

DA SUBMISSION

Proposed New Two Storey Dwelling with In-Ground Pool
& Cabana Located At: Lot 34 in DP 6171
No.156 Wyadra Avenue, North Manly. NSW

NSW

Building Sustainability Index

www.planningportal.nsw.gov.au/development-and-assessment/basix

Single Dwelling

Certificate number: 18017385_04

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. If it is built in accordance with the commitments set out below, Terms issued in this certificate, or in the commitments, have meaning given by the document entitled BASIX Definitions dated 10/01/2020 published by the Department. This document is available at [www.development.nsw.gov.au/definitions](#)

This certificate is a revision of certificate number 18017385_03 submitted to the consent authority or certified on 12 September 2025 with application PAM-071900.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environment Planning and Assessment Regulation 2000

Secretary
Date of issue: Monday, 03 November 2025
To be able, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.

NSW

When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NattHERS certificate SKY-2ND5R9WU-03.

Project summary

Project name	Lot 34, 156 Wyakra Avenue, 04		
Street address	156 WYAKRA AVENUE NORTH MANLY 2100		
Local Government Area	Northern Beaches Council		
Plan type and plan number	Deposited Plan DP6171		
Lot no	34		
Section no	8		
Project type	dwelling house (detached)		
No. of bedrooms	5		
Project score			
Water	✓ 40	Target 40	
Thermal Performance	✓ Pass	Target Pass	
Energy	✓ 77	Target 72	
Materials	✓ >100	Target n/a	

Certificate Prepared by

Name / Company Name	EFFICIENT HABITAT PTY LTD		
ABN (if applicable)	15051874198		

Project address

Project name	Lot 34, 156 Wyakra Avenue, 04		
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Plan type and plan number	Deposited Plan DP6171		
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Section no	8		

Assessor details and thermal loads

NattHERS assessor number	101591		
NattHERS certificate number	SKY-WD69WU-03		
Climate zone	56		
Area adjusted cooling load (MJ/m ² /year)	15		
Area adjusted heating load (MJ/m ² /year)	15		

Project score

Water	✓ 40	Target 40	
Thermal Performance	✓ Pass	Target Pass	
Energy	✓ 77	Target 72	
Materials	✓ >100	Target n/a	

Site details

Site area (m ²)	657		
Roof area (m ²)	247		
Conditioned floor area (m ²)	258.9		
Unconditioned floor area (m ²)	25.7		
Total area of garden and lawn (m ²)	295		
Roof area of the existing dwelling (m ²)	0		

Water Commitments

	Show on DA plans	Show on CCDCD plans & specs	Certifier check
or at least one outdoor tap in the development <i>Note: NDIS results does not recommend that rainwater be used for human consumption in areas with potable water supply</i>		✓	✓
Swimming Pool			
The swimming pool must not have a volume greater than 21.4 kilolitres.	✓	✓	
The swimming pool must be outdoors.	✓	✓	

Thermal Performance and Materials commitments

	Show on DA plans	Show on CCDCD plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development or the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Usage" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all materials which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or a complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.			
The applicant must show on the plans accompanying the development application for the proposed development, the location of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or a complying development certificate, if applicable), the location of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

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Water Commitments

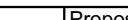
TBC

TBC

AS 1288 Glazing
AS 1684.4 Timber Framing
AS 1728.1 Timber Structures Code
AS 2857 Termite Protection
AS 2878.1 Residential Slabs & Footings
AS 3500 National Plumbing & Drainage
AS 3600 Concrete Structures
AS 3700 Masonry in Buildings
AS 3786 Smoke Alarms
AS 4100 Steel Structures
AS 3740 Wet Area Category 2 Areas (adjacent showers)
NCC 2022 Cl 10.2.1 - 10.2.6 Category 1 Areas (Showers)

			17	Pool Plans & Details
			12-16	Electrical Plans
			11	Slab Plan
			10	Sedimentaion & Waste Plan
			9	Site Analysis/Shadow Diagrams
			8	Elevations
			7	Elevations
			6	Caban Plans
			5	Roof Plan & Section A-A
			4	First Floor Plan
			3	Ground Floor Plan
			2	Site Plan
6	07.10.25	DA Submission	1	Cover Sheet
Rev	Date	Amendment	Sheet	Description

A detailed architectural perspective drawing of a modern, two-story building. The building features a prominent, thick, textured concrete or stone-like facade. Large, rectangular windows with vertical blinds are visible on the upper floor, while the ground floor has large, rounded, oval-shaped windows. The building is situated on a flat, light-colored surface, possibly a sidewalk or plaza, with a simple line drawing of a street or road in the foreground. The overall style is clean and professional, typical of architectural renderings.

