



CONSTRUCTION CERTIFICATE APPLICATION

Made under the Environmental Planning and Assessment Act 1979 Sections 109C
(1) (b), 81a (2) and 81a (4)

Pittwater Council

PO Box 882, Mona Vale NSW 1660

Tel: (612) 9970 1111

Fax: (612) 9970 7150

Internet: www.pittwater.nsw.gov.au

Email: pittwater_council@pittwater.nsw.gov.au

SITE DETAILS

Unit/Suite:	Street No:	Street:
	24 A	CHILTERN RD.
Suburb:	Lot No:	Deposit /Strata Plan:
INGLESIDE NSW 2101.	2	DP 595804

DEVELOPMENT CONSENT

Development Application No:	Determination Date:
N0279/05	03 - August - 2005.

APPLICANT DETAILS

Name/Company:	Contact Person:
DAVID MARSHALL	DAVID MARSHALL
Postal Address:	Contact Numbers:
24 A CHILTERN RD	Phone (H/B): (H) 9997-7080
INGLESIDE NSW 2101.	Mobile: 0413 709 239
	Fax:
Signature of Applicant:	Date:
<i>David Marshall</i>	06/09/2005

OWNERS DETAILS

Name: DAVID W. MARSHALL LISA K. MARSHALL	If Company, contact person:
Postal Address:	Contact Numbers:
24 A CHILTERN RD	Phone (H/B): (H) 9997-7080
INGLESIDE NSW 2101	Mobile: 0413 709 239
	Fax:
As the owner of the land to which this application relates, I consent to this application. I also give consent for the authorised Council Officer to enter the land to carry out inspections.	

Signature of Owners:

Date:

David Marshall
Lise Karen Marshall

06/09/2005

06/09/2005

If more than one owner, every owner must sign. If the owner is a company, the form must be signed by an authorised director and the common seal must be stamped on this application.
If the property has been recently purchased, written confirmation from the purchaser's Solicitor must be provided.
If the contracts have been exchanged for the purchase of the land, the current owner is to sign the application.

DEVELOPMENT DETAILS

Type of Work:	☒ Building Work
OR	
	☐ Subdivision Work
Description of proposal – (Provide brief, concise details):	
ERECTION OF A RURAL SHED.	

WHO WILL BE DOING THE BUILDING WORKS?

☒ Owner Builder	
Owner Builders Permit No: 297671 P	
Copy of Owner Builders permit attached:	☒ Yes ☐ No – to be provided with Notice of Commencement Form
<i>If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Paramatta NSW 2150 Australia. Tel: 61 2 98950111 Fax: 61 2 9895 0222.</i>	

OR

☐ Licensed Builder Builder's License Number	
Name of Builder:	Phone:
Contact person:	Mobile:
Address:	Fax:
Insurance Company:	Insurance Certificate attached: ☐ Yes ☐ No – to be provided with Notification of Commencement form
<i>If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application or submitted with the Notification of Commencement form.</i>	

VALUE OF PROPOSED DEVELOPMENT

Value of Works: \$ 15,000 (including full cost of labour and materials)

DO YOU NEED TO PAY THE BUILDING INDUSTRY LONG SERVICE LEVY?

☐ Yes

☒ No

Only required if the development involves building works exceeding \$25,000.00.

OFFICE USE ONLY

Fee Type	Cashier's Code	Fee Amount
Construction Certificate Application Fee	TCER	368.50
Long Service Levy Fee	QLSL	
Driveway/Street Levels	ESTR	
Sec 94 Contributions		
Bonds/Guarantees		
Other Fees		
TOTAL		368.50
Date of Receipt: 8.9.05	Receipt No: 176161	Accepted By: 

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council as the consent authority to assess your proposal.
Intended recipients	Council Staff and any other relevant government agency that may be required to assess the proposal.
Supply:	The information is required by legislation.
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	The Pittwater Council will store details of the application and any subsequent decision in a register that can be viewed by the public.
Retention period:	Hard copies of the application will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the area of the land?	Area in square metres	25,000m ²	
Gross floor area of existing building?	Area in square metres	500m ²	
If no existing building, write "NIL"			
What is the existing building or site used for at present?	Main uses:	Residential / Rural.	
	Other uses:		
Does the site contain a dual occupancy?	☐ Yes	☒ No	
Gross floor area of proposed building?	Proposed floor area in square metres	108	
What will the proposed building to be used for?	Main uses:	RURAL SHED.	
	Other uses:		
How many dwellings:			
Are pre-existing at this property?	Dwellings:	1	
Are proposed to be demolished?	Dwellings:	NIL	
Are proposed to be constructed?	Dwellings:	NIL	
How many storeys will building consist of?	Storeys:	ONE.	
What are the main building materials?			
Walls		Roof	
Full Brick	☐	Aluminium	☐
Brick veneer	☐	Concrete or slate	☐
Concrete, masonry	☐	Tile	☐
Steel	☒	Fibrous cement	☐
Fibrous cement	☐	Steel	☒
Timber/weatherboard	☐	Other	☐
Cladding-aluminium	☐	Unknown	☐
Curtain glass	☐		
Other	☐		
Unknown	☐		
Floor		Frame	
Concrete	☒	Timber	☐
Timber	☐	Steel	☒
Other	☐	Other	☐
Unknown	☐	Unknown	☐

APPLICANTS CHECK LIST

Note: This list is intended as a guide to the type of information to be submitted. Some items may not be required and Section B of the Conditions of Development Consent for the building works may specify further additional information required with submission of your Construction Certificate Application.

Application Form –	☒ Owners Consent ☒ Applicant's Signature ☒ Long Service Levy – N/A ☒ Driveway/Street levels Application – N/A
Supporting Documentation - (3 copies of each)	☒ Architectural Plans ☒ Quick Check Plans endorsed by Sydney Water ☒ Construction Specifications for Building Works ☒ Structural Engineer's Plans ☐ Structural/Geotechnical Certificates ☐ Landscape Plans ☐ Driveway Level Plans ☒ On-site Stormwater Detention Plans ☒ Drainage Plans on Site Storm Management ☐ Erosion and Sediment Management Plan ☒ Sydney Water Quick Check Plans ☐ Subdivision Work Plans ☒ Schedule of External Finishes/Colours ☐ Fire Safety Measures Schedule ☐ Form No. 2 – "Geotechnical Risk Management Policy for Pittwater" ☐ Details and location of fencing for Swimming Pool to comply with AS 1926-1986 "Fences and Gates for Private Swimming Pools" ☐ Specifications for construction of buildings in Bushfire-prone areas ☐ Security Deposit / Section 94 contributions

Ref:councilcc

07 September 2005

Pittwater Council
PO Box 882
MONA VALE NSW 1660

David and Lisa Marshall
24 A Chiltern Rd.
INGLESIDE NSW 2103
Phone 9997 7080

RE: Construction Certificate Application
Consent No. 0279/05 - Erection of a Rural Shed

Please find attached Pittwater Council *Construction Certificate Application* with details completed and duly signed by the owners. We request Council issue a Construction Certificate.

