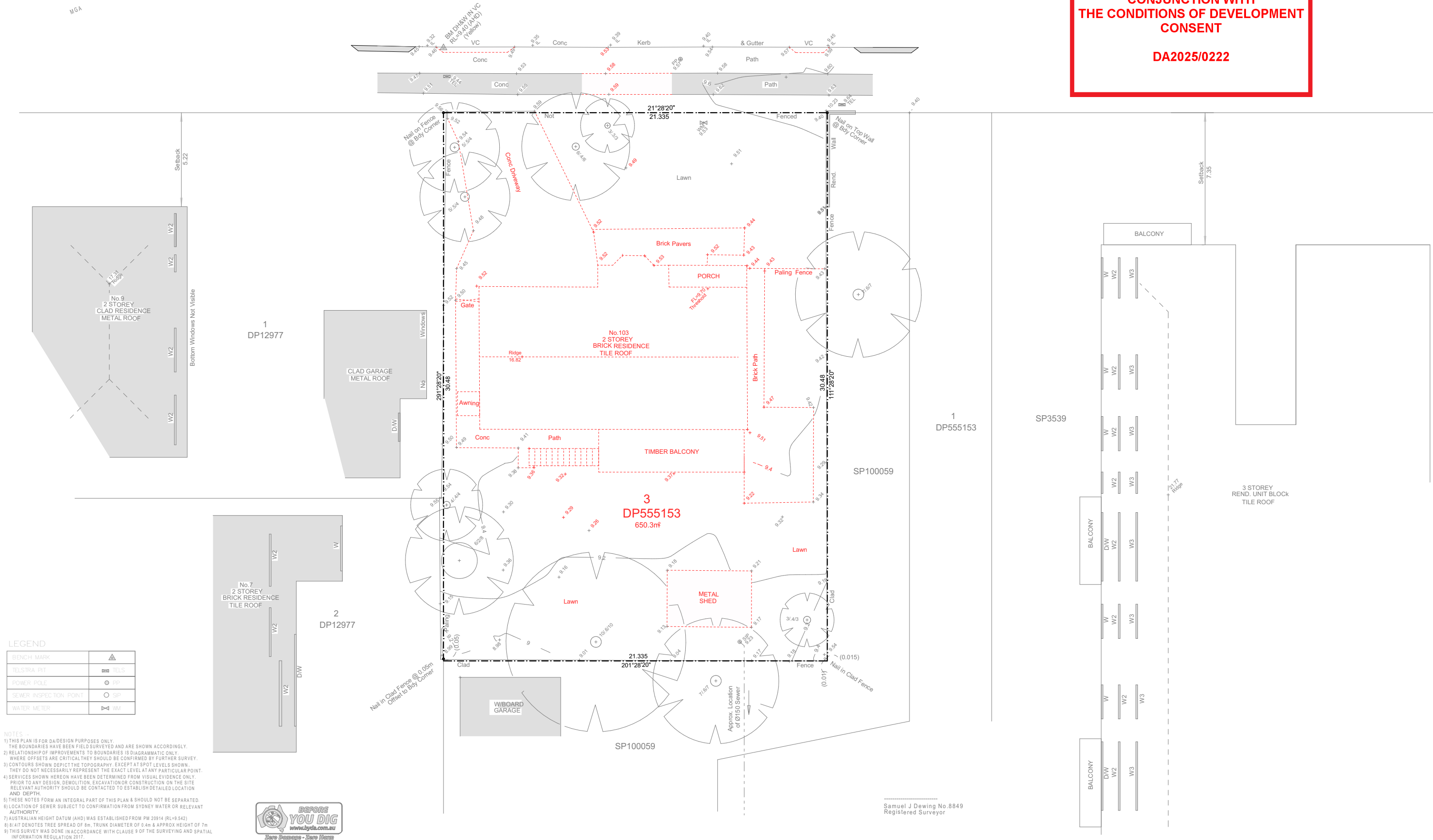




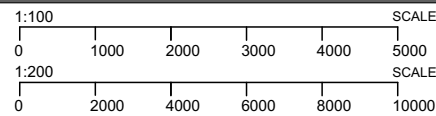
THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2025/0222

OCEAN STREET (20.115 WID)



Suite 11, Level 2
20 Young Street
NEUTRAL BAY, NSW
Ph +612 8968 1917
Mob +61 412 995 480



NOTES
The builder shall check and verify all
dimensions and verify all errors and
omissions to the Architect.
Do not scale the drawings.