 JR Design & Drafting Residential Design & Drafting Services Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003 Email: jr.design.drafting@gmail.com Address: Suite 304 No. 447 Victoria Street, Welhelink Park, NSW 2168	Issue	Amendment	Date:			North: Copyright: This plan is the exclusive property of IMSU Homes, and must not be used, reproduced or copied wholly in any way without permission	Proposed:	Drawing Title:	Revision:
	6	DA Submission	07.10.25				New Two Storey Dwelling Location: Lot 34 in DP 6171 No.156 Wyadra Avenue, North Manly, NSW Client: Moosavian Mahdavi	Cover Page / Basix Requirements L.G.A Northern Beaches Council Facade : 1:58.5 Date : 07.10.25 Scale : 1:3.67 Sheet 1 of 17	6 Design: CUSTOM TC Job No: 8120 JR Job No: IH2501

LEGEND:

PROPOSED DRIVEWAY

PRINCIPAL PRIVATE OPEN SPACE

PROPOSED DWELLING

ALL WEATHER ACCESS CROSSING
BLUE METAL OR EQUIVALENT

CONSTRUCTION STORAGE
BIN/AREA

SITE BENCHING NOTE:

FINISHED GROUND LEVELS ARE TO BE +/- 100MM FROM
NOMINATED LEVEL, SUBJECT TO MAXIMUM DRIVEWAY
GRADIENTS & FLOOD RELATED DEVELOPMENTS

BEFORE ENTERING SITE

Before entering site please review and make yourself
familiar with Emergency Contacts. Site Specific Hazards
and the Site Specific Induction information that is located
on the Site Induction Sign. If you have any trouble
understanding this instruction, contact the Site Supervisor
or Emergency Contact Number located on the sign.

CONSTRUCTION NOTES:

1. Figured dimensions are to be taken in preference to scaling

2. No allowance has been made for shrinkage or milling

3. All Levels shown are approximate and should be verified on site during construction

4. Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.

5. Dimensions are to be verified on site by builder before the commencement of work

6. All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.

7. Refer to the builders scope of works for inclusions & exclusions

8. All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.

9. All service positions, air conditioning droppers, outlets, return air grills, manholes and bulkheads to be determined on site at supervisor / contractors discretion

10. All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.

11. Termite protection in accordance with Australian Standards

12. Refer to Basix Certificate for energy, water & thermal requirements

14. All 1st floor windows with a sill height less than 1700mm to have a max opening width of 125mm

15. Final Construction Joints, steel posts & Beams, Floor Joist to structural engineer plans

16. Meter Box, Gas Meter to be confirmed with Builder on site.

17. Downpipes to be confirmed with plumber on site.

18. All Dimensions are structural dimensions and do not account for coverings and finishes.

SEDIMENT CONTROL NOTES:

1. ALL EROSION & SEDIMENT CONTROL MEASURES, INCLUDING REVEGETATION & STORAGE OF SOIL & TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED & STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.

4. ALL SEDIMENT BASINS & TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

6. SOIL & TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES & AREA WHERE WATER MAY CONCENTRATE.

7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POSTS AT 2.0M CENTRES.

8. REFER TO PROPOSED SEDIMENT FENCE DETAIL.

D.A

LODGEMENT

LANDSCAPE AREA	
SITE AREA	696.50m ²
MIN. REQUIRED 40% Site Area	278.60m ²
PROPOSED LANDSCAPE AREA	295.20m ²

PRIVATE OPEN SPACE	
REQUIRED:	60.00m ²
PROPOSED AREA	264.00m ²
MINIMUM 5.0M X 5.0M	YES
	PRINCIPAL PRIVATE OPEN SPACE

DRIVEWAY / PATHWAY AREAS	
DRIVEWAY CROSSOVER AREA:	TBC
DRIVEWAY AREA:	TBC
PATHWAY AREA:	N/A

COMPLIANCE TABLE		
WARRINGAH DEVELOPMENT CONTROL PLAN 2011		
CRITERIA	ALLOWED/ REQUIRED	PROPOSED
FRONT SETBACK:	6.5M	6.502M
ARTICULATION ZONE:	6.5M	6.502M
GARAGE SETBACK:	6.5M	8.103M
REAR SETBACK:	6.0M	17.329M
GF SIDE SETBACK (A):	0.9M	0.91M
FF SIDE SETBACK (A):	1.5M	1.025M
SECONDARY FRNTONAGE:	3.5M	3.5M
BUILDING HEIGHT:	8.5M	TBC
CAR PARKING SPACES:	2 SPACES	2 SPACES
DRIVEWAY WIDTH:	4.5M	EXISTING