In accordance with the requirements of the Consent, the following additional supporting details are provided (3 sets):

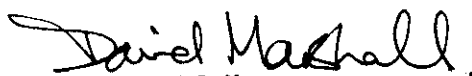
- 1/..Approved Construction plans and specifications:
 - Site Plan (including Quick Check approval by Sydney Water).
 - General Arrangement and Specification Drawing No. FF-01-D.
 - Frame Detail Drawing No. FF-053-F.
 - Purlin and Girt Layout and Misc. Details Drawing No. FF-054-E.
 - Column Hold Down Bolt Layout Drawing No. FF-055-F.

2/..Copy of Owner Builders permit No. 297671P.

3/.. On site detention and stormwater management system details.

We understand that a valid Construction Certificate is required prior to appointment of a Principal Certifying Authority. It is our intention to appoint Pittwater Council as the Principal Certifying Authority and have also appointed a structural engineer to provide any necessary certification.

I can be contacted any time on my mobile phone number 0413 709 239 or home 9997 7090 should there be any other requirements.



Yours faithfully
DAVID MARSHALL

NORTH



RL 104.86 AHD
at corner
BM Δ
(0.29)
POST & WIRE FENCE
LIMIT
119.03

IN
GROUND
SWIMMING
POOL

CEMENT
RENDERED
GARAGE

2 STOREY
CEMENT RENDERED
DWELLING
TILE ROOF
No. 24A

EXISTING DWELLING
RL. FFL. 109.30 AHD

SURVEY

SYDNEY WATER APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainier.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
5. Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 3407685

Reece, Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

Per: Reece 21/08/05

METAL
SHED

2

D. P. 595804

EXISTING
DAM

PROPOSED SHED
FFL. RL. 124.22 AHD

EXISTING RAIN WATER
TANKS

12.05 m

Δ BM 124.0 AHD
(approx.)

418.71

8.70m to
fenceline

30.50m to
fenceline

(0.08)

POST

91.765

WIRE

FENCE

PITTSBURGH

APPROVED DEVELOPMENT CONSENT

NOTE: THESE PLANS MUST BE

100% TO THE RING-GAI CHASE
NATIONAL PARK

CHILTERN

NO
FENCE

ROAD

SITE PLAN

PROPOSED SHED
24 A CHILTERN RD
INGLESIDE NSW

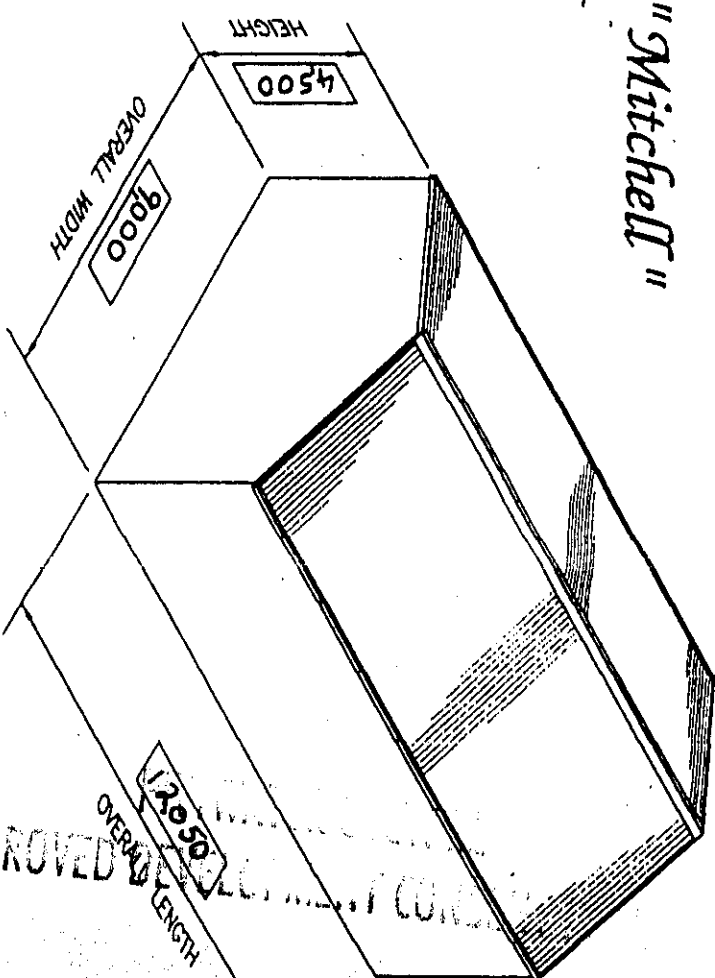


TRI-STEEL INDUSTRIES
184/190 NORTH ROAD, WOODRIDGE QLD. 4114
Phone: 0011 61 07 4667 0222 Fax: 0011 61 07 4667 0333

**FIFTY-FIFTY BUILDING
GENERAL ARRANGEMENT AND SPECIFICATION**

NOTES

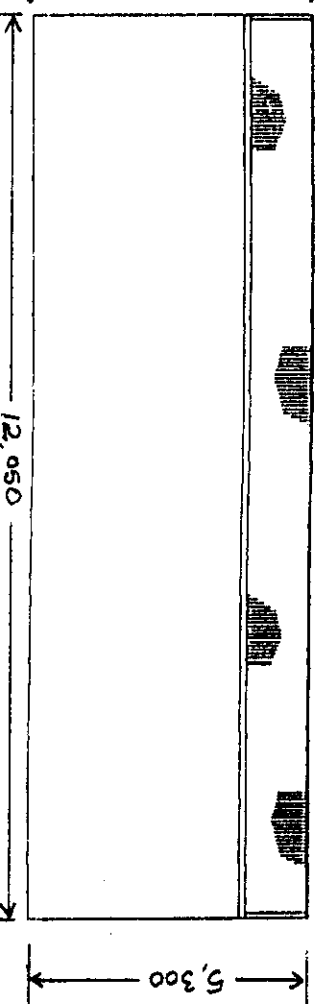
1. WIND LOADS:
W33 Region A Cat 2, Region B Cat 3
W41C Region A Cat 2, Region B Cat 3
W50C Region C Cat 3
Internal: Co-efficient 0.65 3-sided
or 0.2 fully enclosed building
2. LENGTH OF FLOOR:
9050, 12050, 13550, 18050, 22550,
24050, 27050
3. WIDTH OF FLOOR:
6000, 7500, 9000, 12000
4. HEIGHT OF EAVES:
2400, 2700, 3000, 3600
4200, 4500
5. PITCH OF ROOF: 10°
6. CENTRE TO CENTRE OF BAYS:
3000, 4500, 6000
7. COATING: A.Z.150 to A1397 Light Gal.
Structure prime coated
8. BRACING:
Diagonal brace and fly brace as per detail sheet
9. ROOF:
0.47 T.C.I. Corrugated or Hi-Deck (Monoclad,
Trimdeck) Hi-Tensile G550, fixed using TEK Screws
per manufacturers specification, Zincalume or Colorbond "Woodland Grey"
10. WALLS:
0.40 T.C.I. Monoclad, Trimwall
Hi-Tensile G550, Zincalume or Colorbond "Woodland Grey"
11. ENCLOSURES:
Design criteria provides for the following:-
(a) Fully open (roof only) and solid diagonally
braced
(b) Open on one or more walls
(c) Fully enclosed with maximum bay size,
slider or roller doors and windows
(d) Partly open and partly enclosed
12. PIERS:
For hold-down bolts and footings see detail or
refer to Engineer's specification
13. This sheet is to be read in conjunction with
Purlin, Footing and Frame detail sheets for
specific dimensions and load ratings
14. Designed in accordance with AS1170, AS3600
AS4100, AS4600



