30.7.06.
as amended in red (shown clouded) or as modified by any conditions of this consent.**

The reason for the imposition of the attached conditions is to ensure that the
development consented to is carried out in such a manner as to achieve the objectives
of the Environmental Planning and Assessment Act 1979 (as amended), pursuant to
section 5(a) of the Act, having regard to the relevant matters for consideration contained
in section 79C of the Act and the Environmental Planning Instruments applying to the
land, as well as section 80A of the Act which authorises the imposing of the consent
conditions.

Endorsement of date of consent **25/08/2006**

Mark Ferguson
GENERAL MANAGER

Per:



Conditions of Approval

This consent is not an approval to commence building work. The works associated with this consent can only commence following the issue of the Construction Certificate.

Note: Persons having the benefit of development consent may appoint either a council or an accredited certifier as the principal certifying authority for the development or for the purpose of issuing certificates under Part 4A of the Environmental Planning and Assessment Act. When considering engaging an accredited certifier a person should contact the relevant accreditation body to ensure that the person is appropriately certified and authorised to act in respect of the development.

A. Prescribed Conditions:

1. All works are to be carried out in accordance with the requirements of the Building Code of Australia.
2. In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, there is to be such a contract in force.
3. Critical stage inspections are to be carried out in accordance with clause 162A of the Environmental Planning & Assessment Regulation 2000. To allow a Principal Certifying Authority or another certifying authority time to carry out critical stage inspections required by the Principal Certifying Authority, the principal contractor for the building site, or the owner-builder must notify the Principal Certifying Authority at least 48 hours before building work is commenced and prior to further work being undertaken.
4. A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
 - a. showing the name, address and telephone number of the Principal Certifying Authority for the work, and
 - b. showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - c. stating that unauthorised entry to the work site is prohibited.Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.
5. Residential building work within the meaning of the Home Building Act 1989 must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the following information:
 - a. in the case of work for which a principal contractor is required to be appointed:
 - i. the name and licence number of the principal contractor, and
 - ii. the name of the insurer by which the work is insured under Part 6 of that Act.



b. in the case of work to be done by an owner-builder:

- i. the name of the owner-builder, and
- ii. if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

- ✓ 6. If arrangements for doing the residential building work are changed while the work is in progress so that the information notified under subclause (2) becomes out of date, further work must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the updated information.
- ✓ 7. The hours of construction are restricted to between the hours of 7.00am and 5.00pm Monday - Friday and 7.00am to 1.00pm on Saturdays. No works are to be carried out on Sundays or Public Holidays. Internal building work may be carried out at any time outside these hours, subject to noise emissions from the building or works not being audible at any adjoining boundary.

B. Matters to be incorporated into the development and maintained over the life of the development:

- ✓ 1. The recommendation of the risk assessment required to manage the hazards as identified in Geotechnical Report prepared by Crozier Consultants dated 10 April 2006 are to be incorporated into the construction plans.
- ✓ 2. stormwater runoff from the pool paving is to be connected to existing site stormwater system
- ✓ 3. This approval/consent relates only to the new work nominated on the approved consent plans and does not approve or regularise any existing buildings or structures within the property boundaries or within Council's road reserve.
- ✓ 4. The pool backwash water is to be disposed to the Sydney Water sewer.
- ✓ 5. The existing landscaping required to be retained together with any additional landscaping required by this Development Consent is to be maintained for the life of the development.
- ✓ 6. Two canopy trees are to be provided in the front yard area and 1 in the rear yard area, which at maturity will achieve a canopy height greater than 8.5 metres, to visually reduce the height, bulk and scale of the dwelling. Species selection is to incorporate the dominant tree species growing in the area or locally indigenous species. These canopy trees are to be retained over the life of the development and replaced if they should die or be destroyed or removed.
- ✓ 7. At the completion of the landscape maintenance period, as specified in the landscape working drawings and specifications submitted with the Construction Certificate application where it extends beyond the issue of an Occupation Certificate the consultant landscape architect/designer is to submit a final report



**Pittwater
Council**

ABN 61 340 837 871 Telephone (02) 9970 1111 Facsimile (02) 9970 7150
Postal Address: P.O. Box 882, Mona Vale NSW 1660, DX 9018 Mona Vale

pittwaterlga.com.au e-mail: pittwater_council@pittwater.nsw.gov.au

to the Principal Certifying Authority within 7 working days, certifying that all plant material has been successfully established and that all of the outstanding maintenance works or defects have been rectified prior to preparation of the report and that a copy of the landscape maintenance strategy has been provided to the owner/occupier.

8. Advanced screening planting shall be provided along the rear eastern boundary and is to have a maturity height of 3m and the species selection is to incorporate the dominant tree species growing in the area or locally indigenous species.
9. Water conservation devices with an AAA rating must be installed and maintained, including tap flow regulators, shower head roses and dual flush toilets. All new hot water systems are to have a minimum rating of 3.5 stars.
10. Pool fencing is to be designed and located and maintained in accordance with the Swimming Pool Act 1992, AS 1926.1-1993 *Fencing for swimming pools*, AS 1926.1-1995 *Location of fencing for private swimming pools*.
11. A Resuscitation and External Cardiac Compression Chart is to be affixed and maintained in a prominent location adjacent to the pool / spa.
12. The spa/pool is to be covered by a ridged child safety cover complying with the current Australian Standard, which is fastened to the spa/pool by a child resistant device when the spa/pool is not in use.
13. All pool overflow water and waste water from the filtration process is to be directed to the sewer.
14. No water pollution shall result from the operation of any plant or equipment or activity carried out.
15. Noise from the operation of any plant or equipment at the premises shall not exceed 5dB(A) above the background noise level.
16. All external glazing is to have a maximum reflectivity index of 25%.
17. The finished surface materials, including colours and texture of any building, shall match the detail and materials of the existing building.
18. Materials and colour schemes are to be in accordance with the samples submitted to Council with the application. No white or light coloured roofs are permitted.
19. The pool concourse, walkway or deck is to be a minimum 900mm clear of the boundary.
20. Three (3) locally native canopy trees are to be planted on the site. Canopy tree species are to be from the vegetation community(s) on the site as per the lists in



the Pittwater BookNative Plants for Your Garden book available from Council and on the Pittwater Web Site. All native trees are to be retained for the life of the development, or for their safe natural life. Trees that die or are removed must be replaced with another locally native canopy tree.

- 21. Over the life of the development all declared noxious weeds are to be managed / removed in accordance with the Noxious Weeds Act 1993. Environmental weeds are to be removed and/or controlled.
- ✓ 22. No environmental weeds are to be planted on the site.

C. Matters to be satisfied prior to the issue of the Construction Certificate:

Note: All outstanding matters referred to in this section are to be submitted to the accredited certifier together. Incomplete Construction Certificate applications / details cannot be accepted.

- 1. Prior to issue of the Construction Certificate, details are to be submitted to the Principal Certifying Authority that include, but are not limited to, all of the recommended conditions in the Geotechnical Report prepared by Crozier Consultants dated 10 April 2006 Form 2 of the Geotechnical Risk Management Policy for Pittwater is to be completed and submitted with the above details before issue of the Construction Certificate.
- ✓ 2. Submission of construction plans and specifications and documentation which are consistent with the approved Development Consent plans, the requirements of Building Code of Australia and satisfy all conditions shown in Part B above are to be submitted to the Principal Certifying Authority.
- 3. Structural Engineering details relating to the new garage and terraces and swimming pool are to be submitted to the Accredited Certifier or Council prior to release of the Construction Certificate. Each plan/sheet is to be signed by a qualified practising Structural Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field.

D. Matters to be satisfied prior to the commencement of works and maintained during the works:

Note: It is an offence to commence works prior to issue of a Construction Certificate.

- ✓ 1. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site.
- ✓ 2. Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction.
- ✓ 3. Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition.



- ✓ 4. No works are to be carried out in Councils Road Reserve without the written approval of the Council.
- ✓ 5. No skip bins or materials are to be stored on Councils Road Reserve.
- ✓ 6. Access to the site through an adjoining park/reserve is prohibited without the written approval of the Council
- ✓ 7. A clearly legible *Site Management Sign* is to be erected and maintained t
- ✓ 8. throughout the course of the works. The sign is to be centrally located on the main street frontage of the site and is to clearly state in legible lettering the following: -
The builders name, builders telephone contact number both during work hours and after hours.
That no works are to be carried out in Councils Road Reserve without the written approval of the Council.
That a Road Opening Permit issued by Council must be obtained for any road openings or excavation within Councils Road Reserve associated with development of the site, including stormwater drainage, water, sewer, electricity, gas and communication connections. During the course of the road opening works the Road Opening Permit must be visibly displayed at the site.
That no skip bins or materials are to be stored on Councils Road Reserve.
That the contact number for Pittwater Council for permits is 9970 1111.
- ✓ 9. A stamped copy of the approved plans is to be kept on the site at all times, during construction.
- ✓ 10. The project manager is to erect signs advising all contractors and visitors to the site that no works or storage are to take place within the dripline of existing trees.
- ✓ 11. When working within the drip line of the trees, hand digging is to occur in sensitive areas. Liaison on a daily basis is to be maintained during the excavation works between the Builder and Arborist. No filling or compaction shall occur over tree roots within the area defined by the outer drip line of the crown. Root protection/ compaction mitigation in the form of planks or metal decking supported clear of the ground fixed to scaffolding is to be installed as required.
- ✓ 12. No storage of building materials or building waste, excavated fill or topsoil storage is to occur within the dripline of trees shown on the approved landscape working drawing(s) as being retained or within protective fenced areas.
Drainage is to be arranged such that fill, building materials or contaminants are not washed into protective fenced areas.

E. Matters to be satisfied prior to the issue of Occupation Certificate:

Note: Prior to the issue of an Occupation Certificate the principal certifying authority is to ensure that Council's assets, including road, kerb and gutter and drainage facilities adjacent or near to the site have not been damaged as a result of the works. Where



3. It is the Project Manager's responsibility to ensure that all of the Component Certificates/certification issued during the course of the project are lodged with the Principal Certifying Authority. Failure to comply with the conditions of approval or lodge the Component Certificates/certification will prevent the Principal Certifying Authority issuing an Occupation Certificate.
4. In accordance with Section 80A(1)(d) and (e) of the Act, any consent given shall be void if the development to which it refers is not commenced within two (2) years after the date of approval, provided that Council may, if good cause be shown, grant an extension of renewal of such consent beyond such period.
NOTE: Council may be prepared to consider an extension of this Consent period for a further 12 months, however, the request for extension would have to be received during the initial 2 year period.
5. To ascertain the date upon which the determination becomes effective, refer to Section 83 of the Environmental Planning and Assessment Act, 1979 (as amended).
6. Should any of the determination not be acceptable, you are entitled to request reconsideration under Section 82A of the Environmental Planning and Assessment Act, 1979. Such request to Council must be made in writing together with a \$500 fee, within 1 year from the date of determination.
7. If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act, 1979, gives you a right of appeal to the Land and Environment Court within 12 months of the date of endorsement of this Consent.
8. Electrical insect killing light devices should not be outside and not installed anywhere that they can attract and kill micro-bats and killing insects reduces bat food and insects.

Neilly Davies & Partners Pty.Ltd.

Consulting Civil & Structural Engineers

A.B.N. 27 084 944 614 PH: 9884 8637 FAX: 9419 8241 neillydavies@optusnet.com.au
SUITE 405A/44 HAMPDEN RD ARTARMON NSW 2064 (PO BOX 849 ARTARMON)

22nd July 2005

The Principal Certifier
158 Barrenjoey Rd
Newport NSW 2106

Dear Sir,

Re:- Job S06261
Development Consent Number – NO191/06

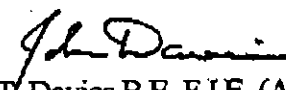
Pursuant to the provisions of Clause A2.2 of the Building Code of Australia, I hereby certify that the above design is in accordance with normal engineering practice and meets the requirements of the Building Code of Australia, Part 7 of the Environmental Planning and Assessment Regulations, relevant conditions of Development Consent, in particular the design is in accordance with the following.