www.dialbeforeyoudig.com.au

DIAL1100
BEFORE YOU DIG

1,500

Pool Section

scale 1:200

3

4

2

1

Elevation
Markers

Garage

Boundary

12.5%

12.9%

12.5%

RL Proposed

Distance

8,100

6,100

2,000

0

2,000

4,100

2,000

Proposed Site Plan

scale 1:200

WYADRA AVENUE

Driveway Profile

scale 1:200

JR Design & Drafting

Residential Design & Drafting Services

Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003

Email: jr.design.drafting@gmail.com

Address: Suite 304 No. 447 Victoria Street, Wetherill Park, NSW 2164

Issue

Amendment

Date:

6

DA Submission

07.10.25

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7. Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.

IMSU

North:

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property of IMSU Homes, and
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copied wholly in any way without
permission

Proposed:

New Two Storey Dwelling

Location:

Lot 34 in DP 6171 No.156
Wyadra Avenue, North Manly, NSW

Client:

Moosavian Mahdavi

Drawing Title:

Proposed Site Plan

L.G.A

Northern Beaches Council

Facade :

CUSTOM

Date

07.10.25

Scale

1:200

Sheet

2 of 17

Revision:

6

Design:

CUSTOM

TC Job No:

8120

JR Job No:

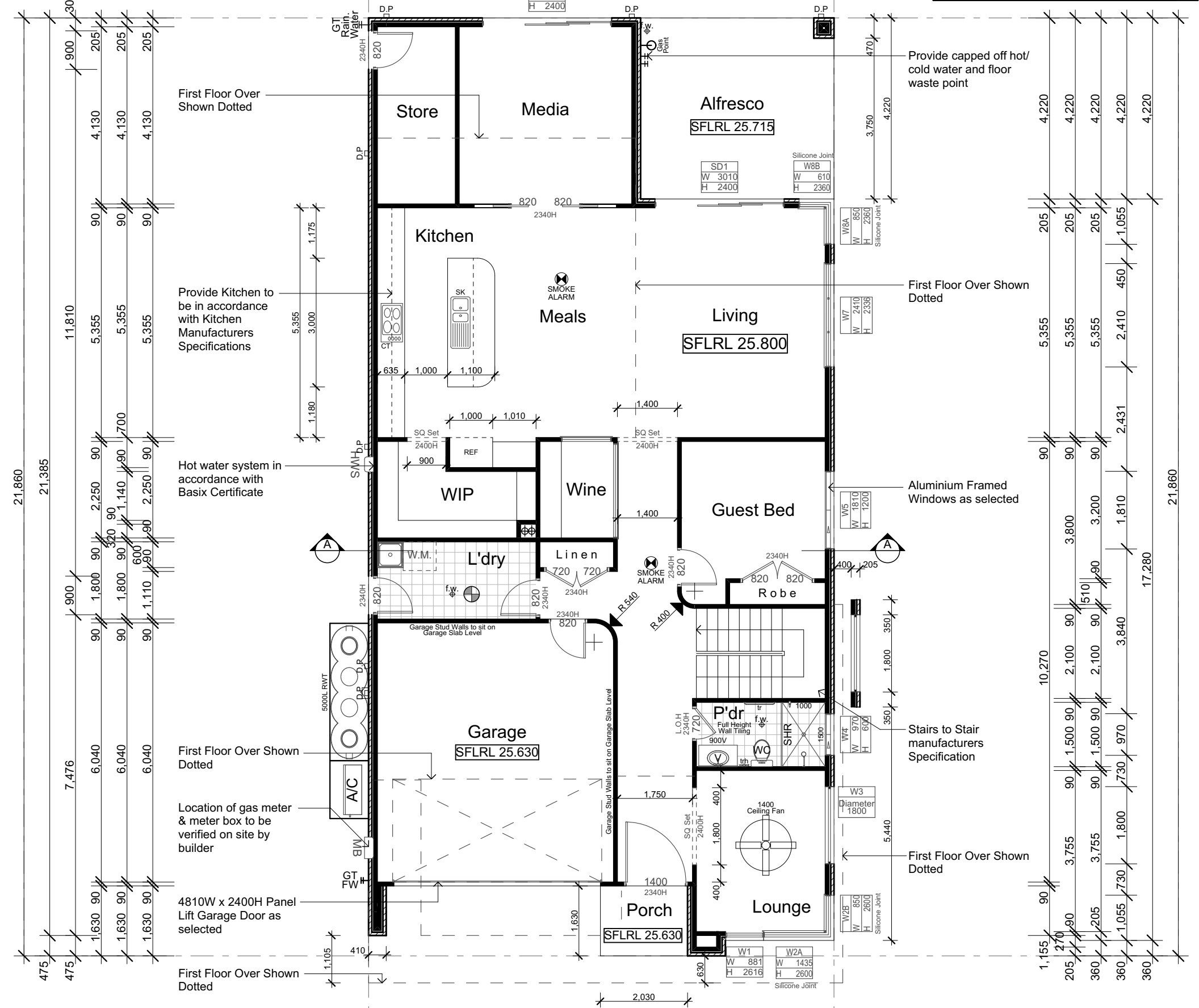
IH2501

CONSTRUCTION NOTES:

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12. Refer to Basix Certificate for energy, water & thermal requirements
14. All 1st floor windows with a sill height less than 1700mm to have a max opening width of 125mm
15. Final Construction Joints, steel posts & Beams, Floor Joist to structural engineer plans
16. Meter Box, Gas Meter to be confirmed with Builder on site.
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All Wet Area Waterproofing to be constructed in accordance with AS3740:2021

HOUSE AREAS	
Ground Floor Living Area:	169.02m ²
First Floor Living Area:	185.28m ²
Garage:	37.31m ²