AMENDMENTS
A ORIGINAL ISSUE

27.02.25

DRAWING NAME
DEMOLITION PLAN
DEVELOPMENT APPLICATION

PROJECT
**NARRABEEN
DWELLINGS**
DATE 27.02.25
SCALE 1:200

PROJ. ADDRESS
**103 OCEAN STREET,
NARRABEEN , 2102**
CLIENT
PHIL & LORRAINE SCOTT

PROJ. CODE
OCE103
DWG NO. **DA-02**
REV **A**

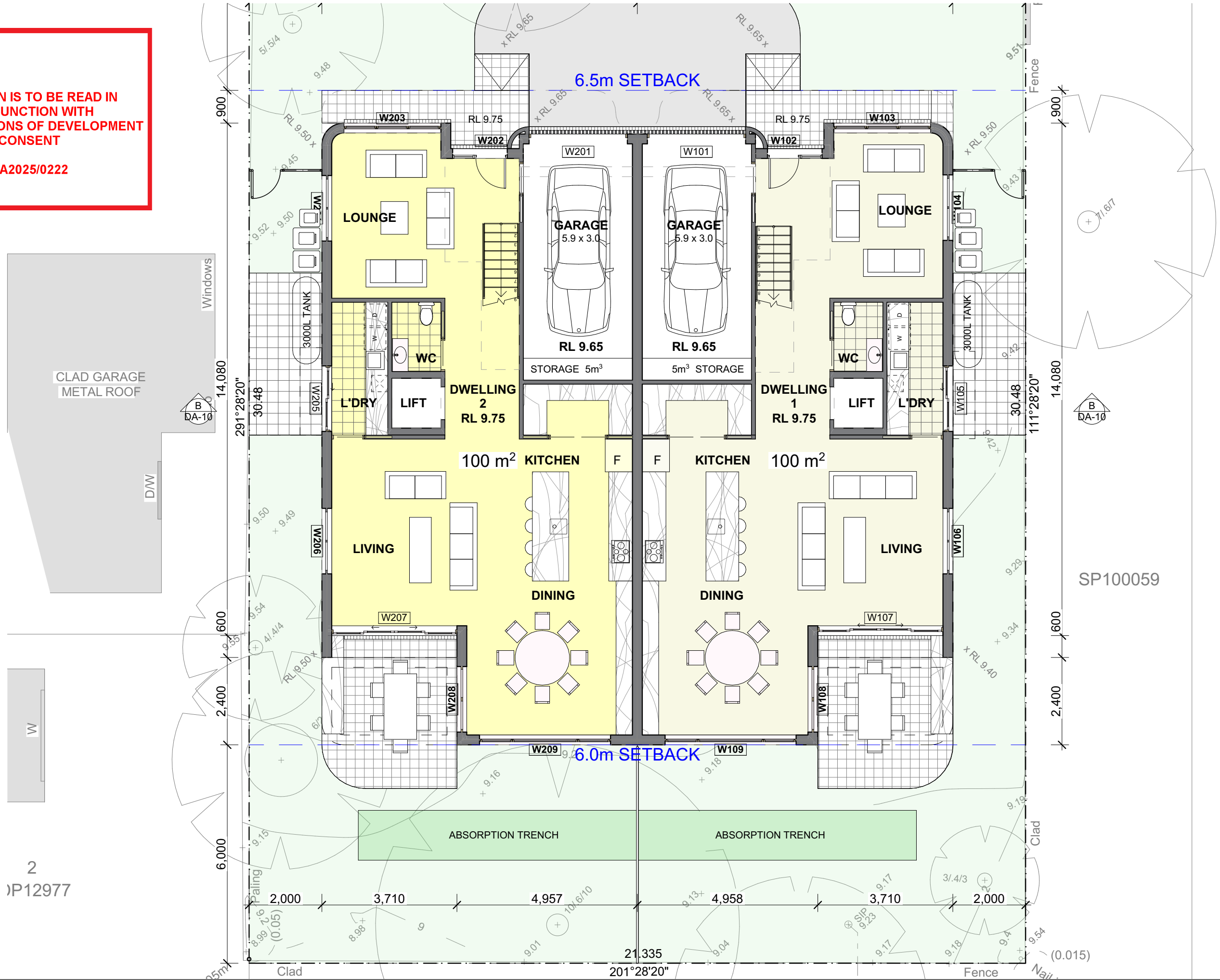




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CONSENT**

DA2025/0222



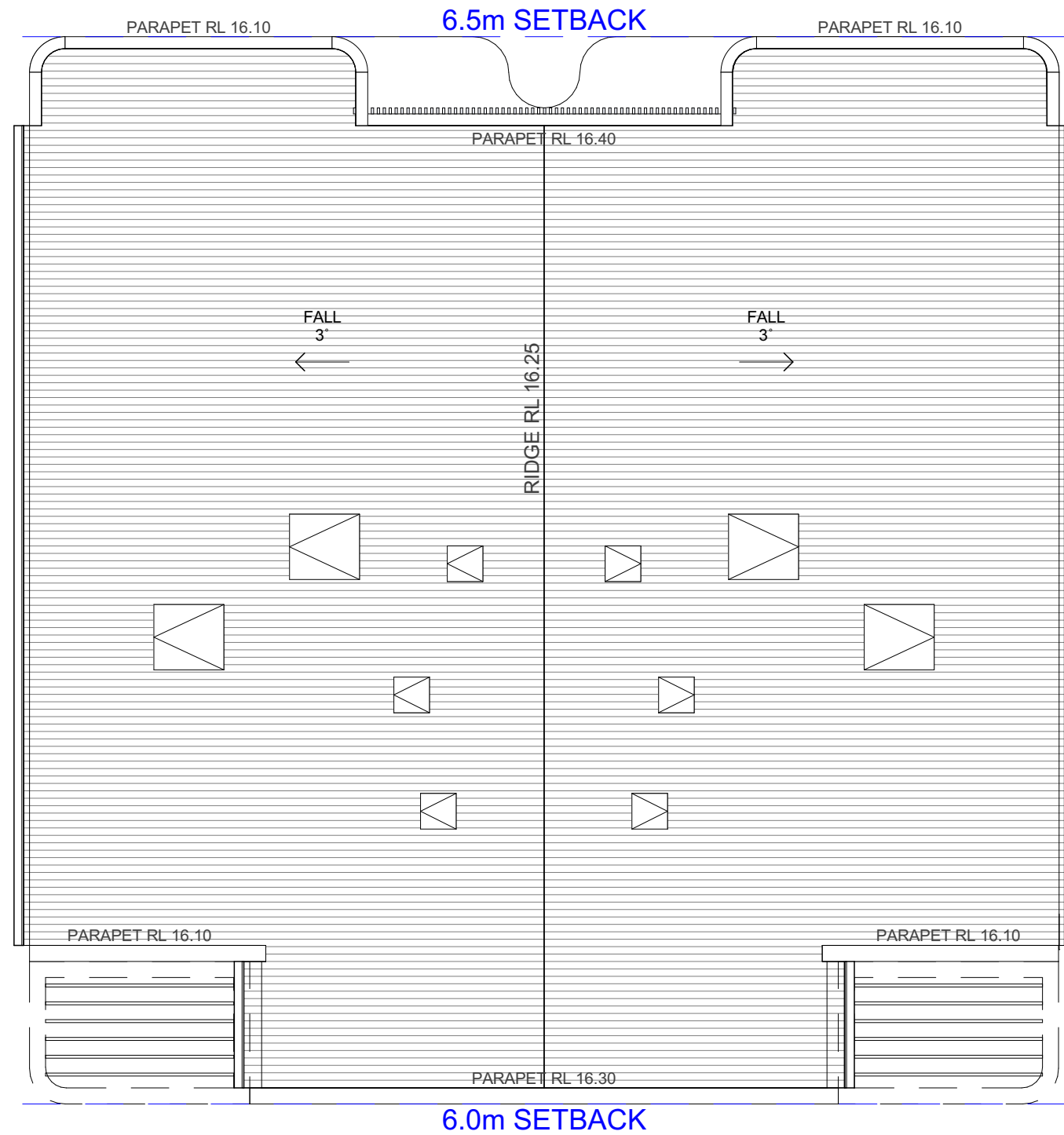
 **northern
beaches
council**

**THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2025/0222



291°28'20"
30.48



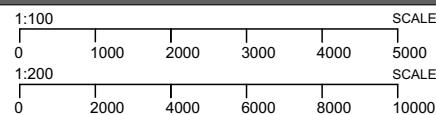
30.48
111°28'20"



21.335
201°28'20"



Suite 11, Level 2
20 Young Street
NEUTRAL BAY, NSW
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Mob +61 412 995 480



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AMENDMENTS
A ORIGINAL ISSUE

27.02.25

DRAWING NAME

ROOF PLAN

DEVELOPMENT APPLICATION

PROJECT

**NARRABEEN
DWELLINGS**

DATE
27.02.25

SCALE
1:100

PROJ. ADDRESS

**103 OCEAN STREET,
NARRABEEN , 2102**

CLIENT

PHIL & LORRAINE SCOTT

PROJ. CODE

OCE103

DWG NO.

DA-06

REV

A





EXTERNAL WALLS:

- Rendered & painted masonry/concrete &
- 90mm stud walls with FC cladding to upper floors

INTERNAL WALLS:

- 110mm masonry/concrete walls with paint finish.