APPROVED
NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE COMPANY'S
DESIGN SPECIFICATION

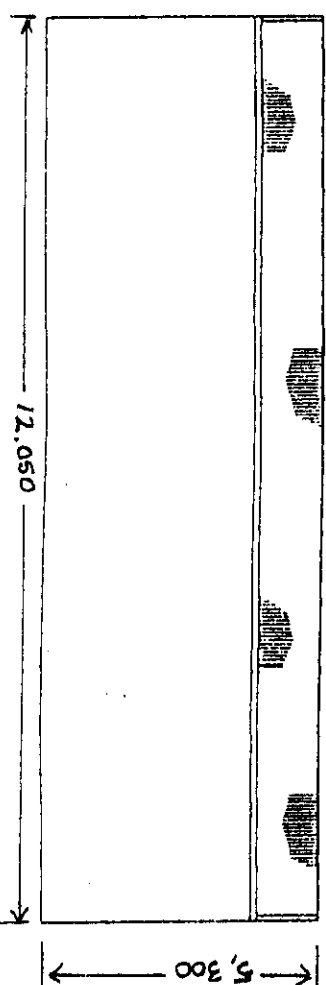
RIDGE 129.52 AND

EEL 124.22 AND



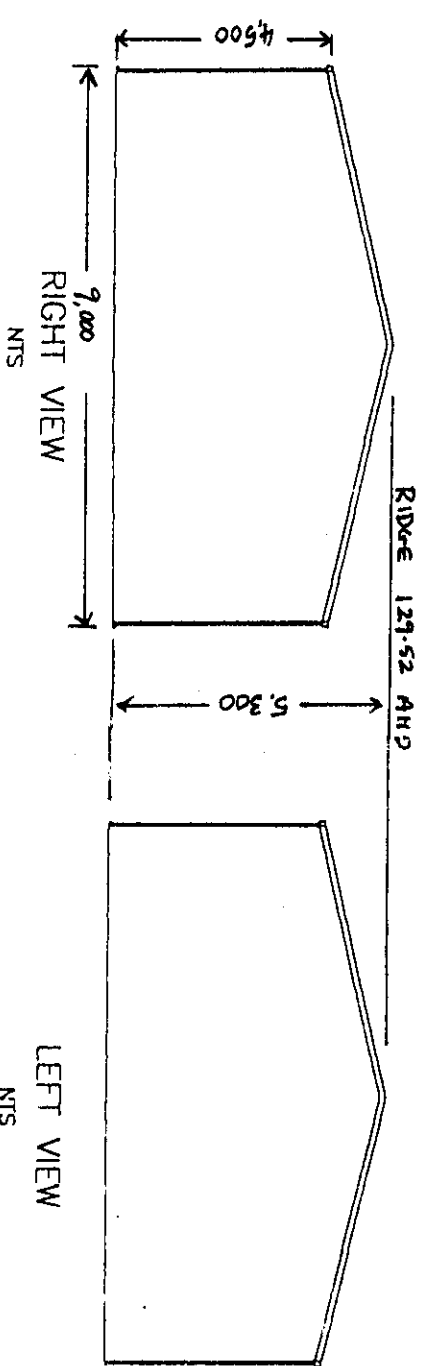
FRONT VIEW

NTS



REAR VIEW

NTS

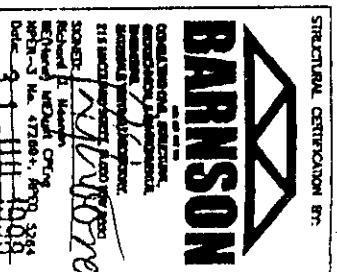


RIGHT VIEW

NTS

LEFT VIEW

NTS



CLIENT **D. MARSHALL**
SITE LOCATION **24 A CHILTERN ROAD**
INGLESIDE 2101
WIND CLASSIFICATION **REGION A CAT 3** REF. NO.
SHED SIZE **9.0 m WIDE x 12.0 m LONG x 4.5 m EAVE HEIGHT**

The Manufacturer reserves the right to alter size and/or spacing of members shown as required. However the size and/or spacing of members that would be used must have section properties etc. not less than those shown. These plans and specifications are copyright and no part may be reproduced without written permission, other than permitted by law.