Alfresco:	19.01m ²
Porch:	2.55m ²
Cabana:	25.00m ²
Total Area:	438.17m ² 47.11sq



Ground Floor Plan

205	3,695	90	1,715	90	1,400	90	1,035	90	2,225	205
205	5,500			90	1,840				3,000	205
205	5,500			90	1,750	90			3,000	205
410		7,020				205			3,000	205
410	180	4,810		550	1,480	880	890		1,640	
410		7,020				880			2,530	
410		4,990			2,030	880			2,530	
				10,840						

●	legend:			●	
●	NGL	=	Natural Ground Line	●	shr
●				●	= Shower Recess
●	SM	=	Smoke Detectors	●	BIR
●				●	= Built in Wardrobes
●	dp	=	Downpipe, unless	●	Lin
●			noted otherwise	●	= Linen Cupboard
●	rd	=	Roller Door	●	WIR
●				●	= Walk in Robe
●	pld	=	Panel Lift Door	●	CJ
●				●	= Control Joints
●	sink	=	1200mm Kitchen Sink	●	SCLRL
●				●	= Structural Ceiling
●	hp	=	Hot Plate	●	Level RL
●				●	SFLRL
●	st	=	Hot Plate with Under	●	= Structural Floor Level RL
●			Bench Oven	●	W4
●	wo	=	Wall Oven	●	= Window Numbers
●				●	HWS
●	rh	=	Range Hood	●	= Hot Water System
●				●	MB
●	ref	=	Refridgerator Space	●	= Meter Box
●				●	GM
●	oh	=	Overhead Cupboard	●	= Gas Meter
●				●	A/C
●	p	=	Pantry	●	= Air conditioning Unit
●				●	
●	tub	=	Laundry Tub (single 45	●	= Mechanical Ventilation
●			litre bowl)	●	v
●	wm	=	Washing machine space	●	= Vanity
●				●	
●	wc	=	Toilet Suite		

 JR Design & Drafting Residential Design & Drafting Services Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003 Email: jr.design.drafting@gmail.com Address: Suite 304 No. 447 Victoria Street, Wetherill Park, NSW 2164	Issue	Amendment	Date:	IMSU		Proposed: New Two Storey Dwelling Location: Lot 34 in DP 6171 No.156 Wyadra Avenue, North Manly, NSW	Drawing Title:		Revision:
	6	DA Submission	07.10.25				Ground Floor Plan		6
							L.G.A		Design:
							Northern Beaches Council		CUSTOM
							Client:	TC Job No:	
							Moosavian Mahdavi	8120	
							Facade :	Date	JR Job No:
							CUSTOM	07.10.25	IH2501
							Scale	Sheet	
							1:100	3 of 17	