AS 2870	Residential Slabs & Footings
AS 1170.1	Loading Code
AS 3600	Concrete Structures
AS 3700	Masonry and Building
AS 4100	Steel Structures
AS 1684	National Timber Framing Code

I am an appropriately qualified and competent person in this area, and as such can certify that the design and performance of the design systems comply with the above and which are detailed on the following drawings, Job No S06261 Drawings 1/3, 2/3 and 3/3.
I have indemnity insurance to the satisfaction of the building owner of any principal.

Designer John Thomas Davies
Qualifications: BE (Hons) FIE (Aust) C P Eng RPE Q 3970, NPER – 3 No 1312209
Accredited Certifying Engineer
Address: suite 405/44 Hampden Rd Artarmon 2066
Business Telephone: 9884 8637
Fax: 9419 8241
Employer: Neilly Davies & Partners Pty Ltd

Yours faithfully,


J.T. Davies B.E. F.I.E. (Aust) NPER – 3 No. 1312209

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 – To be submitted with detailed design for construction certificate

Development Application for STD McAlpino (C/- Trish Dobson).
Name of Applicant

Address of site 158 Barrenjoey Road, Newport

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I, JOHN DAVIES on behalf of NEILLY DAVIES & PARTNERS P/L
(insert name) (trading or company name)

on this the 12.12.06
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development

Geotechnical Report Details:

Report Title: Proposed Alterations and Additions

Report Date: 10th April 2006

Project 2628

Author: Tony Crozier & Peter Crozier

Structural Documents list:

JOB No. S06261 Drawings No 1/3, 2/3, 3/3

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

JOHN DAVIES
(name)

[Signature]
(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated _____ and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriate taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature [Signature]

Name Peter Crozier

Chartered Professional Status MIE Aust CPENG NPER

Membership No. 691550

PLEASE PRINT ALL DETAILS USING CAPITALS

Surname (if person)
or Company/Organisation name

~~SCOTT~~ M L A L P I N E

Given names (if person)

S C O T T + D O R O T H E A

ABN (if applicable)

POSTAL ADDRESS

No. and street or PO Box

1 5 8 B A R R E N J O E Y R D

N E W P O R T

Town/suburb

State

N S W

Postcode

2 1 0 6

Bus. hours phone

0 4 0 8 9 8 3 0 2 0

Number and street

1 5 8 B A R R E N J O E Y R D

Town/suburb

N E W P O R T

State

N S W

Postcode

2 1 0 6

Estimated start date

D 0 1 M 0 2 Y 2 0 0 7

Estimated finish date

D 0 1 M 0 6 Y 2 0 0 7

Local Council Area

P I T T W A T E R C O U N C I L

¹ DA/CC/CDC No.

1 9 1 / 0 6

Estimated value

of work (see note on back)

\$ 1 2 0 0 0 0 . 0 0

Levy

payable \$

4 2 0 . 0 0

¹ If you have provided a CC above, please provide DA number here

Signature of Officer/Private Certifier

Geoffrey Hill

Date

D 2 0 M 1 2 Y 2 0 0 6

Name of Officer/Private Certifier

Geoffrey Hill

Business hours phone

Department/Authority

Contract/DA No (circle which)

Contract

amount \$

Levy payable

\$

Contact person (Print)

Phone number

Contact person (Signature)

Date

D M Y

any false or misleading information provided on this form may result in prosecution under Section 58A.
I hereby declare that the information provided on this form is true and correct to the best of my knowledge

Signature *PATRICIA DESSON*

Date

D 2 0 M 1 2 Y 2 0 0 6

Empty Approval Certificate No.

To S & D MCALPINE

Applic.	Reference	Amount
GL Recei	QLSL-Builders N0191/06	\$420.00

Total: \$420.00

Amounts Tendered

Cash	\$0.00
Cheque	\$420.00
Db/Cr Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$420.00
Rounding	\$0.00
Change	\$0.00
Nett	\$420.00

Printed 20/12/2006 9:30:16 AM

Cashier: GHill



Insurance services

YOUR INSURANCE PARTNER



Certificate of Insurance

S & D McAlpine
158 Barrenjoey Road
NEWPORT NEW SOUTH WALES 2106

Form 1
Section 92
Home Building Act 1989

CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92
Of The: Home Building Act 1989

Issued By: Vero Insurance Limited
ABN 48 005 297 807

Building Contract Details

Contract Date: October 30, 2006

Declared Building Contract Value: \$120,000.00

(Refer policy for indemnity limit)

Carried Out By: C A & L D Furness
ABN: 87935361524
Licence No: 124408C
For: S & D McAlpine

In Respect Of: Alterations and Additions

At: House No. 158
Barrenjoey Road
NEWPORT NEW SOUTH WALES 2106

Permit Authority: Terry West Building Approvals

Subject to the Act and the Home Building Regulation 2004 and the conditions of the Insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate, the Insurer is not entitled to refuse to pay a claim, or to cancel the Insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording, if you have not received a copy of the policy wording please contact the Insurer Vero Warranty a division of Vero Insurance Limited.

Owner's Copy

Issue Date: 31/10/2006
Certificate No: RCW72540726

CLAIMS ENQUIRY LINE
1800 554 255

Locked Bag 9000
Chatswood NSW 2067

N DVJEZ4OPT1SN

Printed 31/10/2006

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807

Vero Warranty is a division of Vero Insurance Limited ABN 48 005 297 807
V6480 07/06



NSW GOVERNMENT
Department of Planning

Building Surveyors and Allied Professions
NSW Accreditation Scheme

CERTIFICATE OF ACCREDITATION

This is to certify that

Terry West

is accredited in New South Wales at the level of :

Accredited Certifier - Building (Grade 2)
Principal Certifying Authority - Building (Grade 2)

Limitations of accreditation

The Accredited Certifier/Principal Certifying Authority - Building (Grade 2) can issue Construction Certificates, Compliance Certificates, Complying Development Certificates, and Occupation Certificates for developments involving the following buildings:

- Class 1 & 10 Buildings which comply with the performance requirements of the Building Code of Australia (BCA);
- Class 2 to 9 Buildings which comply with the Deemed-to-Satisfy (DTS) Provisions of the BCA;
- Class 2 to 9 Buildings which comply with the performance requirements of the BCA, except those performance requirements relating to fire safety where an alternative solution is used.

The extent to which the accredited certifier can issue Compliance Certificates is limited to the Table in Part 10.4 of the BSAP NSW Accreditation Scheme.

Period of Accreditation : 23 March 2006 to 22 March 2007

Registration No. : 3191

Neil Cocks
Director
Building Professionals Board





CERTIFICATE OF CURRENCY

Policy Type: Professional Indemnity Insurance
Policy Number: AO7986810PID
Insurer: QBE Insurance (Australia) Limited
Period of Insurance: 30/06/2006 to 30/06/2007
Effective Date of Transaction: 30/06/2006

PROFESSIONAL INDEMNITY INSURANCE

NAME OF INSURED: Terry West Building Approvals & Consultants Pty Ltd and/or subsidiary and/or related Corporations as defined under Australian Corporations Law and/or financiers and all parties for whom the Insured undertakes to insure, for their respective rights, interests, and liabilities.

DESCRIPTION OF BUSINESS: Principally Building Consultants / Surveyors and any other activity incidental thereto.

INTEREST INSURED: Professional legal liability to third parties for any sum or sums which the Insured may become legally liable to pay arising from any claim or claims made against the Insured and reported during the period of insurance

TERRITORIAL LIMITS: Worldwide

JURISDICTION: Commonwealth of Australia

LIMITS OF LIABILITY: \$ 5,000,000 any one occurrence but \$ 5,000,000 in the aggregate for all claims first made against the Insured during the period of insurance (subject to Section 40(3) of the Insurance Contracts Act 1984).

DEDUCTIBLE: \$ 5,000 Each and Every Claim (inclusive of costs) any one loss or in the aggregate for all losses excluding all costs, charges and expenses.

RETROACTIVE LIABILITY DATE: Unlimited excluding known claims & circumstances

POLICY WORDING: Insurer's Professional Indemnity - Civil Liability policy wording.

INSURING CLAUSES:

1.3 Intellectual Property	Included
1.4 Libel & Slander	Included
1.5 Outgoing Principals	Included
1.7 Trade Practices & Related Legislation	Included

ICF (Australia) Pty Ltd ABN 75 115 419 853 Australian Financial Services Licence No 291260

General Insurance Brokers

SYDNEY

Suite 1, Building B, Capital Business Centre
 34-46 Brookhollow Ave,
 Baulkham Hills NSW 2153
 Private Mail Bag 74, Castle Hill NSW 1765
 Tel: (02) 8853 9100
 Fax: (02) 9634 2396

BRISBANE

4th Floor,
 57 Coronation Drive,
 Milton QLD 4064
 PO Box 1462, Milton QLD 4064
 Tel: (07) 3211 8066
 Fax: (07) 3211 8033

MELBOURNE

Suite 2, Level 11
 379 Collins St,
 Melbourne VIC 3000
 PO Box 495 Collins Street West VIC 8007
 Tel: (03) 8610 9500
 Fax: (03) 9649 7366

AUCKLAND

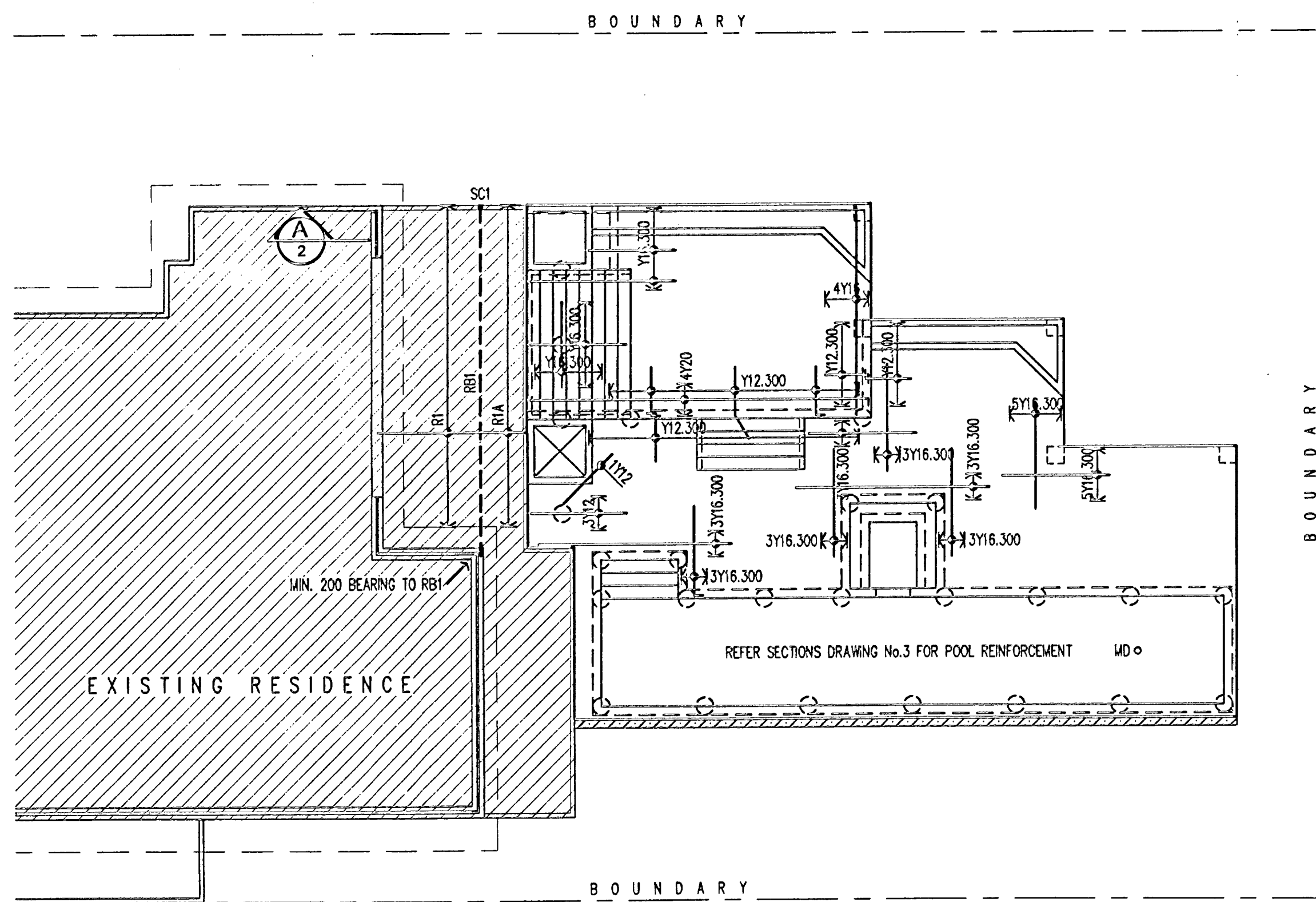
I.C. Frith (NZ) LTD
 1/527B Rosebank Road,
 Avondale, Auckland
 PO Box 8896, Symonds St, Auckland
 Tel: +64 9 820 9710
 Fax: +64 9 820 9720