- 90mm timber stud walls with plasterboard & paint finish.

FLOORS:

- Concrete slab on ground & suspended concrete to first floor, to Structural Engineers details and specification.

EXTERNAL DOORS & WINDOWS:

- Aluminium frame with clear glass, with powdercoat finish

CEILINGS:

- Plasterboard ceiling with insulation and paint finish

ROOFS:

- Colorbond 3° pitch timber roof w/ sisalation & insulation blanket.

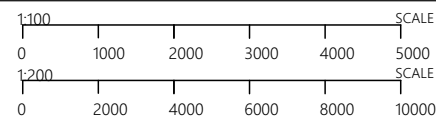
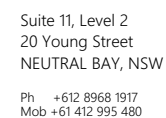
NB: All of the above are to be in accordance with The Basix Certificate and commitments.



WEST ELEVATION



NORTH ELEVATION



NOTES

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Do not scale the drawings.

AMENDMENTS
A ORIGINAL ISSUE

27.02.25

DRAWING NAME

NORTH & WEST ELEVATION

DEVELOPMENT APPLICATION

PROJECT

NARRABEEN DWELLINGS
DATE 27.02.25 SCALE 1:1

PROJ. ADDRESS

**103 OCEAN STREET,
NARRABEEN , 2102**
CLIENT
PHIL & LORRAINE SC

PROJ. CODE

OCE103

DWG NO. R
DA-07 **A**





2 EAST ELEVATION

SCHEDULE OF MATERIALS TO BE USED:

EXTERNAL WALLS:

- Rendered & painted masonry/concrete &
- 90mm stud walls with FC cladding to upper floors

INTERNAL WALLS:

- 110mm masonry/concrete walls with paint finish.
- 90mm timber stud walls with plasterboard & paint finish.