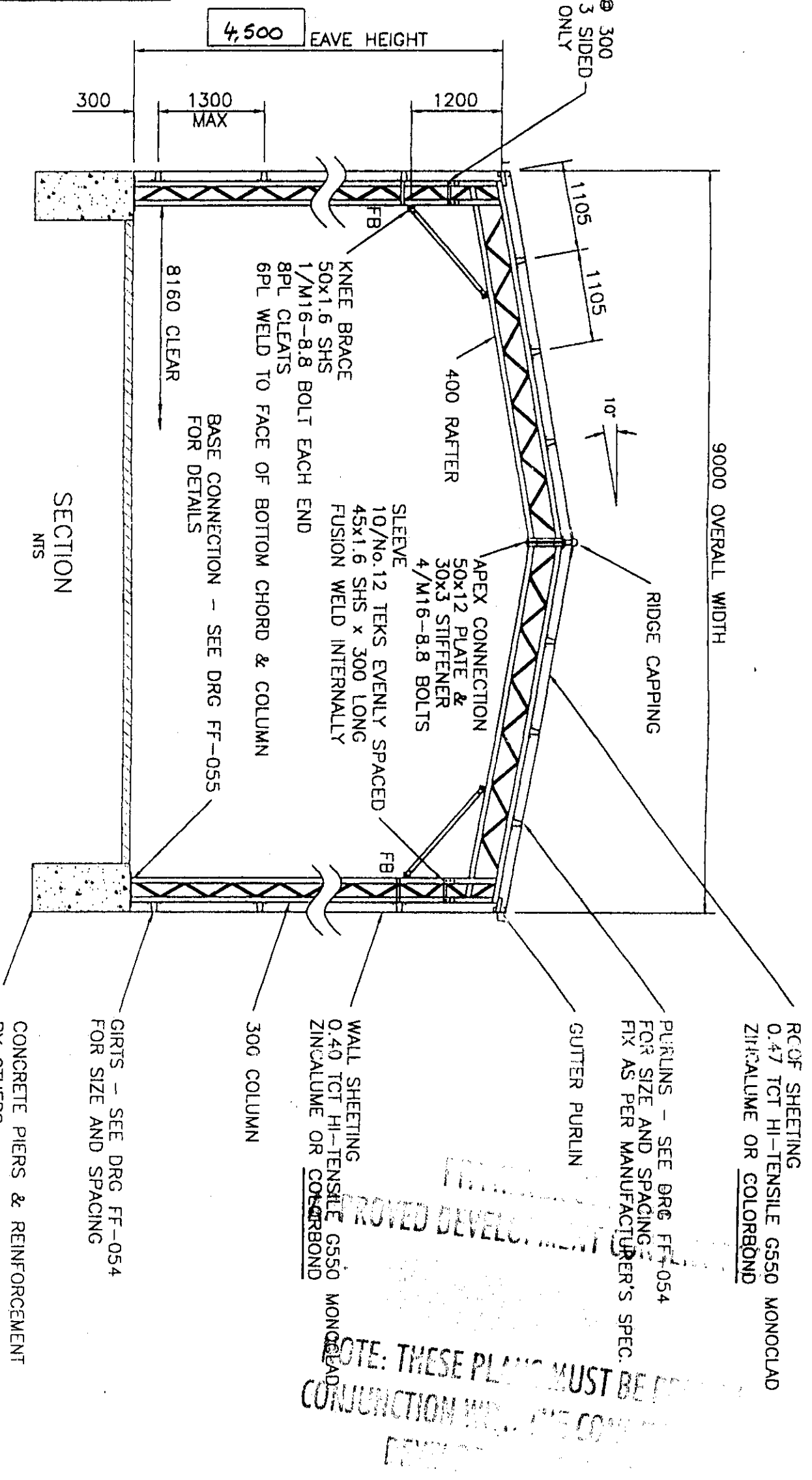
FF-01-0 *



TRI-STEEL INDUSTRIES
184/190 NORTH ROAD, WOODRIDGE QLD. 4114
Phone: 0011 61 07 4667 0222 Fax: 0011 61 07 4667 0333

FIFTY/FIFTY BUILDING
9m WIDE x 2.4-4.5m EAVE HEIGHT x 4.5-6.0m BAYS
W33, W41F & W41 CLASSIFICATION
FULLY ENCLOSED, 3 SIDED AND ROOF ONLY
FRAME DETAIL

3.0m TO 4.5m ONLY
STIFFEN UNCLAD COLUMNS USING
C10015 FIXED WITH No.12 TEKS @ 300
INSIDE AND OUTSIDE CHORD FOR 3 SIDED
OUTSIDE CHORD ONLY FOR ROOF ONLY



STRUCTURAL CERTIFICATION BY:

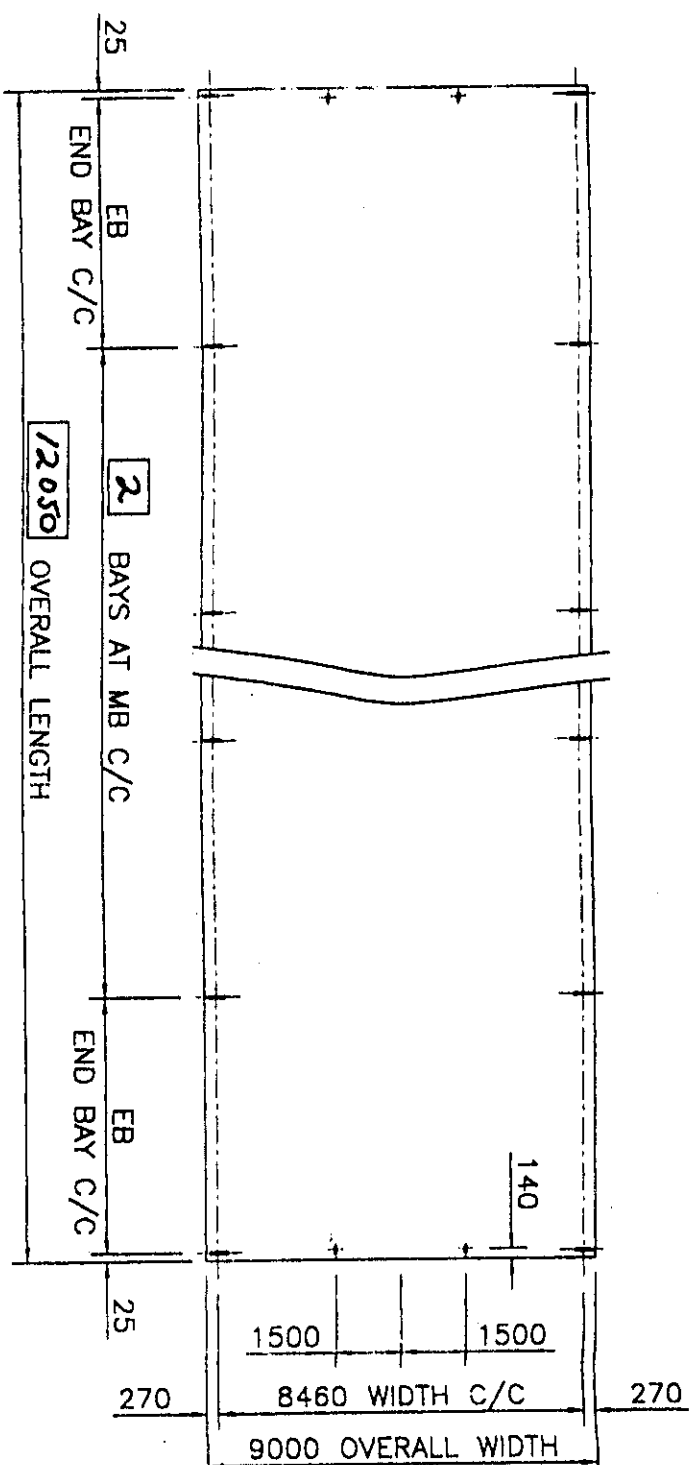
BARNSON
CONSULTING CIVIL, STRUCTURAL,
GEOTECHNICAL & ENVIRONMENTAL
ENGINEERS
215 MACQUARIE STREET, DOORNO NEW 2230
SIGNED: *[Signature]*
Richard J. Noohan
BE(Hons) MIEAust CPEng
NPER-3 No. 472694, RPEQ 5264
Date: 31 JUL 1998

BAY	CLASS	COLUMN		RAFTER	
		CHORDS	WEBS	CHORDS	WEBS
4500	W33	50x1.6 SHS	20x1.6 SHS	50x1.6 SHS	20x1.6 SHS
	W41F	50x1.6 SHS	20x1.6 SHS	50x1.6 SHS	20x1.6 SHS
	W41	50x1.6 SHS	20x1.6 SHS	50x1.6 SHS	20x1.6 SHS
	W33	50x1.6 SHS	20x1.6 SHS	50x1.6 SHS	20x1.6 SHS
6000	W41F				
	W41	N/A	N/A	N/A	N/A