CHRISTCHURCH

I.C. Frith (NZ) LTD
 Level 2, 158 Hereford St,
 Christchurch
 PO Box 703, Christchurch
 Tel: +64 3 366 0243
 Fax: +64 3 366 5002



POLICY EXTENSIONS:	2.1 Estates and Legal Representatives	Included
	2.2 Fraud and Dishonesty	Included
	2.3 Loss of Documents	Included
	2.4 Newly Created Subsidiary	Included
	2.5 Official Investigations & Enquiries	Included
	2.6 Run Off Cover Insured Entity	Included
	2.7 Severability	Included
OPTIONAL EXTENSIONS:	3.1 Aggregate Limit of Indemnity	Not Included
	3.2 Fidelity	Not Included
	3.3 Previous Business	Not Included
ADDITIONAL EXCLUSIONS:	Manufacturing, Construction, Installation & Supervision Exclusion	
	Employee Activities Exclusion	
OTHER ENDORSEMENTS:	Building Surveyor, Inspector, or Certifier Endorsement	



MEMBER SCHEDULE VERANDAH ROOF FRAMING	
MARK	DESCRIPTION
RBI	250 PFC GALV.
R1 AND R1A	100C15 AT 600 CTS.
SC1	89 x 89 x 5 SHS GALV./12 BASE PL + 4M12 HD BOLTS

Architectural drawing of a pool area, showing the existing residence, pool structure, and boundary lines. The drawing includes dimensions, labels for "EXISTING RESIDENCE", "BOUNDARY", "LINE OF BUILDING OVER", and "PIERS IN POOL AREA". It also specifies reinforcement details for the pool area.

EXISTING RESIDENCE

BOUNDARY

LINE OF BUILDING OVER

PIERS IN POOL AREA TO BE 4004 REINFORCED WITH 4Y16 VERTICAL AND R10.250 TIES SOCKET 150 INTO ROCK REFER DRAWING No. 3 POOL SECTIONS FOR DETAILS

PROVIDE BASE SLABS TO PIERS WHERE INDICATED 600 x 600 x 300 DEEP OR 600W x 300 DEEP

FB1

FB3

900

600

P1

P2

P3

P4

P5

P6

P7

P8

P9

P10

P11

P12

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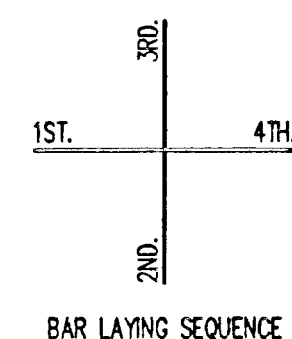
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P432

P4

NOTE: REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR SITE PLAN DETAILS



NOTE:
PIERS MARKED P1 TO BE 750# MASS CONCRETE FOUNDED ON ROCK AND SPACED AS SHOWN.
PIERS MARKED P2 TO BE 400# CONCRETE FOUNDED ON ROCK AND SPACED AS SHOWN.
WHERE PIERS P2 BE GREATER THAN 1200 LONG ABOVE GROUND THEY ARE TO BE REINFORCED
WITH 4Y20 VERTICAL AND R10.300 TIES

FBI AND FB2 PIER AND BEAM :
300 DP. x 400 FOOTING BEAMS WITH 400# MASS CONCRETE PIERS SPACED AS SHOWN AND FOUNDED ON ROCK

FB3 REFER SECTIONS 7, 8 AND 9 DRAWING NO. 3

GENERAL

- G1. All drawings are to be read in conjunction with Architectural and other consultants drawings and specifications. Any discrepancies are to be referred to the Architect before proceeding with the work.
- G2. Dimensions shall not be obtained by scaling the structural details and all dimensions to be verified by the Builder prior to commencement of the work.
- G3. Refer to architectural drawings for slab levels and architectural details.
- G4. During construction the Builder is responsible for maintaining the structure in a stable condition throughout its construction.
- G5. Comply with AS 3650 protection of building from subterranean termites.
- G6. All workmanship and materials to be in accordance with the Building Code of Australia.

STRUCTURAL STEELWORK NOTES

2. Unless otherwise noted, all workmanship and materials to be in accordance with AS 4100, AS 1554 and for tubular members AS 1163.
3. Unless otherwise noted, all structural steel to be Fy-250MPa in accordance with AS 1204, tubular AS 1163, bolt heads AS 1111 and high tension bolts AS 1252.
4. Welds to be Full Penetration Joints unless noted otherwise. Welds in accordance with AS 1554.
5. All structural steelwork bearing on masonry to be bedded on 25mm cement grout pad.
6. Except where concrete encased or where noted otherwise, all structural steelwork to be surface cleaned to remove all loose mill scale, rust, dirt, grease, etc., and given one shop coat of red-oxide zinc-chromate primer.
7. Two copies of detailed workshop drawings to be submitted to the Engineer and approved obtained in writing before fabrication is commenced. Approved covers structural sufficiency of joints and members and npl. dimensioning of work.

CONCRETE NOTES

- C1. All workmanship and materials to be in accordance with AS 3600 as amended, except where varied by contract documents.
- C2. Concrete quality to be accordance with the following table UNLESS NOTED OTHERWISE :

ELEMENT	SUMP	MAX SIZE AGGREGATE	CEMENT TYPE	AS 3600 Fc MPa	ADJUSTURE
PIERS	80	20	A	20	-
FOOTINGS	80	20	A	20	-
SLAB ON GROUND	80	20	A	25	-
COLUMNS	80	20	A	-	-
WALLS	80	20	A	-	-
SUSPENDED SLABS	80	20	A	-	-
STAIRS	80	20	A	-	-
BELOWGROUND CORRS	230	10	A	> 12	-

- C3. Clear concrete cover to reinforcement shall be as follows except where increased cover is required to satisfy fire rating or UNLESS NOTED OTHERWISE

REQUIRED CLEAR CONCRETE COVER (mm) RATIONALISED FROM AS 3600									
	INTERNAL		EXTERNAL			IN CONTACT WITH GROUND			
	Wet areas and Industrial	Other	Coastal < 1km	Inland > 1 < 50km Or Indust.	Inland > 50km	Damp proof Membrane	No Membrane	Below water Table	Aggressi- ground water
FOOTINGS	-	-	-	-	-	40	50	75	100
PRECASTS & COL.	40	40	50	40	40	40	50	65	75
SLABS	40	25	45	40	30	30	40	60	65
BEAMS	40	25	50	40	40	40	50	65	75
WALLS	40	20	50	40	40	40	50	65	75

- C4. Sizes of concrete elements do not include thickness of applied finishes.
- C5. Construction joints where not shown shall be located to the approval of the Engineer.
- C6. Beam depths are written first and include slab thickness (if any).
- C7. No holes or chases other than those shown on the structural drawings shall be made in the concrete members without the prior approval of the Engineer.
- C8. All concrete shall be compacted using high frequency vibrators.
- C9. All concrete surfaces shall be cured by maintaining them constantly damp or wet for a minimum of 7 days. Ceasing to commence immediately after pouring.
- C10. Reinforcement is represented diagrammatically. It is not necessarily shown in true projection.
- C11. Splices in reinforcement shall be made only in the position shown. The written approval of the Engineer shall be obtained for any other. Reinforcement fabric to have and side slope of 250 mm.
- C12. All reinforcement shall be supported on steel chairs to maintain it at the correct levels, in no case shall the spacing of chairs exceed 900. Plastic bar chairs only shall be used for exposure declassification B1 or worse.
- C13. All other concrete surfaces exposed to structural steelwork shall be 50 minimum thickness reinforced with FGK41. Fabric shall have 25 cover and be topped 250 at all splices.
- C14. Separate all concrete slab and beam surfaces from contact with masonry with two layers of "Wathdof" or equivalent.
- C15. Reinforcement symbols are as follows :
 - Y-Grade 230 plain bar in accordance with AS 1302.
 - Y-Grade 410 Tempcore deformed bar in accordance with AS 1302.
 - F-Hard drawn wire fabric in accordance with AS 1304.
- C16. The number following the reinforcement bar symbol is the number of millimetres in the bar diameter.
- C17. Fabric reinforcement shall be in accordance with the S.A.A. Framework Code AS 1509.
- C18. The Engineer is to be given 48 hours notice of all impending orders.

BRICKWORK NOTES

- B2. Bricks to have minimum Compressive Strength of 23MPa and to be laid in 1 : 4 1/2 mortar UNLESS NOTED OTHERWISE