FLOORS:

- Concrete slab on ground & suspended concrete to first floor, to Structural Engineers details and specification.

EXTERNAL DOORS & WINDOWS:

- Aluminium frame with clear glass, with powdercoat finish

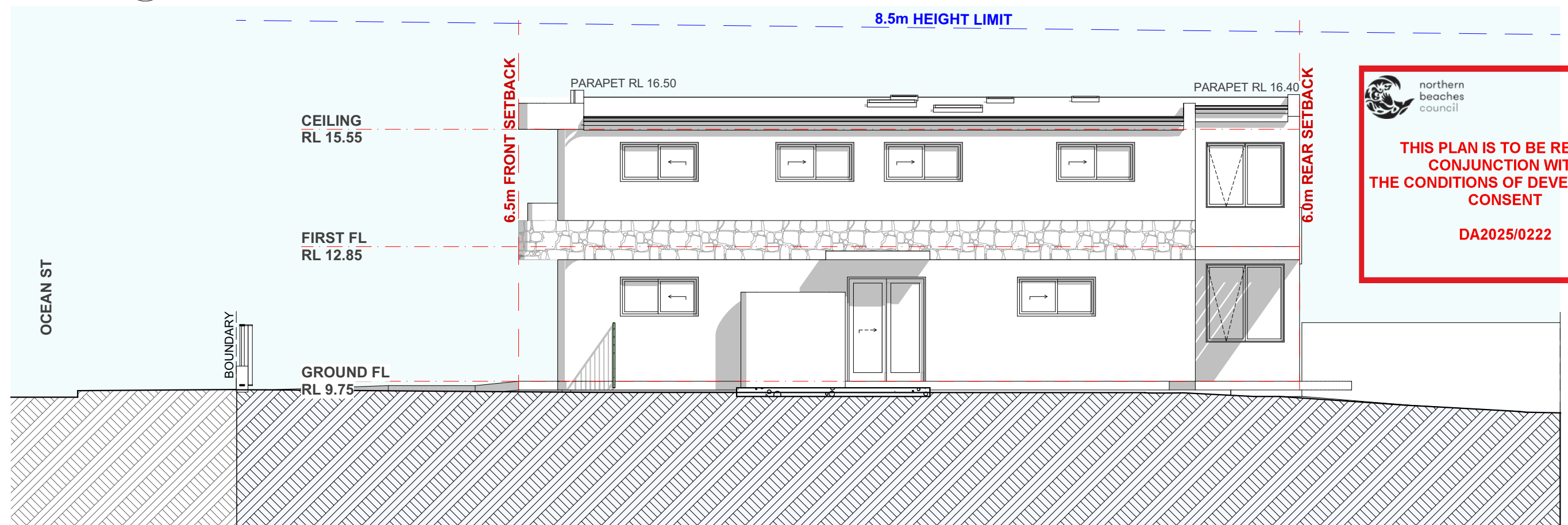
CEILINGS:

- Plasterboard ceiling with insulation and paint finish

ROOFS:

- Colorbond 3° pitch timber roof w/ sisalation & insulation blanket.

NB: All of the above are to be in accordance with The Basix Certificate and commitments.