ALL SHS TO BE GRADE 450

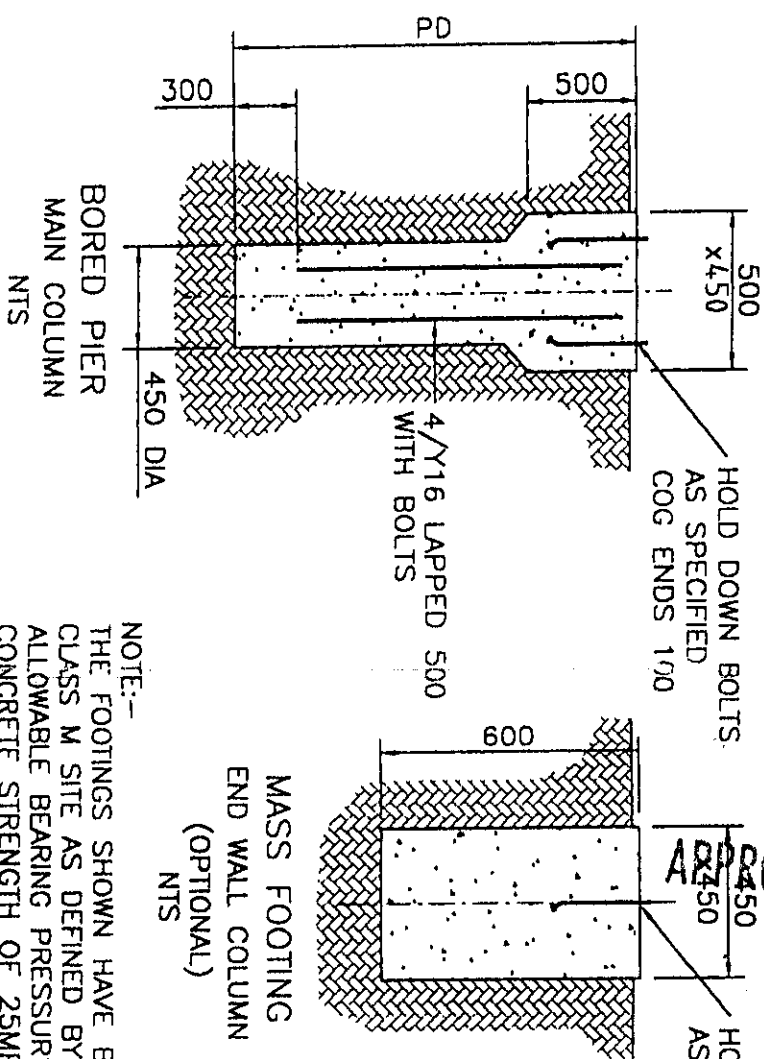
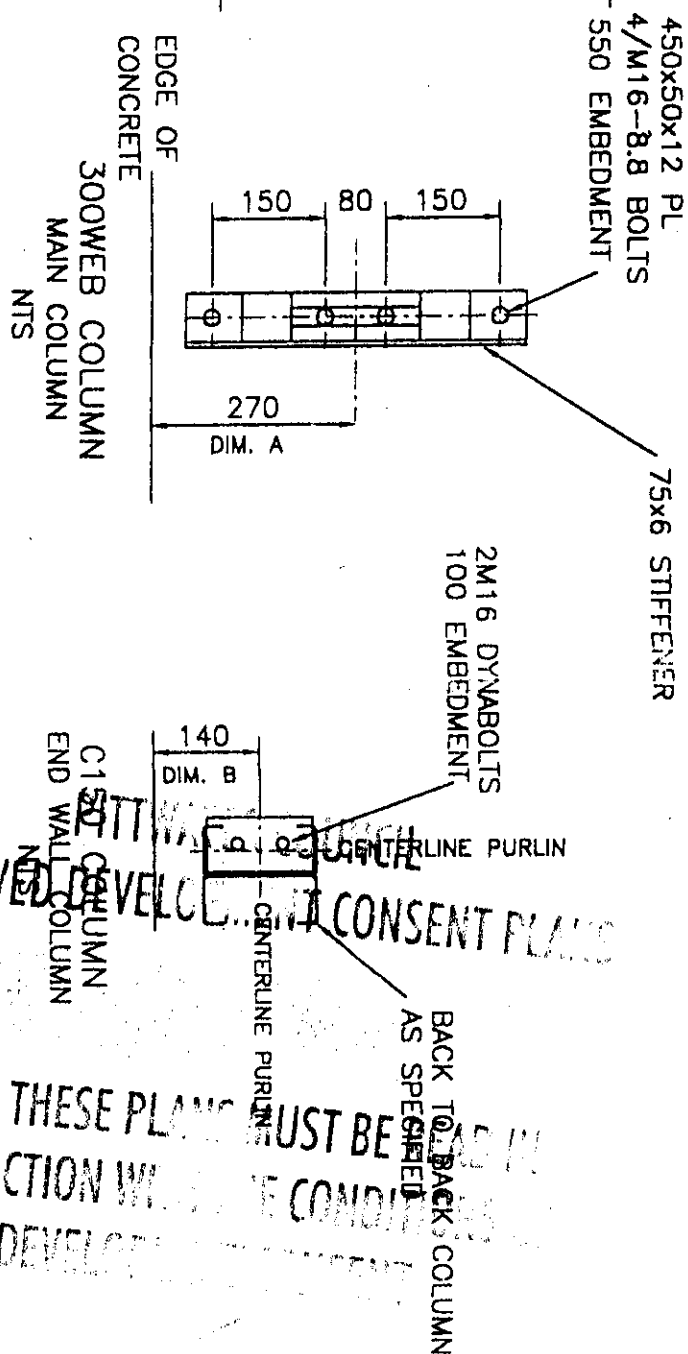
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FF-053-F *

NOTE: THESE PLANS MUST BE USED IN CONJUNCTION WITH THE COMPANY DEVELOPMENT



MIDDLE BAY	END BAY	CLASS.	PIER DEPTH
4500	4500	W33	
		W41F	
		W41	1500
<u>6000</u>	<u>6000</u>	W33	1500
		W41F	
		W41	N/A

FOOTING DIMENSIONS



NOTE:- THE FOOTINGS SHOWN HAVE BEEN DESIGNED FOR A CLASS M SITE AS DEFINED BY AS2870 WITH AN ALLOWABLE BEARING PRESSURE OF 100KPa AND CONCRETE STRENGTH OF 25MPa. SHOULD SITE CONDITIONS DIFFER FROM THIS, THE ADVICE OF A PROFESSIONAL ENGINEER SHOULD BE OBTAINED.