BLOCKWORK NOTES

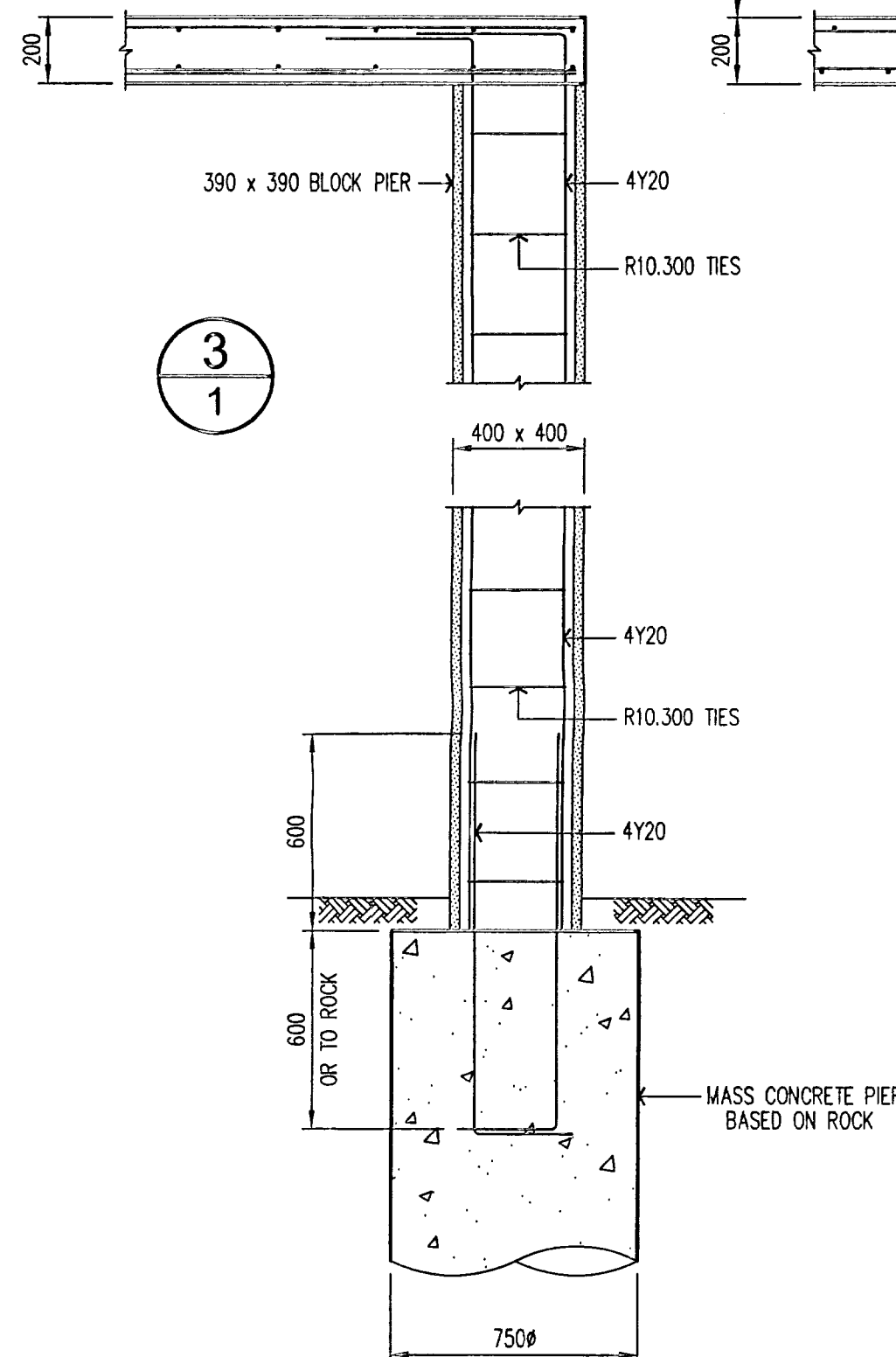
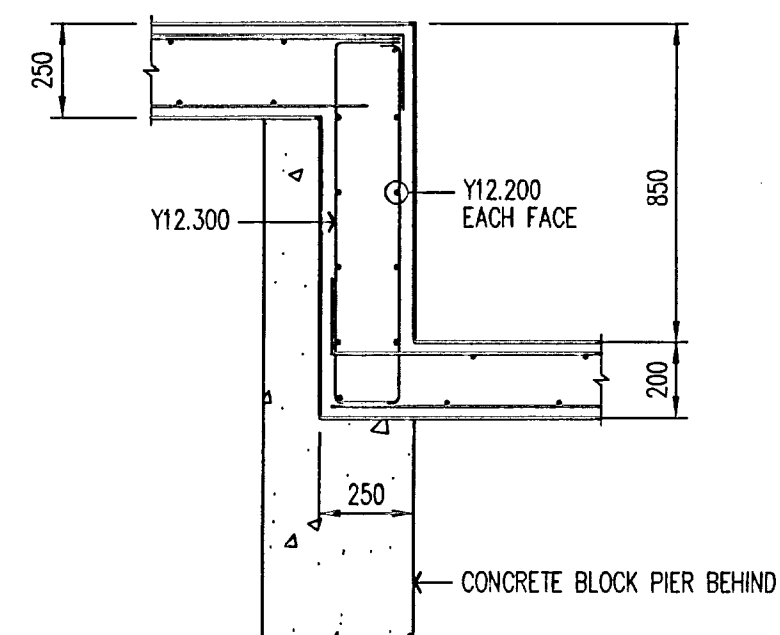
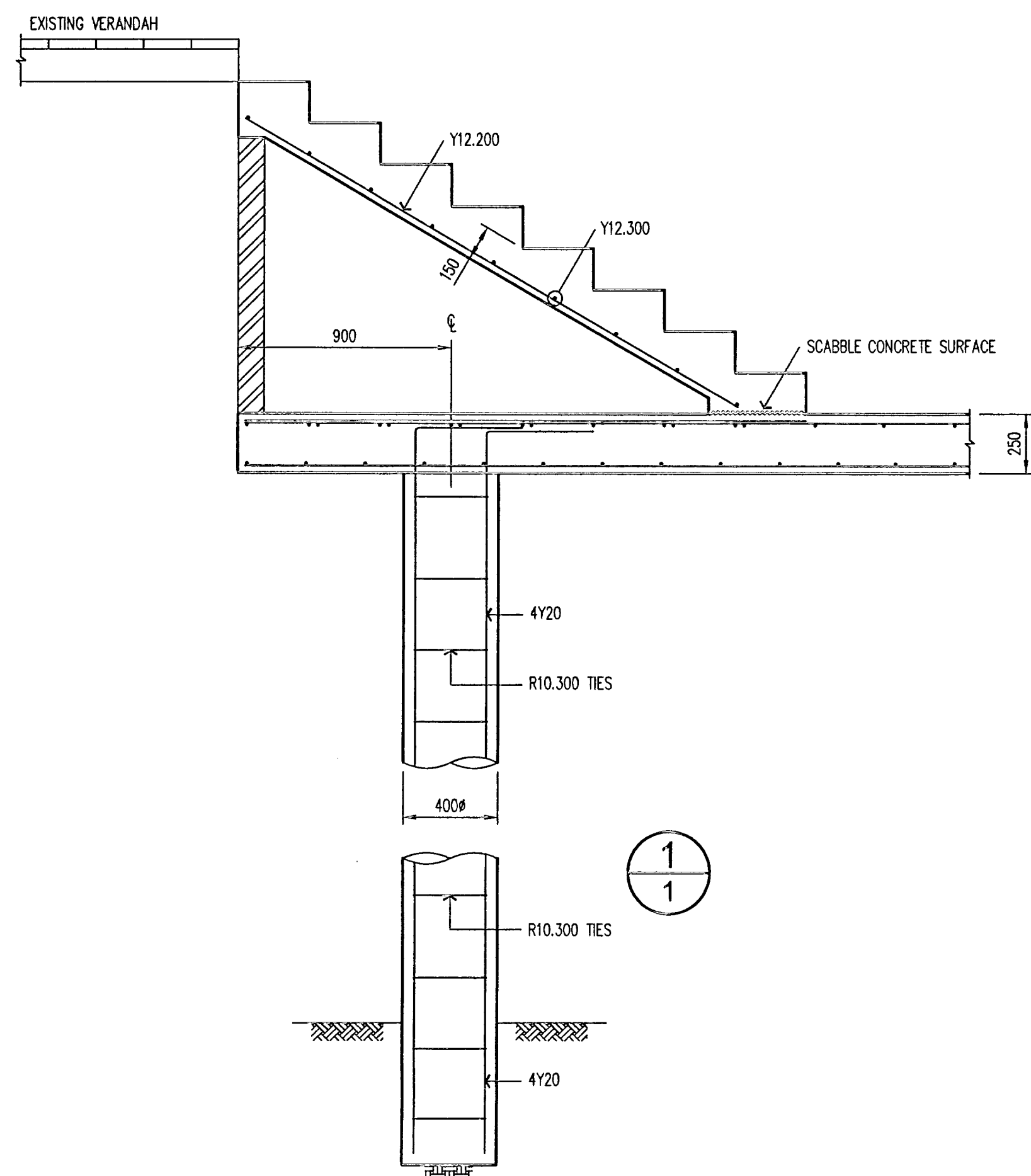
- BUL1. All workmanship and materials to be in accordance with AS 3700, AS 1500.
- BUL2. All reinforcement and materials to be in accordance with AS 3700, AS 1500.
- BUL3. All structural blocks for retaining walls to be grade 12 double-U blocks.
- BUL4. Blocks to be fully bedded using 1 : 1/4 : 3 (cement:lime:fine aggregate by volume) mortar.
- BUL5. Blocks to be provided with openings in base for inspection and clearing.
- BUL6. Block cores to be cleaned and filled with grout having a slump of 230 ± 30mm, 10mm aggregate and a f_c of not less than 12 MPa.
- BUL7. Block control joints 15mm wide to be provided at 8 metre centres maximum U.O.N. Dressed, R200-400 c/c, 600 long, one and covered and wrapped to be placed across control joints.

FOUNDATIONS

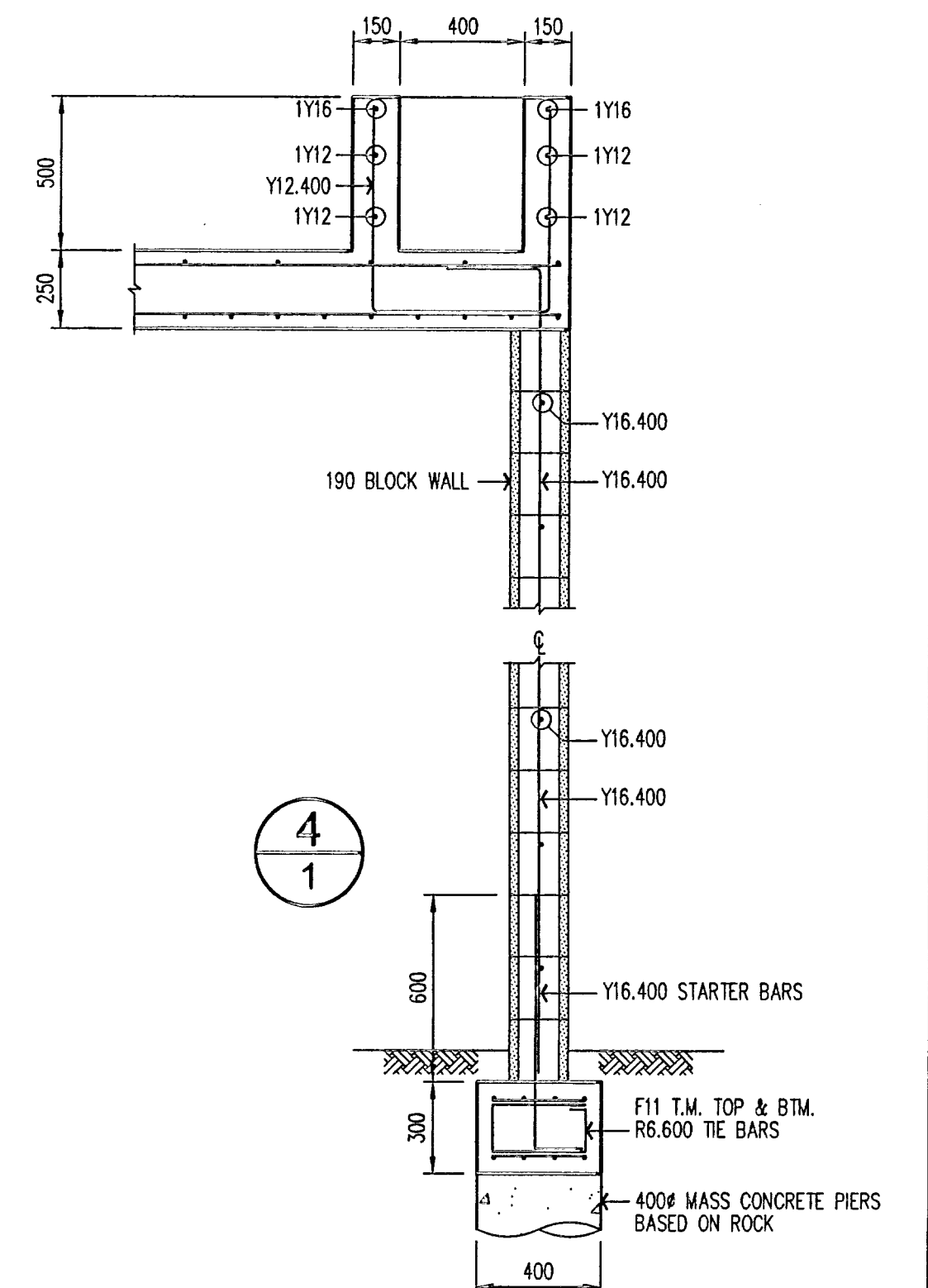
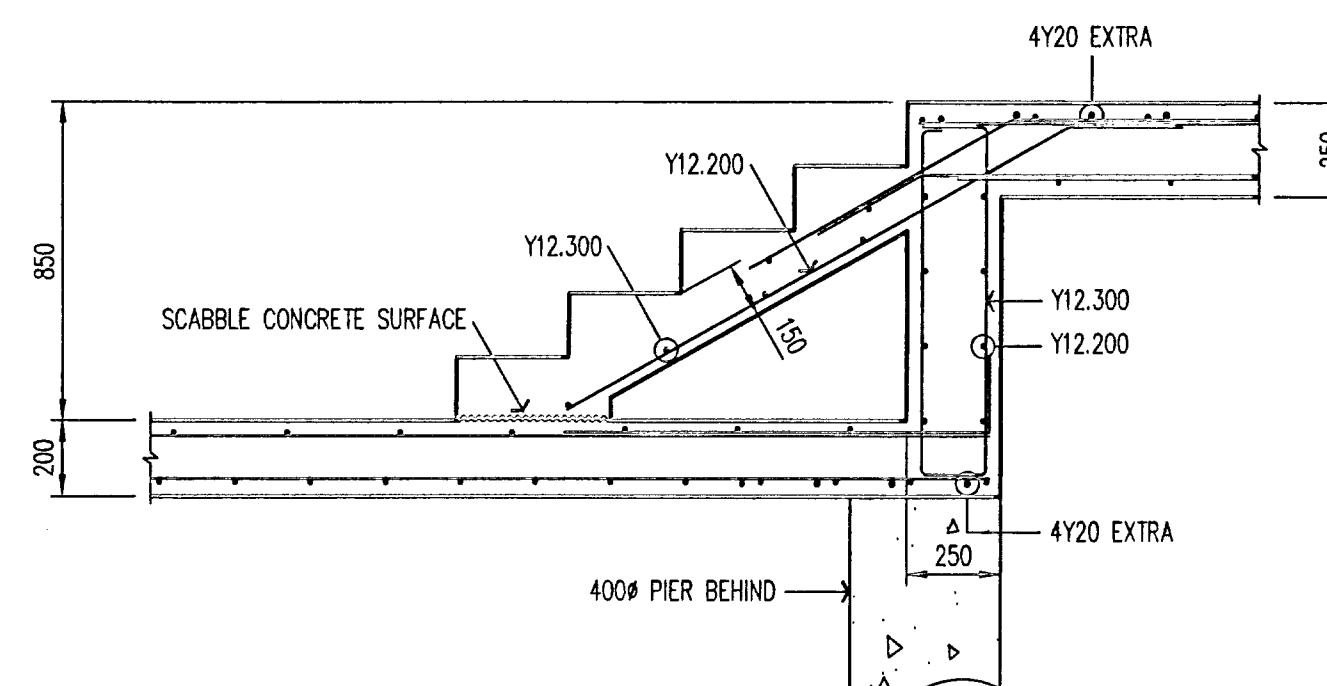
- F1. Foundation material (..... ROCK) to be consistent with uniform moisture content throughout, and have a minimum safe bearing capacity of 600 kPa.
- F2. All residential slabs & footings to comply with AS 2870 unless detailed otherwise.