1 SOUTH ELEVATION

 northern beaches council

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1 FRONT FENCE ELEVATION





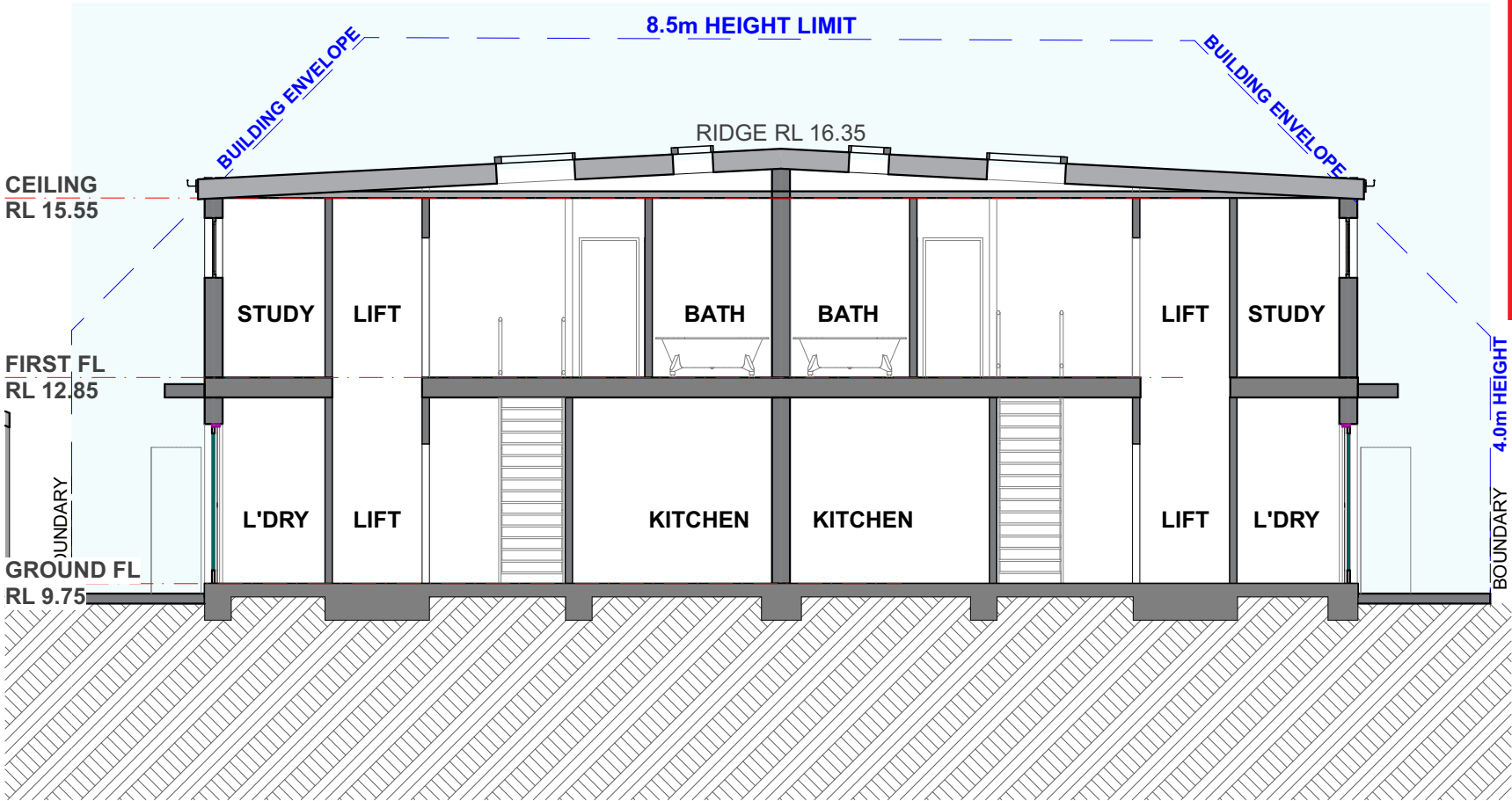
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CONSENT

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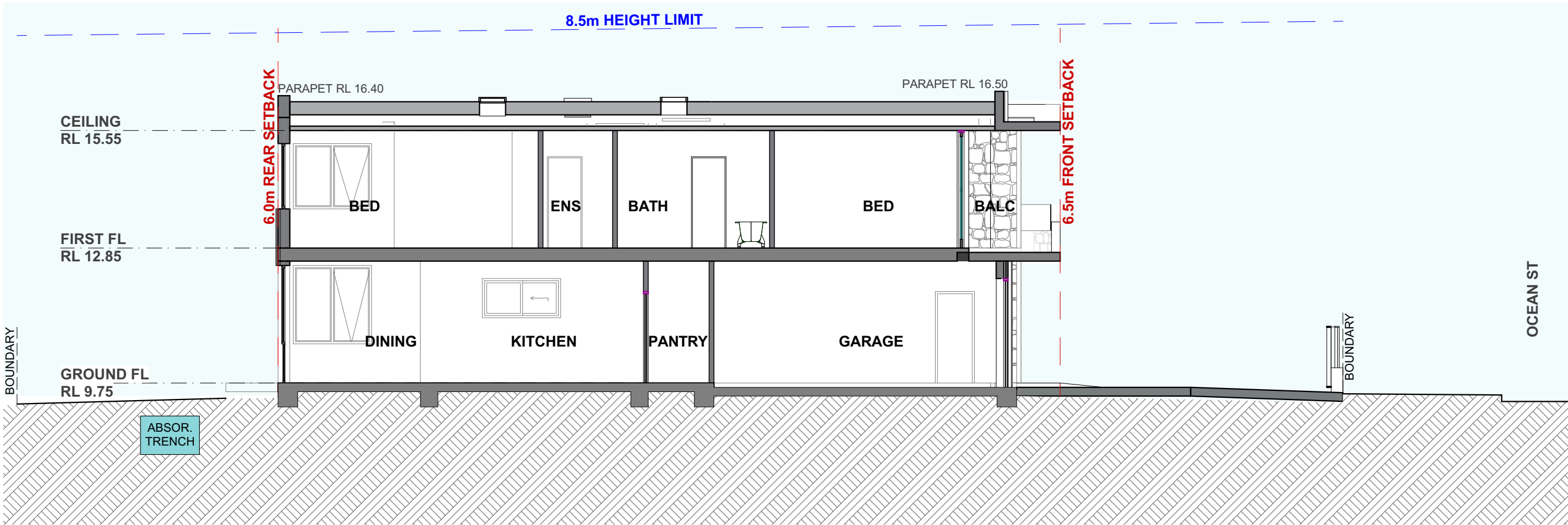
SCHEDULE OF MATERIALS TO BE USED:

- EXTERNAL WALLS:
- Rendered & painted masonry/concrete &
 - 90mm stud walls with FC cladding to upper floors
- INTERNAL WALLS:
- 110mm masonry/concrete walls with paint finish.
 - 90mm timber stud walls with plasterboard & paint finish.
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- EXTERNAL DOORS & WINDOWS:
- Aluminium frame with clear glass, with powdercoat finish
- CEILINGS:
- Plasterboard ceiling with insulation and paint finish
- ROOFS:
- Colorbond 3° pitch timber roof w/ sisalation & insulation blanket.
- NB: All of the above are to be in accordance with The Basix Certificate and commitments.