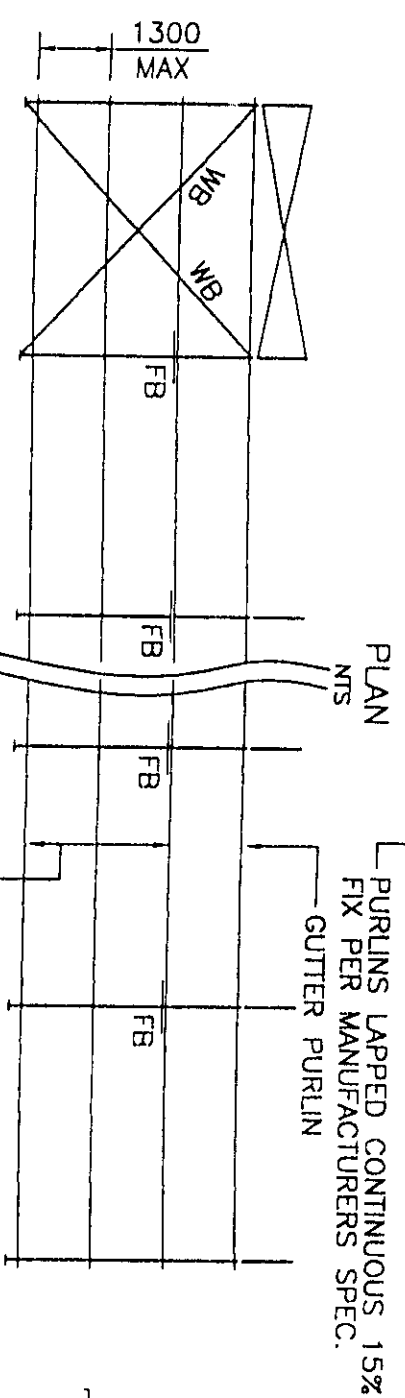
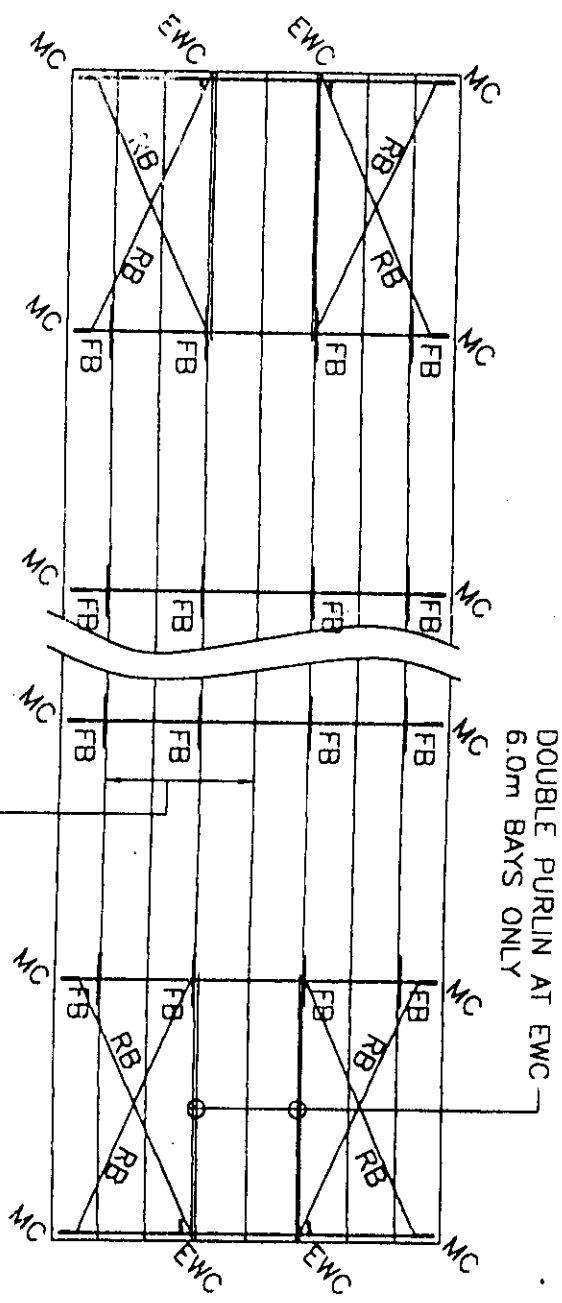
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Plot Scale 1:175
Org. No. FF-055-F *



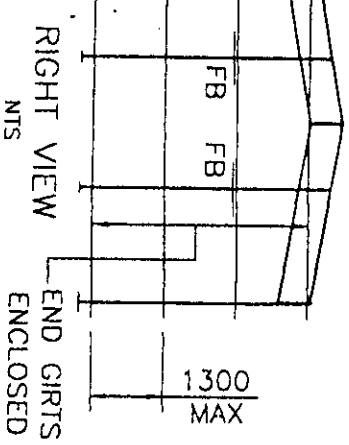
TRI-STEEL INDUSTRIES
184/190 NORTH ROAD, WOODRIDGE QLD. 4114
Phone: 0011 61 07 4667 0222 Fax: 0011 61 07 4667 0333

FIFTY-FIFTY BUILDING
9m WIDE x 2.4-4.5m EAVE HEIGHT x 4.5-6.0m BAYS
W33, W41F & W41 CLASSIFICATION
FULLY ENCLOSED, 3 SIDED AND ROOF ONLY
PURLIN AND GIRT LAYOUT AND MISCELLANEOUS DETAILS