31 JAN 2001
DISTRICT OF COLUMBIA

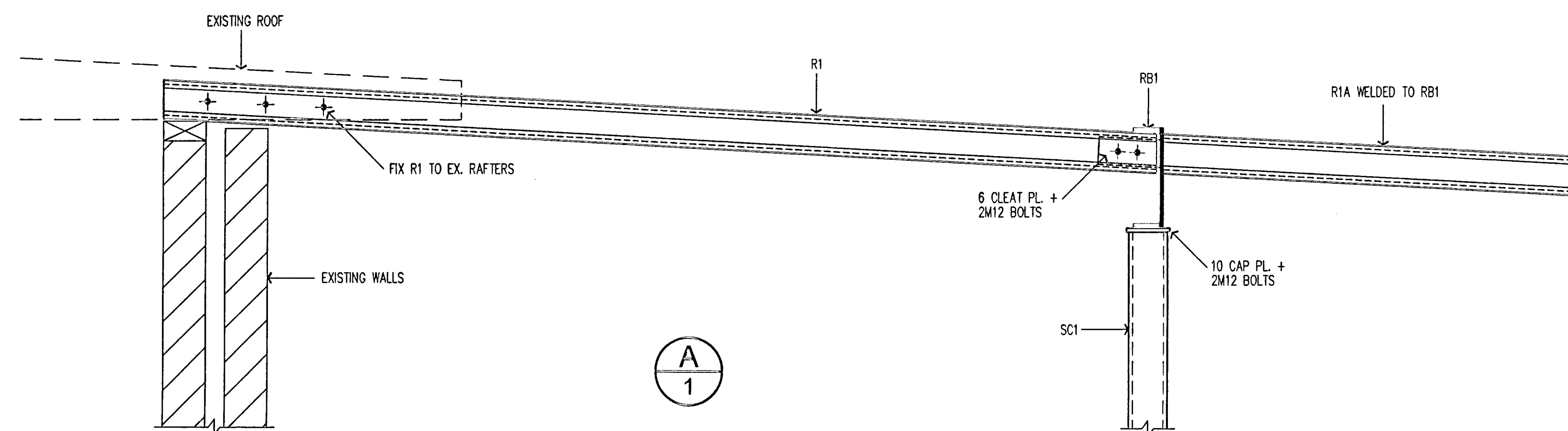
REVISION	DATE	DESCRIPTION							BY
Neilly Davies & Partners Pty Ltd Consulting Civil & Structural Engineers ABN 27084844614 Suite 405, 44 Hompden Road, Artarmon, NSW 2064 Tel: (02) 98848637 Fax: (02) 94198241 EMAIL: neillydavies@optusnet.com.au									
PROPOSED ALTERATIONS AND ADDITIONS TO RESIDENCE AT 158 BARRENJOEY ROAD, NEWPORT FOR MR. AND MRS. McALPINE									
PLANS							CAD FILE C:\PIV\I-		
DRAWN 	DATE 8.11.05	SCALES 1/100	DESIGN C.W.	CWD No. 1/3	REVISION	JOB No. S06261			



P1 TYPICAL FOOTING SECTION



FB1 AND FB2
TYPICAL FOOTING SECTION

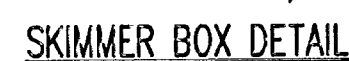
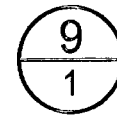
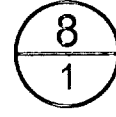


Neilly Davies & Partners Pty Ltd
Consulting Civil & Structural Engineers ABN 27084944814
Suite 405, 44 Hampden Road, Artarmon, NSW 2064
Tel: (02) 98848637 Fax: (02) 94198241
EMAIL: neillydavis@optusnet.com.au

PROPOSED ALTERATIONS AND ADDITIONS TO RESIDENCE
AT 158 BARRENJOEY ROAD, NEWPORT
FOR MR. AND MRS. McALPINE

SECTIONS
DESIGNED BY *David BE* DATE 8.11.06 SCALES 1/20,10 DRAWN C.W. JOB No. S06261

REVISION	DATE	DESCRIPTION	BY



1. All workmanship and materials to be in accordance with Australian Standard AS 2783.
2. Site Plan dimensions are to water face U.N.O.
3. Dimensions shall not be obtained by scaling the details.
4. All levels and dimensions are relative to concrete coping level. Fixed Duct represents the fixed coping height/level.
Approximate coping levels are represented as follows:
 - a) NQL +200 represents 200 mm above existing Ground Level.
 - b) NGL -400 represents 400 mm below existing Ground Level.
5. Provide filter with matched pump and plumbing to manufacturers recommendations.
6. Supporting rock to be stable natural material with a min. safe bearing capacity of 600 kPa.
7. Active Erection if erection in fill or ground water is encountered. Provide temporary penetrations to floor slab if ground water level exceeds 500 mm above deep floor level.
8. The excavation bore to be provided with an undershell drainage layer as follows:
 - a) 75 mm blue metal drainage layer, or 50 mm, thick membrane with plastic over.
 - b) Computed iron sheeting & membrane if over rock.
 - c) Plastic liner only if bore is entirely in sand.
9. All reinforcement to be of Australian Manufacture in accordance with S.A.A. Standards.
 - S = Grade 230 ultimate tensile force deformed.
 - R = Grade 230 plain grade round.
 - Y = Grade 410 ultimate tensile force bars.
 - F = Grade 450 hot drawn wire fabric.
10. Reinforcing bars, unless noted otherwise, are to be lapped 40 bar diameters min., fabric to be lapped 400mm min. All laps should preferably be staggered.
11. All reinforcing to be securely supported by bar chairs at 1000 max cs.
12. Minimum concrete cover to reinforcement from closest concrete surface to be as follows:
Water face Salt Chlorination min. $F_c = 30$ MPa at 28 days
Water face standard chlorination 50mm
Coping/walkway surface: 50mm
Rear face, formed: 40mm
Rough ground: 65mm.
13. Concrete to be pneumatically placed, have a min design strength of $F_c = 25$ MPa at 28 days except:
 - A) Where structure located 1' from large exposures of water
- concrete design strength min. $F_c = 40$ MPa at 28 days.
 - B) Where structure is located in tidal or splash zone of salt water
- concrete design strength min. $F_c = 40$ MPa at 28 days.

REVISION	DATE	DESCRIPTION					BY
Neilly Davies & Partners Pty Ltd Consulting Civil & Structural Engineers ABN 27084944614 44 Hampden Road, Suite 405, Artarmon, NSW 2064 Tel: (02) 98848637 Fax: (02) 94198241 EMAIL: neillydaviess@optusnet.com.au							
PROPOSED ALTERATIONS AND ADDITIONS TO RESIDENCE AT 158 BARRENJOEY ROAD, NEWPORT FOR MR. AND MRS. McALPINE							
SWIMMING POOL SECTIONS AND DETAILS						CAD FILE C:\RVP\J-	
DRAWN <i>Dave BE</i>	DATE 8.11.05	SCALE 1/25	C.W.N.	DWG No. 3/3	REVISION	JOB No. S06261	

SCHEDULE OF PLANS

0602/CC-01 SURVEY
0602/CC-02 SITE PLAN
0602/CC-03 SWIMMING POOL PLAN
0602/CC-04 ELEVATIONS-NORTH + SOUTH
0602/CC-05 ELEVATIONS-EAST
0602/CC-06 SECTIONS
0602/CC-07 LANDSCAPE PLAN

MCALPINE POOL, SPA, TERRACES + GARAGE
158 BARENJOEY ROAD, NEWPORT

CONSTRUCTION CERTIFICATE

8.12.06

TRISH DOBSON LANDSCAPE ARCHITECT 34A MARINE PARADE AVALON NSW 2107 PH 98183377 MB 0408 983020

**CONSTRUCTION CERTIFICATE
APPROVED PLANS**

Construction Certificate No. 1/2207

Operative Date: 25/1/07

Signature: _____

~~TWDA TERRY WEST BUILDING APPROVALS & CONSULTANCY~~

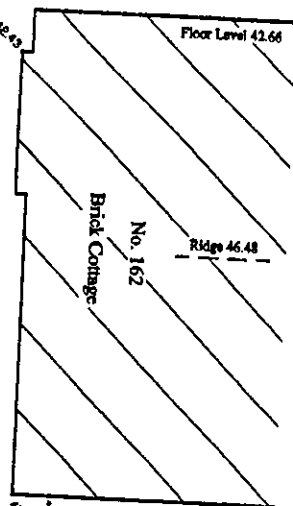
NOTE
ALL STRUCTURAL DETAILS TO ENGINEER'S SPECIFICATIONS
ALL STORMWATER TO HYDRAULIC ENGINEER'S SPECIFICATIONS
ALL FRAMING, BRACING AND TIE DOWNS TO COMPLY WITH BCA,
AUSTRALIAN STANDARDS, ENGINEER'S SPECIFICATIONS,
ALL BALUSTRADES, POOL FENCING TO COMPLY WITH AS 1926.1-1998
AND AS 1288-2006 AS APPLICABLE