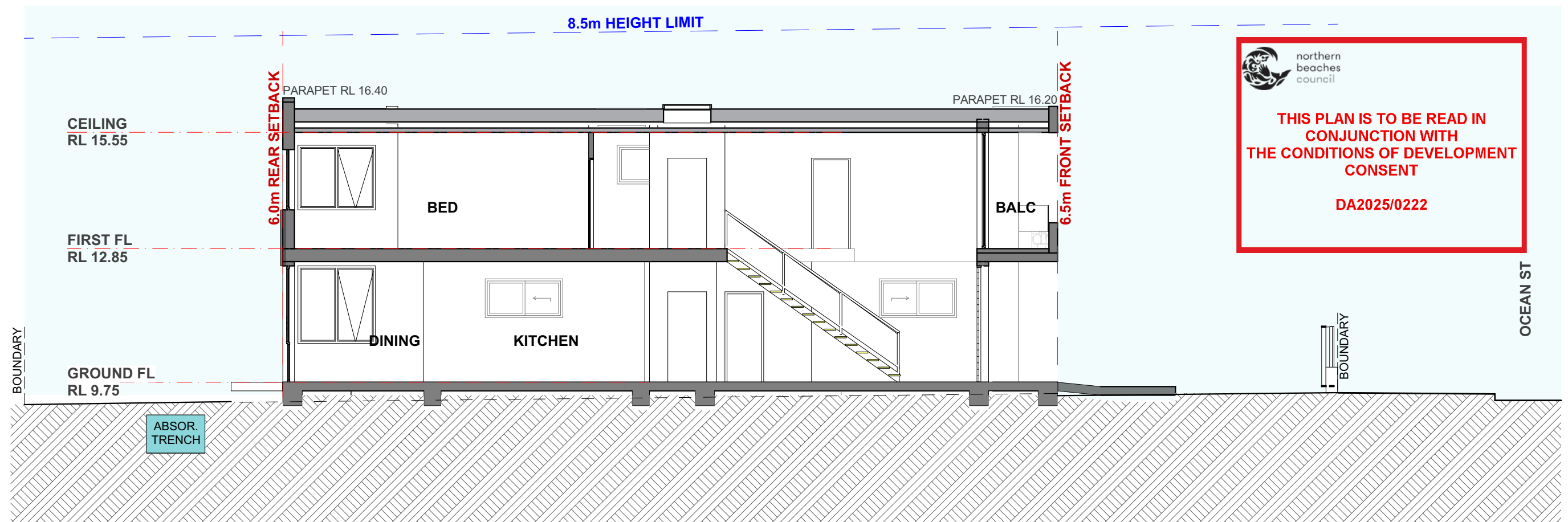
2

SECTION B



1

SECTION A



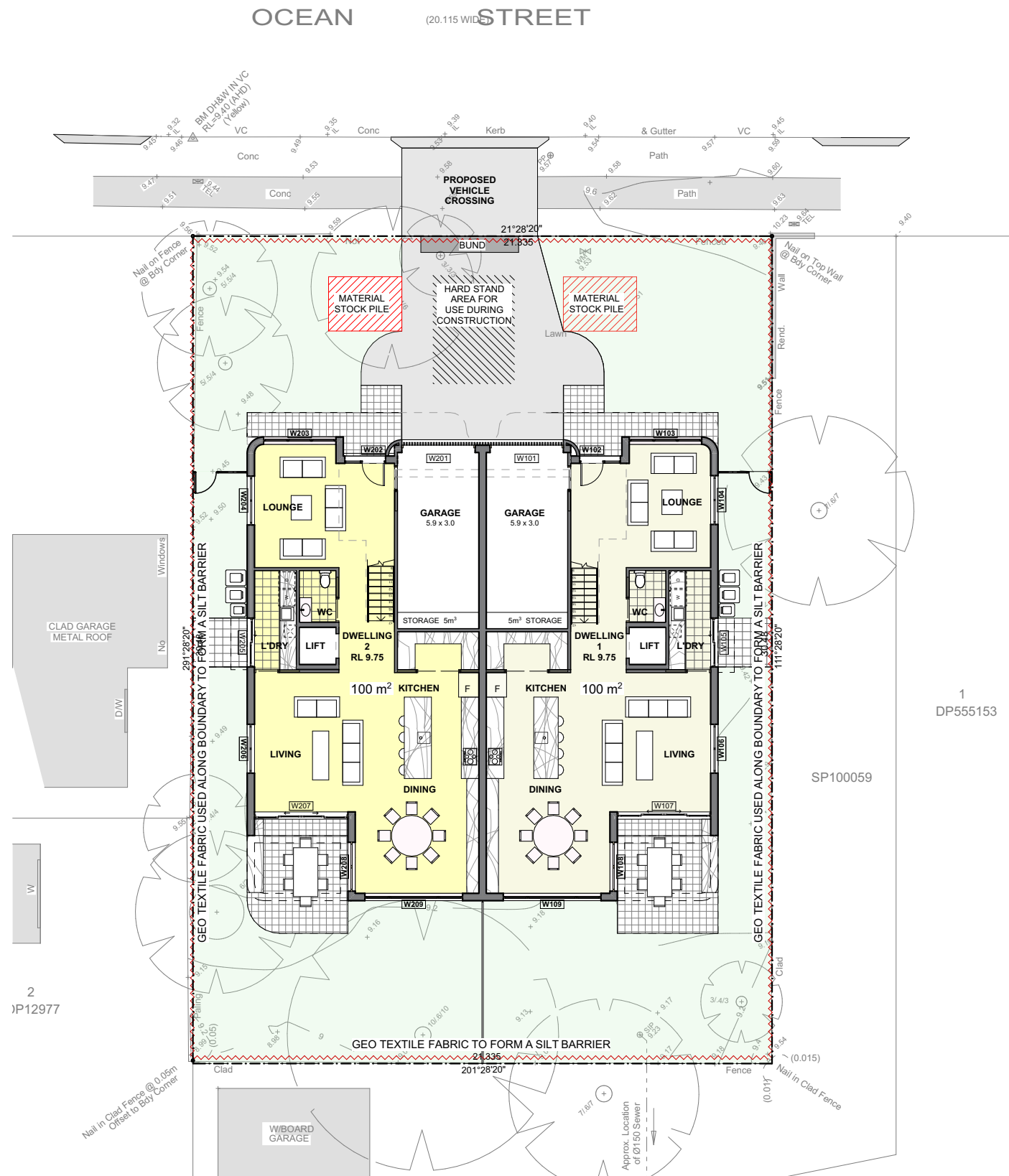
SECTION C

2



SECTION D

1

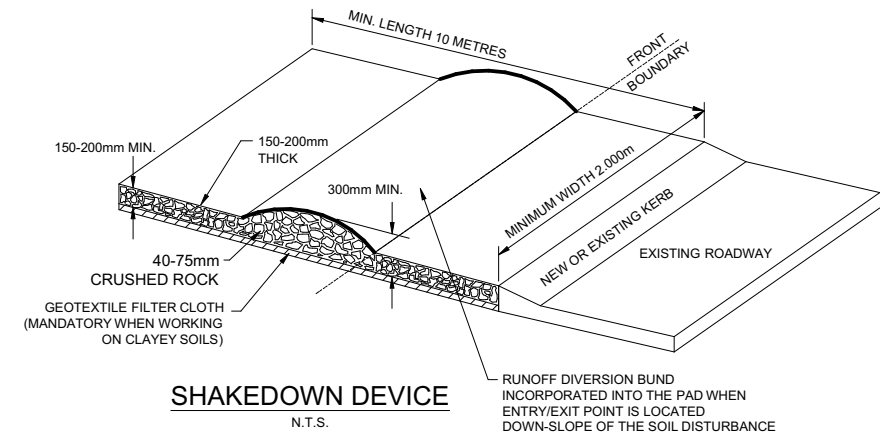


EROSION AND SEDIMENT CONTROLS

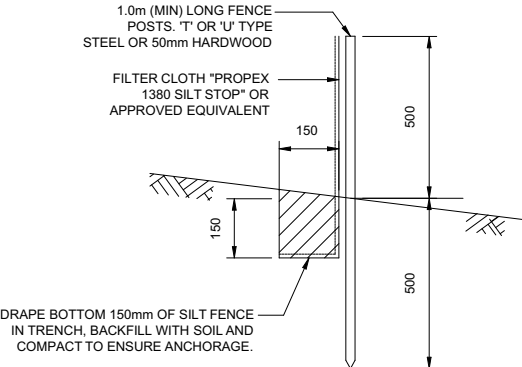
THESE RUN-OFF AND EROSION CONTROLS ARE TO BE COMPLIED TO DURING THE CONSTRUCTION AND MAINTENANCE OF THE SITE

RUN-OFF AND EROSION CONTROLS MUST BE IMPLEMENTED TO PREVENT SOIL EROSION, WATER POLLUTION OR THE DISCHARGE OF LOOSE SEDIMENT ON THE SURROUNDING LAND BY:

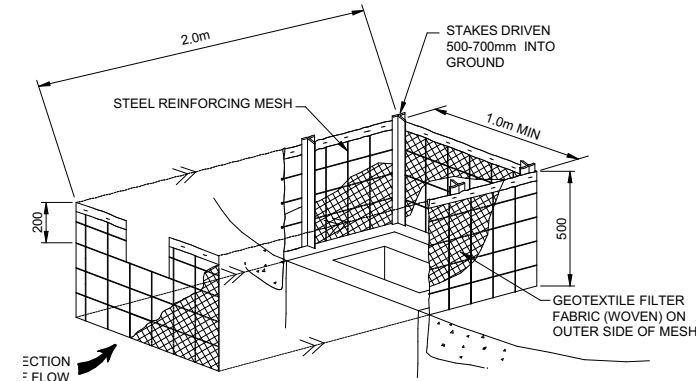
- A DIVERTING UNCONTAMINATED RUN-OFF AROUND CLEARED OR DISTURBED AREAS, AND
- B ERECTING A SILT FENCE TO PREVENT DEBRIS ESCAPING INTO DRAINAGE SYSTEMS AND WATERWAYS, AND
- C PREVENTING TRACKING OF SEDIMENT BY VEHICLES ONTO ROADS, AND
- D STOCKPILING TOP SOIL, EXCAVATED MATERIALS, CONSTRUCTION AND LANDSCAPING SUPPLIES AND DEBRIS WITHIN THE LOT



SHAKEDOWN DEVICE
N.T.S.