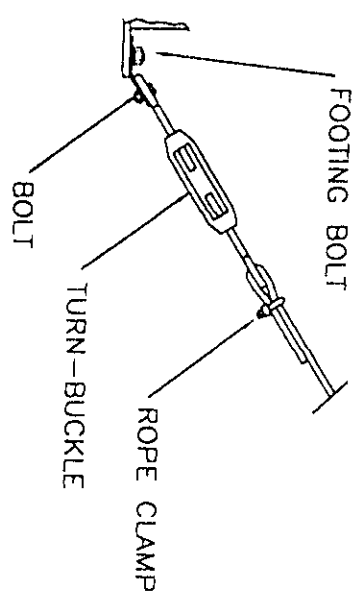


BRACING LOCATION

No. OF BAYS	BRACING
1-4	1 END
5-10	BOTH ENDS
11-20	MID & BOTH ENDS



RIGHT VIEW
NTS
ENCLOSED WALL ONLY

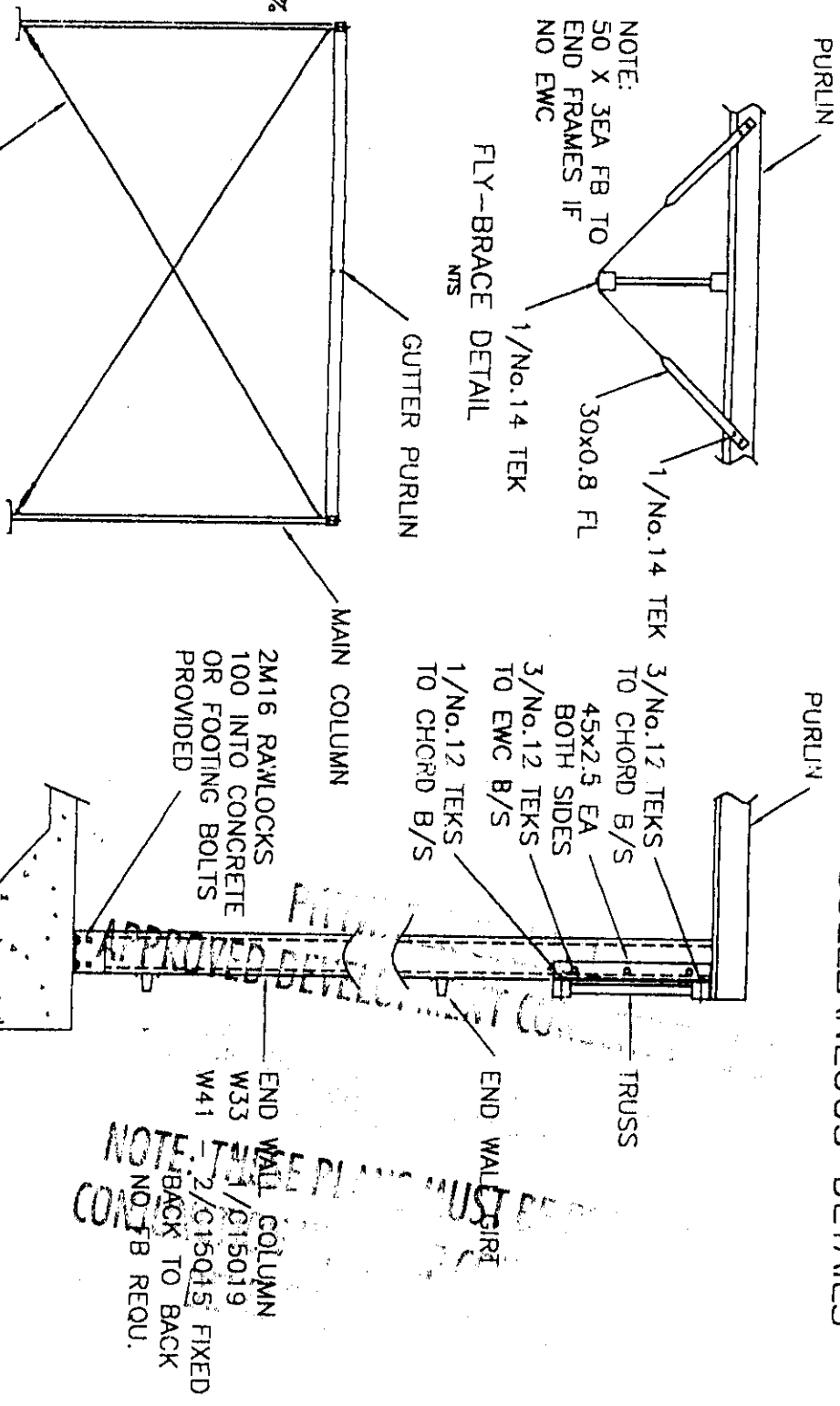


BRACING DETAIL
NTS

BAY	CLASS.	ROOF PURLINS	SIDE GIRTS	END GIRTS	GUTTER PURLIN
4500	W33	TS12090	TS12090	TS6410	C15015
	W41F	TS12090	TS12090	TS6410	C15015
	W41	TS12090	TS12090	TS6410	C15015
	W33	TS12090	TS12090	TS6410	C15015
6000	W41F				
	W41	N/A	N/A	N/A	N/A

WALL BRACE DETAIL
NTS

END WALL COLUMN
NTS
600x600x300 DEEP
MINIMUM SLAB THICKENING



NOTE:
50 X 3EA FB TO
END FRAMES IF
NO EWC
1/No.14 TEK
30x0.8 FL
1/No.14 TEK
3/No.12 TEKS
TO CHORD B/S
45x2.5 EA
BOTH SIDES
3/No.12 TEKS
TO EWC B/S
1/No.12 TEKS
TO CHORD B/S

NOTE: THE PLAN MUST BE
CONSIDERED FOR
NO.7B REQU.

STRUCTURAL CERTIFICATION BY:

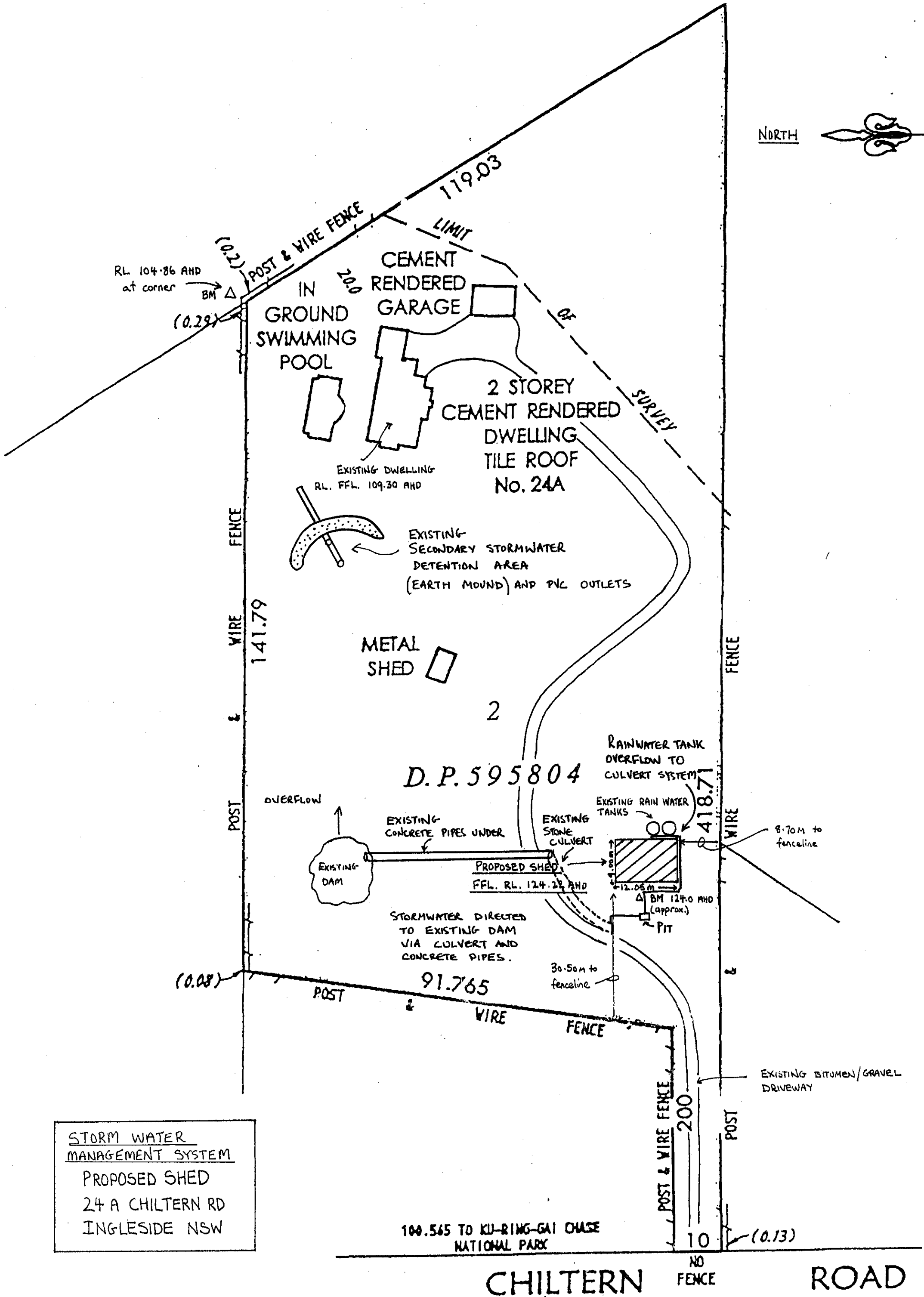
BARNSON

CONSULTING CIVIL, STRUCTURAL,
GEOTECHNICAL & ENVIRONMENTAL
ENGINEERS
215 WOODRIDGE STREET, WOODRIDGE QLD 4114
SIGNED: *Richard J. Nooyan*
Richard J. Nooyan
BE(Structural) M(Eng) CPEng
NPER-3 No. 47269+, RPEQ 5264
Date: 31 JUL 1998