6

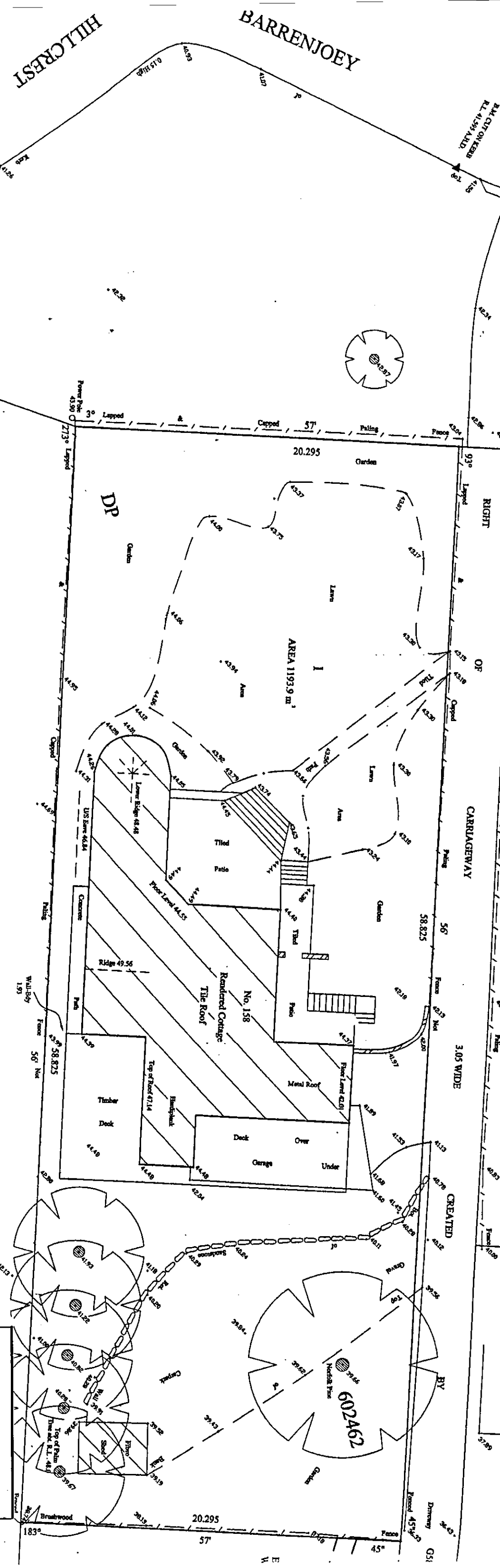
PLATE 1

HILLCREST AVENUE
BARRENJOEY ROAD

DP



29316



DP

DP

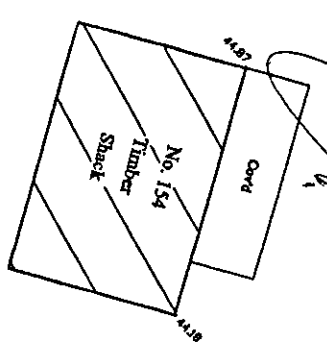
SOUTER & ASSOCIATES
CONSULTING SURVEYORS AND PLANNERS
SUITE 4, HERON COVE MARINA, QUEENS PDE (WEST), NEWPORT 2106
PHONE: 02 9979 5709 FAX: 02 9979 9489

CLIENT: SCOTT McALPINE
PLAN SHOWING DETAIL & LEVELS
OVER LOT 1 IN DP 602462
No. 158 BARRENJOEY ROAD, BUNGAN BEACH
LGA. PTIWATER

SCALE 1:100
DATE 5.1.99
PER. No. 99-74

6

CONSTRUCTION CERTIFICATE
APPROVED PLANS
Construction Certificate No. 1/2007
Operative Date: 25/1/07
Signature: TWBA TERRY WEST BUILDING APPROVALS & CONSULTANCY



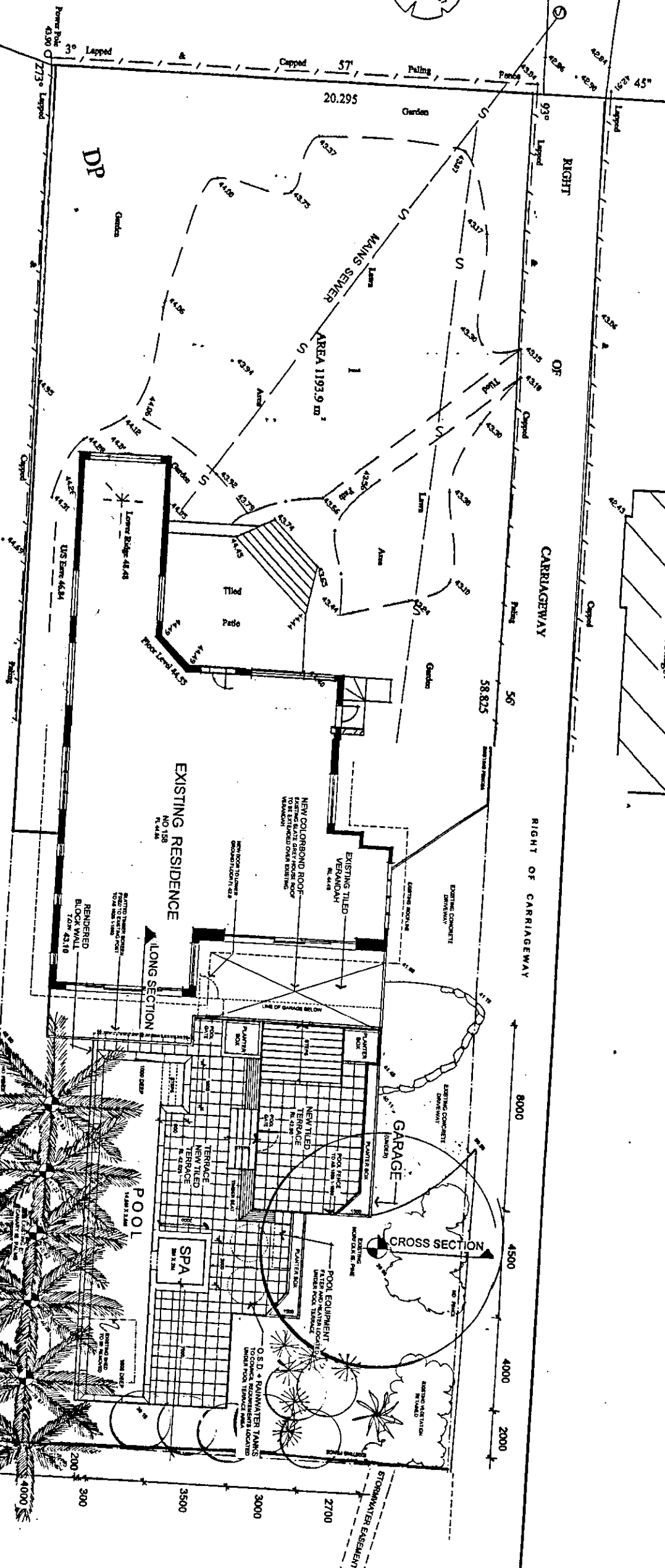
TRISH DOBSON REGISTERED LANDSCAPE ARCHITECT 34A Marine Parade Avalon NSW 2107 Ph/fax 02 8918 8005 mb 0408 983020	
CLIENT S+D McALPINE	
PROJECT 158 BARRENJOEY RD NEWPORT	
DRAWING SURVEY CONSTRUCTION CERTIFICATE	
SCALE 1:200 DATE 8.12.08	
JOB 0602 ISSUE CC	
DWG 0602 / CC-01	

6195

DP

29316

BARRENJOEY ROAD



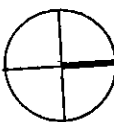
SITE CALCULATIONS

SITE AREA	1193.9 sq m	
MAX B.U.A. (40%)	477.56	
RESIDENCE	288.0	PROPOSED
Including verandahs	288.0	
DRIVEWAYS	46.5	42.0
NEW TILED TERRACES		101.2
WET AREA of POOL + SPA		Exempt
TOTAL	343.5 (28.77%)	431.2 (36.11%)
ADDITIONAL B.U.A.		87.7

CONSTRUCTION CERTIFICATE APPROVED PLANS

Construction Certificate No. 1/2007
Operative Date: 25/1/07

Signature: [Signature]
TWO DA TERRY WEST BUILDING APPROVALS & CONSULTANTS



TRISH DOBSON
REGISTERED LANDSCAPE ARCHITECT
34A Marine Parade Avalon NSW 2107
ph/fax 02 9918 8005 mb 0408 883020

CLIENT
S+D McALPINE

PROJECT
158 BARRENJOEY RD
NEWPORT

DRAWING
SITE PLAN
POOL, TERRACES, GARAGE
CONSTRUCTION CERTIFICATE

SCALE 1:200 DATE 8.12.08
JOB 0602 ISSUE CC

DWG 0602 / CC-02

RIGHT OF CARRIAGEWAY

EXISTING CONCRETE DRIVEWAY

EXISTING CONCRETE DRIVEWAY

EXISTING ROOFLINE

EXISTING TILED VERANDAH
RL 44.48

NEW COLORBOND ROOF
TO ENGINEER'S SPECIFICATIONS

NEW DOOR TO LOWER
GROUND FLOOR FL 42.0

EXISTING RESIDENCE
NO 158
FL 44.55

SLATED TIMBER SCREEN
FIXED TO EXISTING POST
TO AS 1828.1-1993

RENDERED
BLOCK WALL
TOW 43.10

GARAGE
(UNDER)

CROSS SECTION

EXISTING
NORFOLK IS. PINE

POOL EQUIPMENT
FILTER AND HEATER LOCATED
UNDER POOL TERRACE

RAINWATER TANKS
CONNECTED TO EXISTING DOWNPIPES,
IN ACCORDANCE WITH DA CONDITION B2
ALL STORMWATER FROM POOL PAVING
TO BE CONNECTED TO EXISTING SITE
STORMWATER SYSTEM

GLASS
BALUSTRADE
TO AS 1828.1-1993

WESTINGHA
HEDGE - 1 METRE
MATURE HEIGHT

PLANTER
BOX MIX
GEO
FABRIC

SECTION: PLANTER
BOX
SCALE 1:20

SCALE 1:20

TRISH DOBSON
REGISTERED LANDSCAPE ARCHITECT
34A Marine Parade, Avalon NSW 2107
ph/fax 02 9918 8005 mb 0408 983020