SILT FENCE DETAIL
N.T.S.



FIELD INLET SEDIMENT TRAP
N.T.S.

SILT FENCE NOTES:

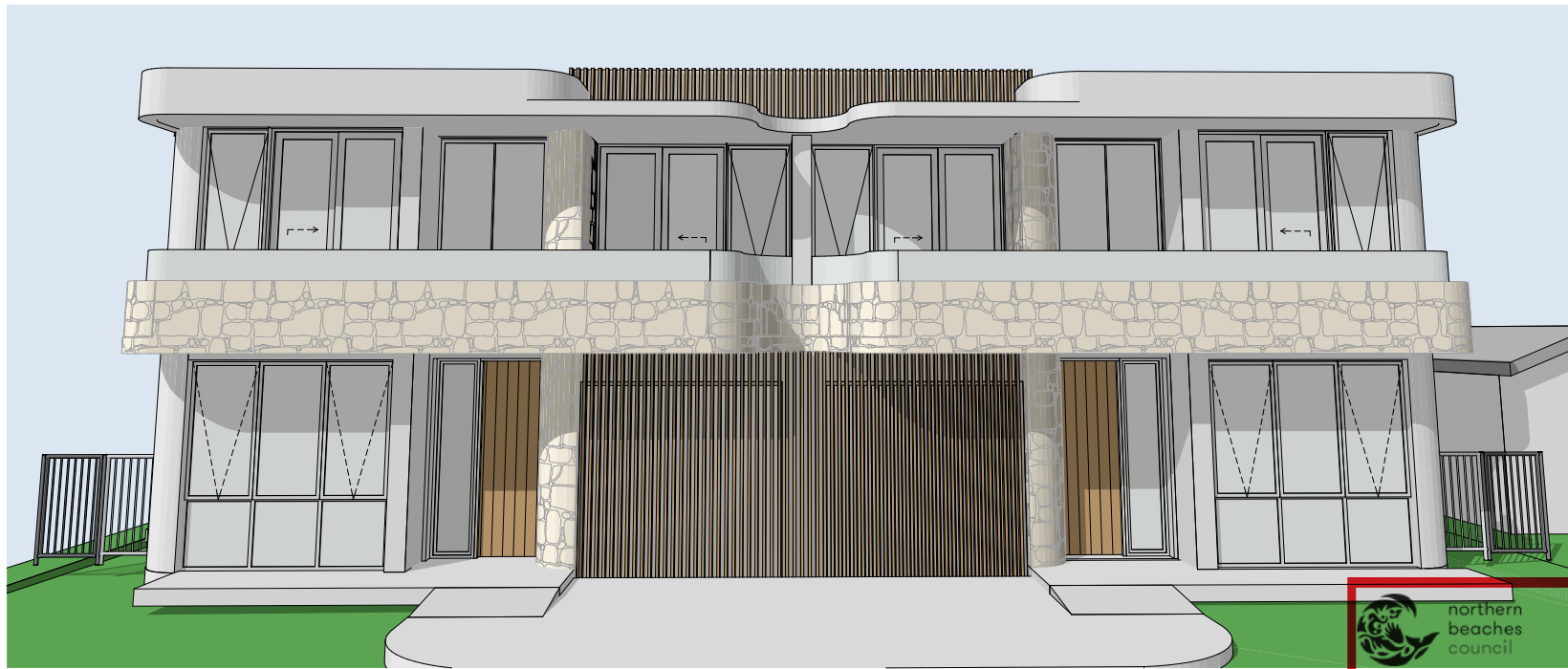
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS WITH GALVANISED WIRE TIES, STAPLES OR ATTACHMENT BELTS.
2. POSTS SHOULD NOT BE SPACED MORE THAN 3.0m APART.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 150mm AND FOLDED.
4. FOR EXTRA STRENGTH TO SILT FENCE, WOVEN WIRE (14mm GAUGE, 150mm MESH SPACING) TO BE FASTENED SECURELY BETWEEN FILTER CLOTH AND POSTS BY WIRE TIES OR STAPLES.
5. INSPECTIONS SHALL BE PROVIDED ON A REGULAR BASIS, ESPECIALLY AFTER RAINFALL AND EXCESSIVE SILT DEPOSITS REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE.
6. SEDIMENT FENCES SHALL BE CONSTRUCTED WITH SEDIMENT TRAPS AND EMERGENCY SPILLWAYS AT SPACINGS NO GREATER THAN 40m ON FLAT TERRAIN DECREASING TO 20m SPACINGS ON STEEP TERRAIN.



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2

OCEAN STREET PERS



3

OCEAN STREET PERS

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1

OCEAN STREET PERS



4

OCEAN STREET PERS