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FF-054-E *

NORTH



STORM WATER MANAGEMENT SYSTEM

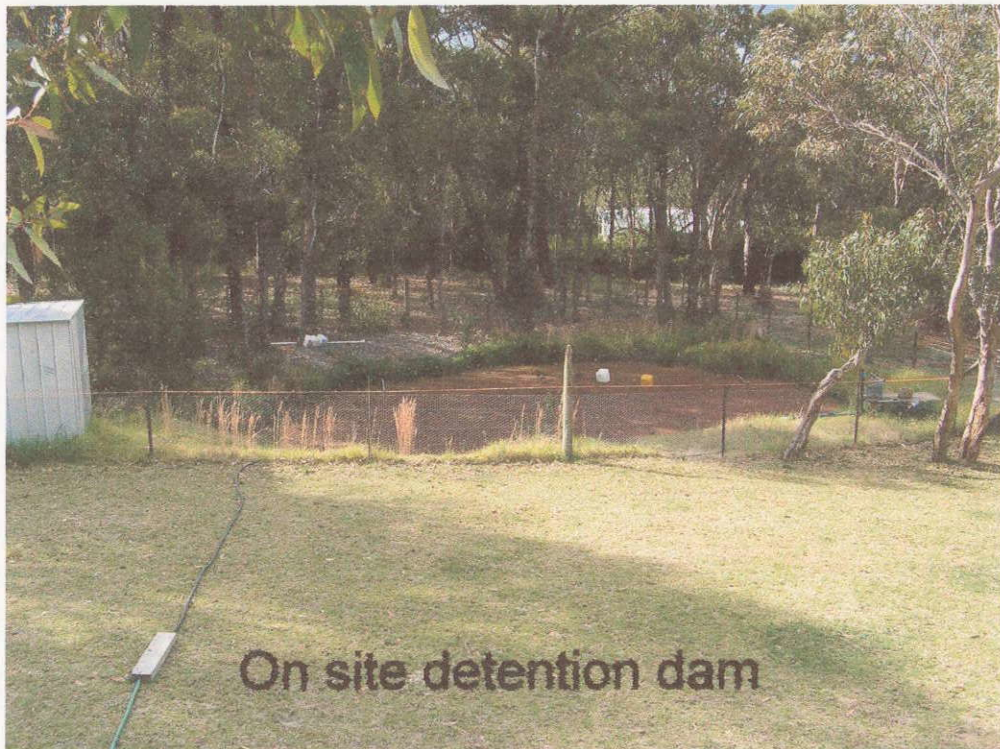
PROPOSED SHED
24 A CHILTERN RD
INGLESIDE NSW



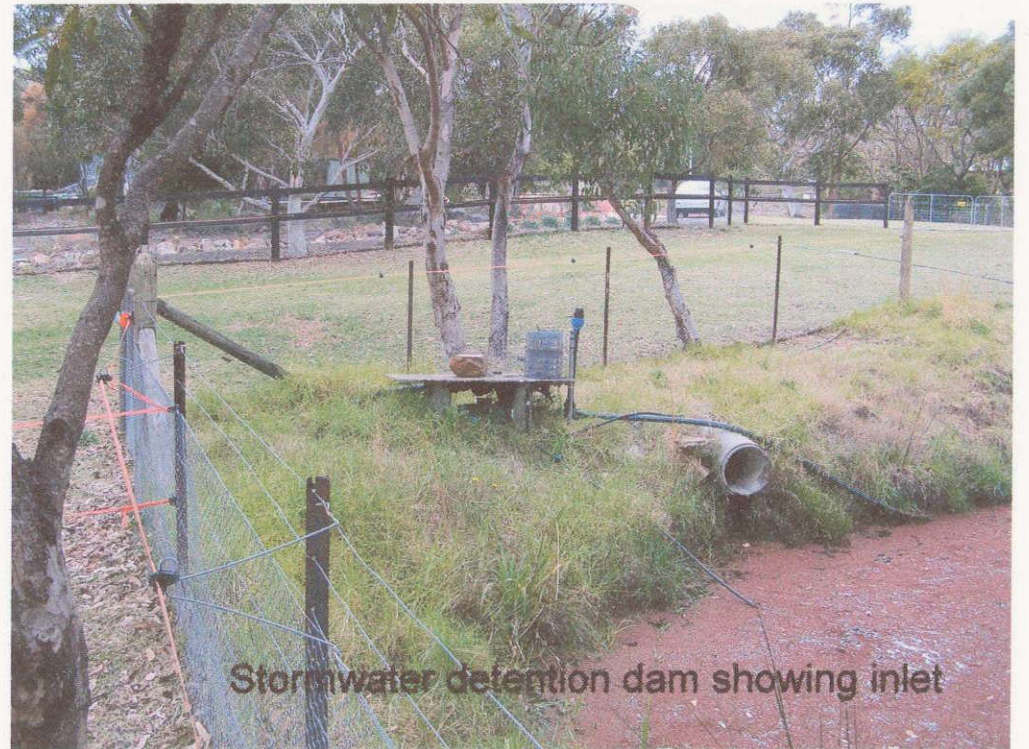
Existing tanks to be used as rainwater tanks



Stone lined drainage culvert to dam



On site detention dam



Stormwater detention dam showing inlet





DAVID WILLIAM MARSHALL
24 A CHILTERN RD
INGLESIDE 2101

HOME BUILDING ACT 1989
OWNER BUILDER PERMIT

Permit :297671P
Receipt:AA2114207

Issued:12/08/2005
Amount:\$132.00

Building Site:

24 A CHILTERN ROAD, INGLESIDE 2101

Authorised Building Work:

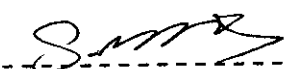
DA N0279/05 KIT FORM SHED, STEEL FRAME & ROOF

ISSUED BY PITTWATER COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$12,000. A certificate of insurance must be attached to any contract for sale.

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met at presentation.



Issuing Officer

***** END OF PERMIT *****



Application Lodgement Summary

Sydney
WATER

Reference Number 1442967

Date Requested: Wed August 31 2005

Agent Reece Mona Vale, 10 Taronga Pl Mona Vale
Applicant Dw Marshall Lk Marshall, Lot 2 Chiltern Rd Ingleside 2101
Property/Asset Lot 2 Chiltern Rd, Ingleside 2101 (Dw Marshall Lk Marshall) PNum: 3407685
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50

**Construction Certificate Application
Consent No. 0279/05 - Erection of a Rural Shed**

David and Lisa Marshall
24 A Chiltern Rd.
INGLESIDE NSW 2103
Phone 9997 7080

Site Detention and Stormwater Management System Details.

Our property located at Ingleside has no town water supply. The management of rainwater and stormwater in an efficient manner is of utmost importance to us.

The property has a number of existing stormwater and detention systems that we plan to utilise as part of the new development.

The attached drawing titled STORMWATER MANAGEMENT SYSTEMS shows the extent of existing features and the additional reticulation to be installed.

1/.. Rainwater that falls onto the roof of the new development will be directed to the 2 (two) existing water tanks adjacent to the site. These tanks each have a capacity of 10,000 litres giving a total of 20,000 litres storage. This exceeds the requirements of Consent item Part B 1. These tanks are shown on the attached photograph titled *Existing tanks to be used as rainwater tanks*.

2/.. Any overflow from the rainwater tanks will be directed to the existing dam via a system of pipework and stone lined drainage culverts. This system is shown on the attached photographs *Stone lined drainage culvert to dam, on site detention dam, and Stormwater detention dam showing inlet*. In addition to the dam, there is a secondary detention area as part of the management system. This is shown on the photographs marked *Secondary detention area* and *Secondary detention area detail 1*. Together the detention capacity of the dam and secondary area is estimated in excess of 50,000 litres. This satisfies Consent item Parts B 2. and B 3.