CLIENT
S+D McALPINE

PROJECT
158 BARENJOEY RD
NEWPORT

DRAWING
SWIMMING POOL PLAN
CONSTRUCTION CERTIFICATE

SCALE 1:100 DATE 8.12.08
JOB 0602 ISSUE CC

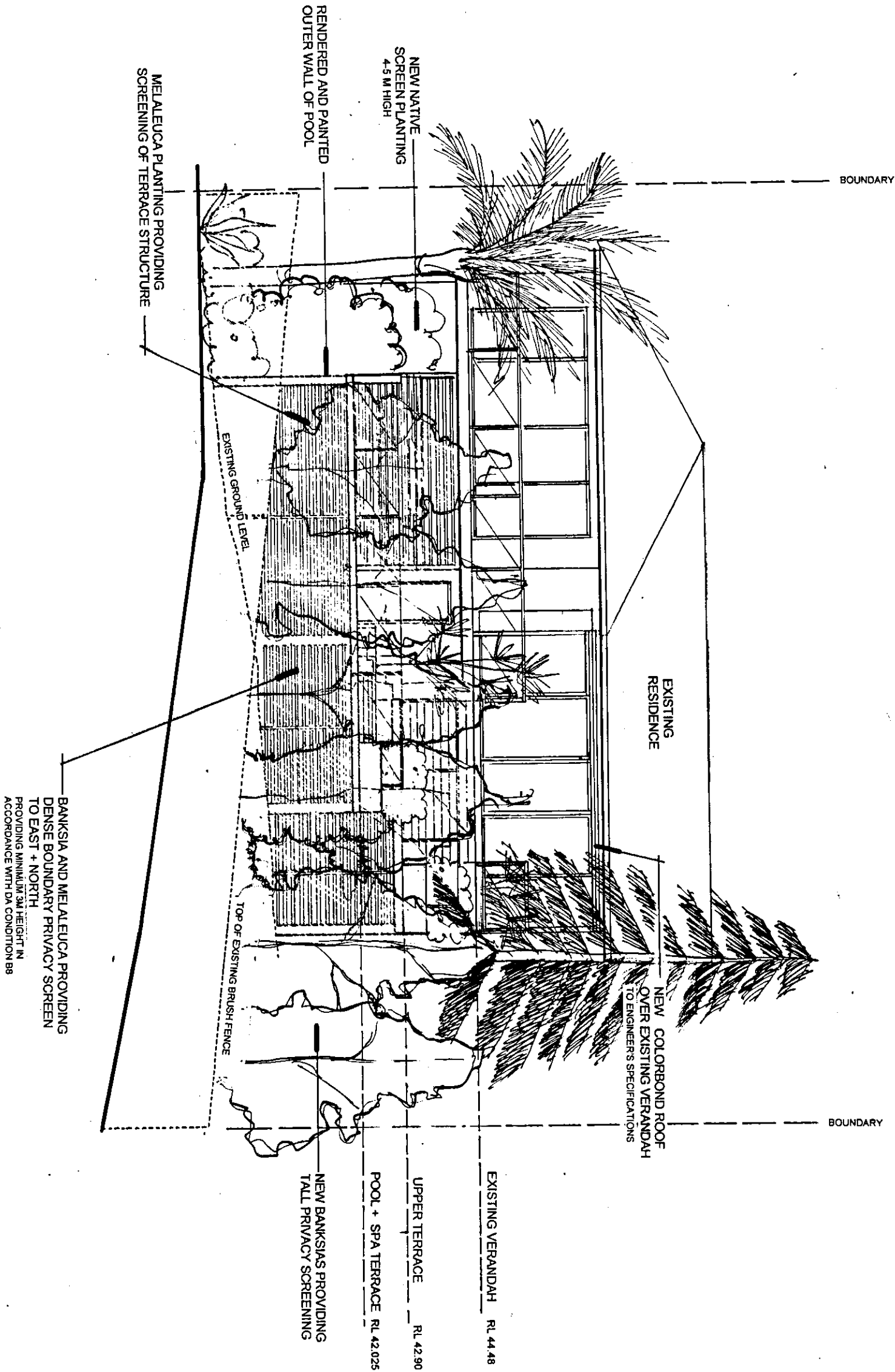
DWG 0602 / CC-03

CONSTRUCTION CERTIFICATE
APPROVED PLANS

Construction Certificate No. 1/2007

Operative Date: 25/1/07

Signature: TWBA TERRY WEST BUILDING APPROVALS & CONSULTANCY



EASTERN ELEVATION

CONSTRUCTION CERTIFICATE APPROVED PLANS	
Construction Certificate No.	1/2007
Operative Date	25/1/07
Signature	
TYPE A TIER 1 BUILDING APPROVAL & CONSULTANCY	

[Handwritten signature]

TRISH DOBSON REGISTERED LANDSCAPE ARCHITECT 34A Marine Parade, Avalon NSW 2107 ph/fax 02 9918 8005 mb 0408 983020	
CLIENT S+D MCALPINE	
PROJECT 158 BARRENJOEY RD NEWPORT	
DRAWING EASTERN ELEVATIONS POOL, SPA + TERRACES CONSTRUCTION CERTIFICATE	
SCALE 1:100	DATE 8.12.08
JOB 0602	ISSUE CC
DWG 0602 / CC-05	

- (i) the openable portion of the window shall be totally covered by bars or a mesh screen which complies with the test for strength and rigidity of fence openings and the strength test for fence components in Clauses 3.1 and 3.3. The bars or mesh screen shall be fixed to the building with fasteners that can only be removed by the use of a tool, e.g. a key, screwdriver or spanner; or

NOTE: Covering a window with bars or a mesh screen limits egress from the building in an emergency, and rescuers from entering the building.

- (ii) windows shall be fixed in such a way that they will only open sufficiently far to comply with the test for strength and rigidity of fencing openings in Clause 3.1.
- (b) Where the height (h_2) from the sill of the lowest opening panel of a window to the floor is greater than 900 mm but not greater than 1200 mm then the openable portion of the window shall comply with (a) above or shall be fitted with a securely fixed flyscreen.
- (c) A window not complying with Items (a) or (b) shall be located at such a height (h_2) that the distance from the floor to the sill of the lowest opening panel is greater than 1.2 m.

2.14 CHILD-RESISTANT DOORSET Child-resistant doorsets shall comply with the following requirements:

- (a) Doors shall be fitted with a self-latching device that will automatically operate on the closing of the door and will prevent the door from being re-opened without manually releasing the device.
- (b) Doors shall be fitted with a self-closing device that will return the door to the closed position and operate the latching device from any position with a stationary start without the application of a manual force.
The self-closing device shall be capable of complying with these requirements with the door at any position from resting on the latching mechanism to fully open.
- (c) The release for the latching device on the internal (building) side of the door shall be located not less than 1.5 m above the floor.
- (d) There shall be no footholds wider than 10 mm on the door or its frame in the area from the release for the latching device down to 100 mm above the floor.
- (e) The closing and latching of the door shall comply with Clause 3.4.
- (f) Horizontal members, vertical members, perforated materials or mesh, and finish shall comply with this Standard.
- (g) The doorset shall comply with the performance requirements for a gate for strength and rigidity of openings and strength of gate (see Clauses 3.1 to 3.3).

NOTES:

- 1 Sliding doors are not excluded as being child-resistant, however it may not be possible to fit self-closing and self-latching devices to all designs of sliding doors.
- 2 In most circumstances allowing direct access to the pool area from a building, even via child-resistant doorsets compromises safety as the doorset may be treated as a normal door and not maintained as a purpose-built safety device to form a barrier that will consistently restrict the access of young children to the swimming pool. Accordingly this option should only be used with caution primarily where physical circumstances preclude any other acceptable solution.

2.15 ABOVE-GROUND POOLS For above-ground pools, the walls of the pool shall be an effective barrier if they are not less than 1.2 m effective height and comply with Clauses 2.3, 2.6, 2.7 and 2.8.

2.16 BALCONY Where a balcony projects into a pool area (see Figure 2.9) and where the distance (h_3) from the floor of the balcony to the pool surround is less than 2.4 m, and where windows and doors to the balcony do not comply with Clauses 2.13 and 2.14, the balcony shall include a balustrade which complies with the requirements for a fence in this Standard.

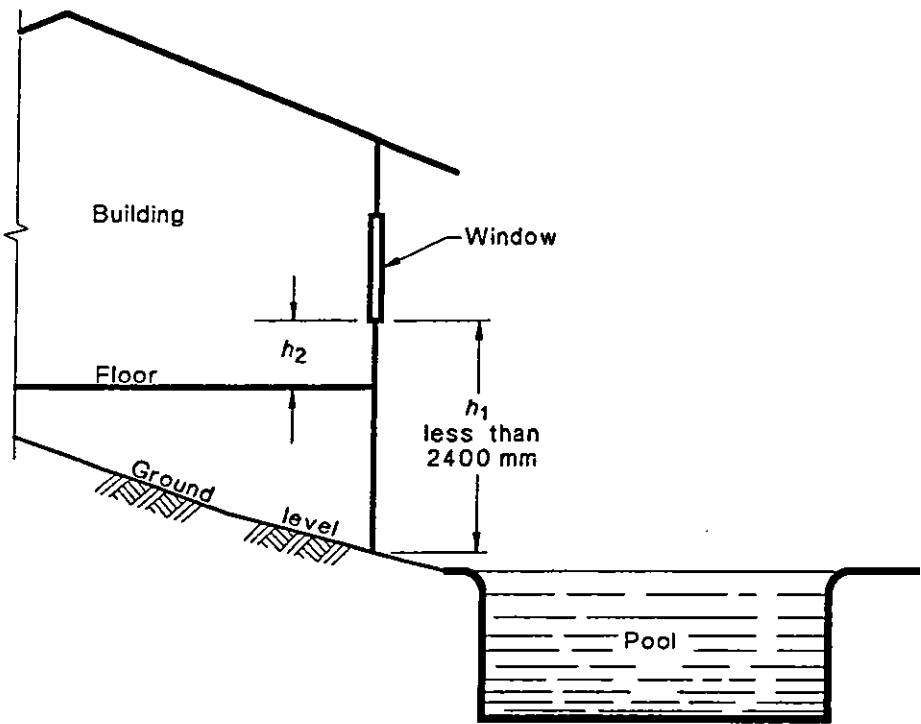


FIGURE 2.8 HEIGHT LIMITATIONS ON CHILD-RESISTANT WINDOWS

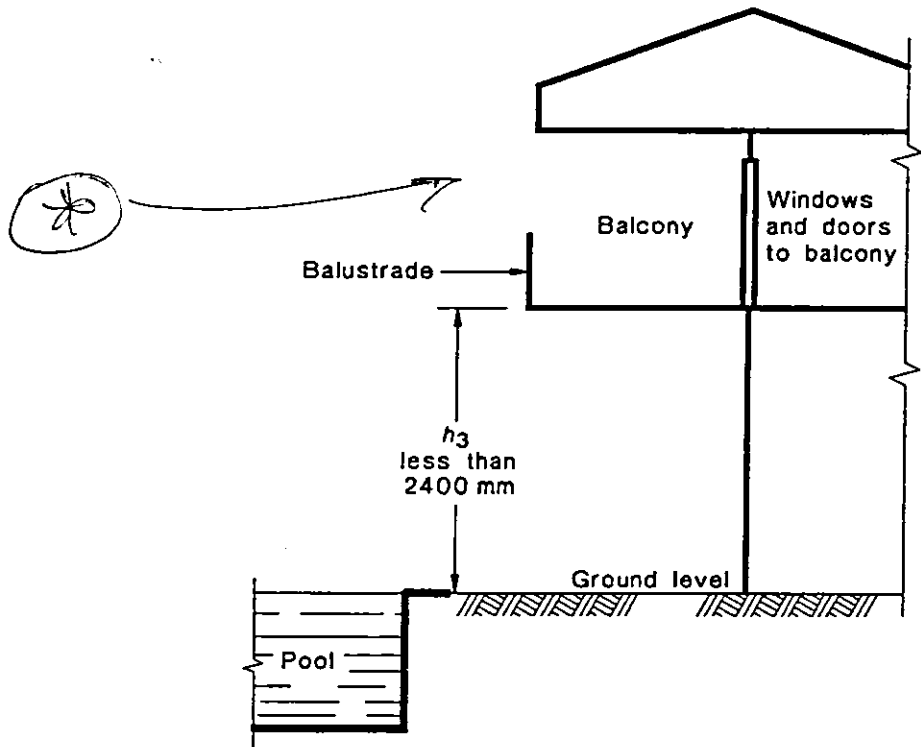
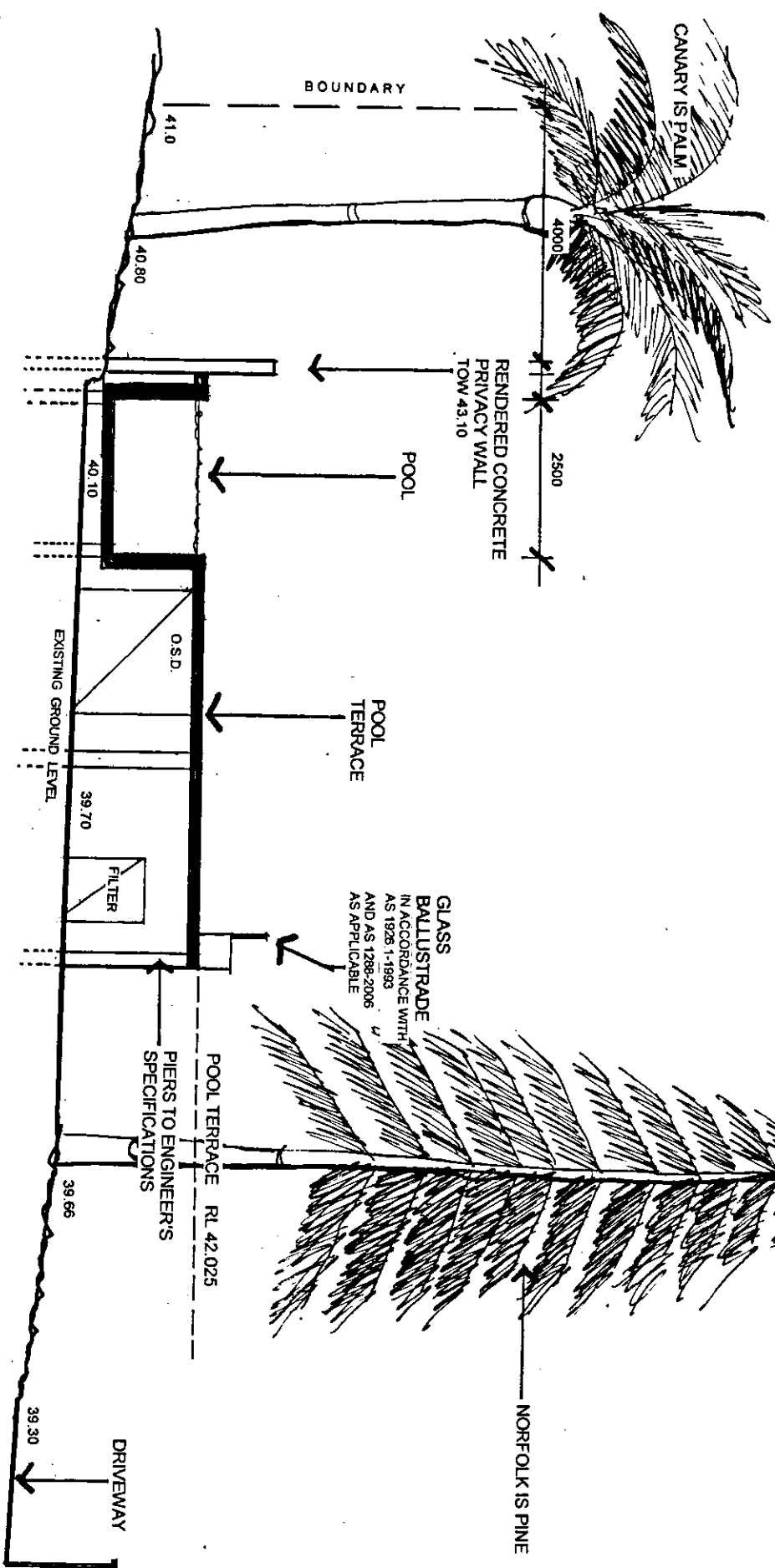
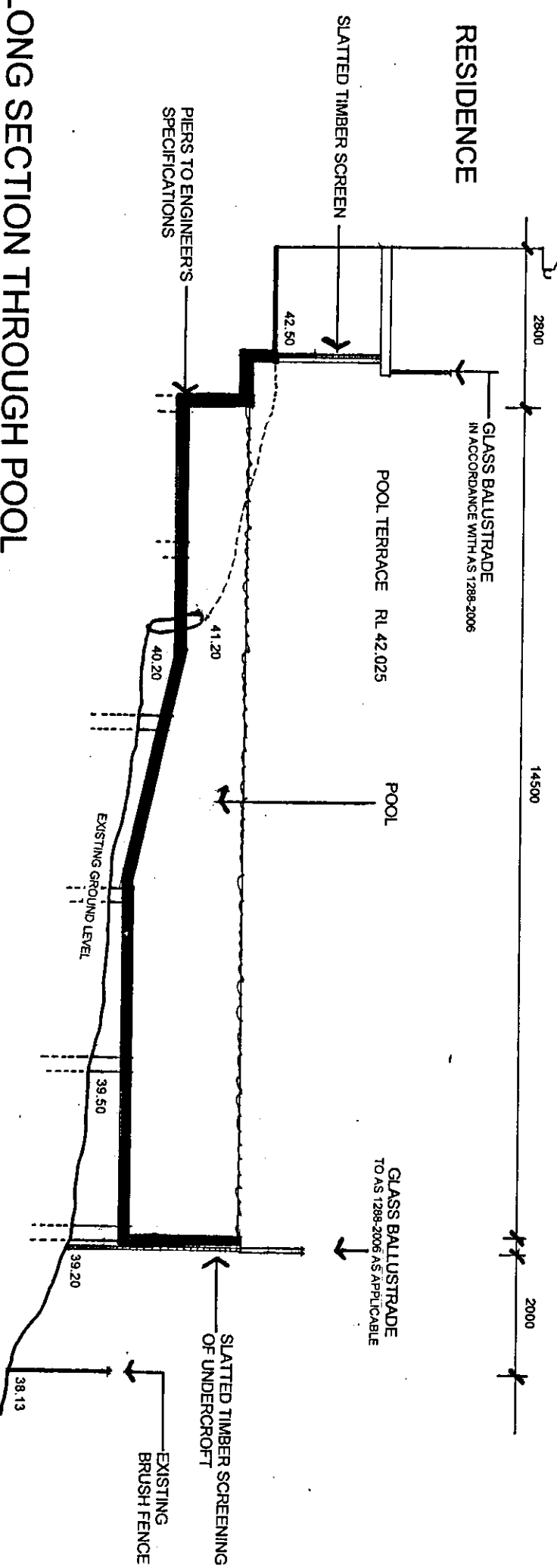


FIGURE 2.9 BALCONY PROJECTING INTO POOL AREA



CROSS SECTION THROUGH POOL



LONG SECTION THROUGH POOL

CONSTRUCTION CERTIFICATE
APPROVED PLANS

Construction Certificate No. **1/2007**

Operative Date: **25/1/07**

Signature:.....

TM/PA TERRY WEST BUILDING APPROVALS & CONSULTANCY

TRISH DOBSON REGISTERED LANDSCAPE ARCHITECT 34A Marine Parade Avalon NSW 2107 ph/fax 02 9918 8005 mb 0408 983020	
CLIENT	S+D McALPINE
PROJECT	158 BARRENUOEY RD NEWPORT
DRAWING	POOL SECTIONS POOL, TERRACES, GARAGE CONSTRUCTION CERTIFICATE
SCALE	1:100
DATE	8.12.08
JOB	0602
ISSUE	CC
DWG	0602 / CC-06

PLAN CERTIFICATION

I AM A QUALIFIED REGISTERED LANDSCAPE ARCHITECT AND HORTICULTURIST. I AM AN ASSOCIATE MEMBER OF THE AUSTRALIAN INSTITUTE OF LANDSCAPE ARCHITECTS AND A MEMBER OF THE AUSTRALIAN INSTITUTE OF HORTICULTURE. I HEREBY STATE THAT THESE PLANS OR DETAILS COMPLY WITH THE PROVISIONS OF THE PITTMAN ACT, NO 21 AND SPECIFICALLY CONSENT CONDITIONS B5, B6, B8.

TRISH DOBSON

Trish Dobson

RIGHT OF CARRIAGEWAY

2 BANKSIA INTEGRIFOLIA
12 LOMANDRA LONGIFOLIA

EXISTING CONCRETE DRIVEWAY

FRONT GARDEN PLANTING
IN ACCORDANCE WITH DA CONSENT CONDITION B6
2 SYZYGIUM PANICULATUM SHALL BE PLANTED IN FRONT GARDEN

PLANTING SCHEDULE

NOTE: IN ACCORDANCE WITH DA CONSENT CONDITION B5 EXISTING VEGETATION SHALL BE RETAINED WHERE POSSIBLE. SCHEDULE INCLUDES 2 TREES IN FRONT GARDEN AND IN EXCESS OF 1 TREE IN REAR GARDEN IN ACCORDANCE WITH DA CONSENT CONDITION 6

TREES			
SPECIES	COMMON NAME	MATURE HEIGHT	NO. POT SIZE
BANKSIA INTEGRIFOLIA	COAST BANKSIA	7-9M	6 25 litre
SYZYGIUM PANICULATUM	LILYPALLY	8.5M	2 25 litre
SHRUBS			
BANKSIA ERICIFOLIA	HEATH BANKSIA	2-4M	5 200MM
DRACAENA DRAGON TREE		3M	2 Transplant
DORYANTHES EXCELSA	GYNEALILY	1.5M	6 200MM
MEALEUCA ARMILLARIS	BRACELET MYRTLE	4-5M	20 200MM
WESTRINGIA FRUTICOSA	COAST ROSEMARY	1-2M	60 150MM
GROUNDCOVERS			
LOMANDRA LONGIFOLIA	SPINY MAT RUSH	.75M	12 150MM
LIRIOPE EVERGREEN GIANT	LIRIOPE	.5M	12 150MM
TOTAL NO OF PLANTS PROPOSED			125
NO OF LOCAL INDIGENOUS SPECIES			112 90.2%

EXISTING TILED VERANDAH
RL 44.50

1 DRACAENA
6 LIRIOPE

NEW TILED TERRACE
RL 42.90

1 DRACAENA
6 LIRIOPE

20 WESTRINGIA
FRUTICOSA
IN PLANTER BOXES

EXISTING NORFOLK IS. PINE

NEW TILED TERRACE
RL 42.025

SPA
2M X 2M

POOL
14.5M X 2.5M

18 MEALEUCA
ARMILLARIS

4 BANKSIA INTEGRIFOLIA

9 BANKSIA ERICIFOLIA

STORMWATER EASEMENT

CONSTRUCTION CERTIFICATE
APPROVED PLANS

Construction Certificate No 1/2007
Operative Date: 25/1/07
Signature: TWBA TERRACE BUILDING APPROVALS & CONSULTANCY

SCREEN PLANTING
TO MINIMUM MATURE HEIGHT OF 3M
IN ACCORDANCE WITH DA CONSENT B8

EXISTING WESTRINGIA
AND LEPTOSPERMUM SP.

28 WESTRINGIA
FRUTICOSA

2 DORYANTHES
EXCELSA

2 DORYANTHES
EXCELSA

2 DORYANTHES
EXCELSA

DWG 0602 / CC-07

TRISH DOBSON
REGISTERED LANDSCAPE ARCHITECT
34A, Manly Parade, Avalon NSW 2107
ph/fax 02 9918 8005 mb 0408 983020

CLIENT
S+D McALPINE

PROJECT
158 BARRENOEY RD
NEWPORT

DRAWING
LANDSCAPE PLAN
POOL, TERRACES, GARAGE
CONSTRUCTION CERTIFICATE

SCALE 1:100 DATE 8.12.08
JOB 0602 ISSUE CC