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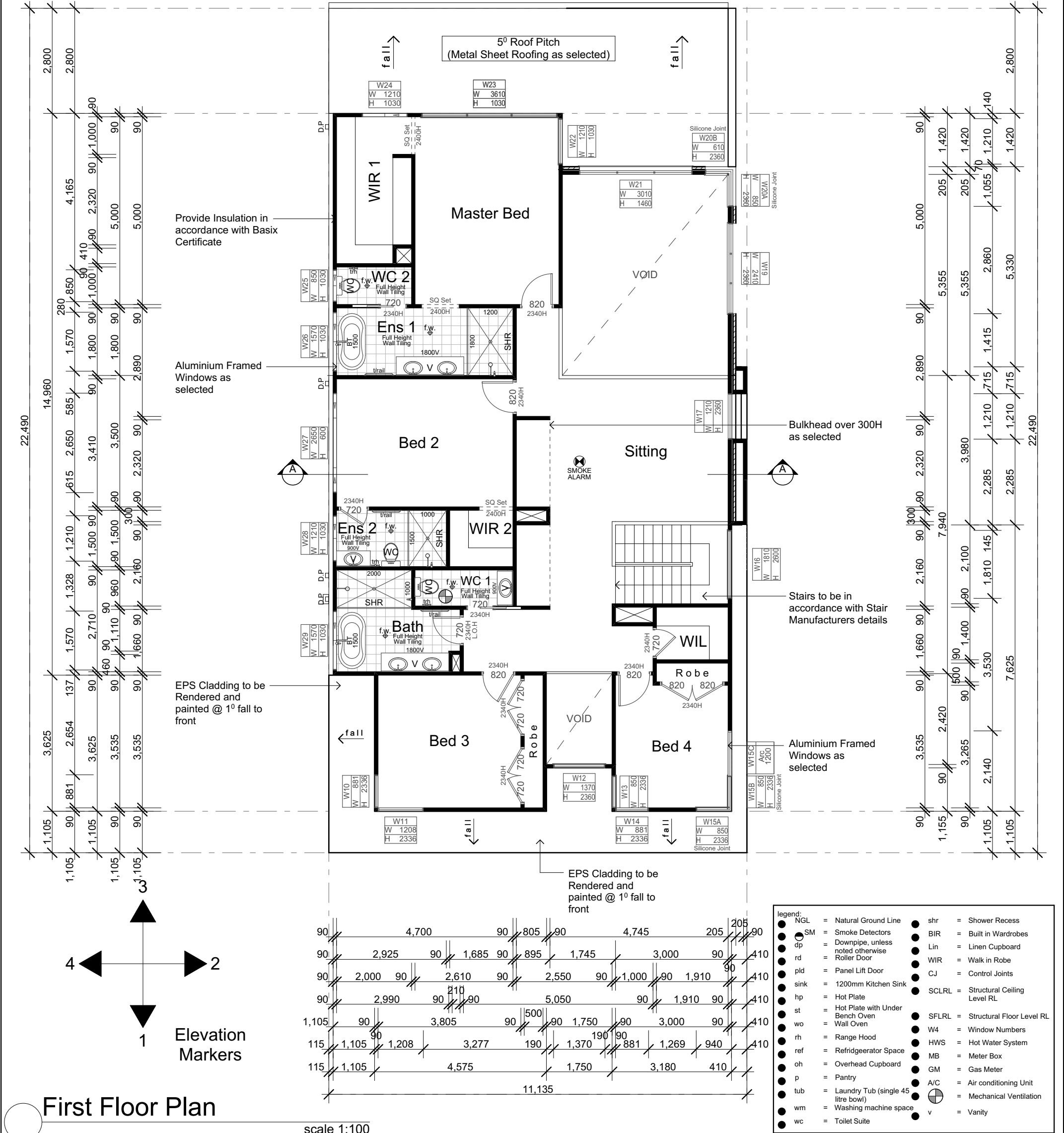
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Legend:	
● NGL	= Natural Ground Line
● SM	= Smoke Detectors
● dp	= Downpipe, unless noted otherwise
● rd	= Roller Door
● pld	= Panel Lift Door
● sink	= 1200mm Kitchen Sink
● hp	= Hot Plate
● st	= Hot Plate with Under
● wo	= Wall Oven
● rh	= Range Hood
● ref	= Refrigerator Space
● oh	= Overhead Cupboard
● p	= Pantry
● tub	= Laundry Tub (single 45 litre bowl)
● wm	= Washing machine space
● wc	= Toilet Suite
● shr	= Shower Recess
● BIR	= Built in Wardrobes
● Lin	= Linen Cupboard
● WIR	= Walk in Robe
● CJ	= Control Joints
● SCLRL	= Structural Ceiling Level RL
● SFLRL	= Structural Floor Level RL
● W4	= Window Numbers
● HWS	= Hot Water System
● MB	= Meter Box
● GM	= Gas Meter
● A/C	= Air conditioning Unit
● v	= Vanity

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Moosavian Mahdavi

Drawing Title:

First Floor Plan

L.G.A

Northern Beaches Council

Facade :

CUSTOM

Date

07.10.25

Scale

1:100

Sheet

4 of 17

Revision:

6

Design:

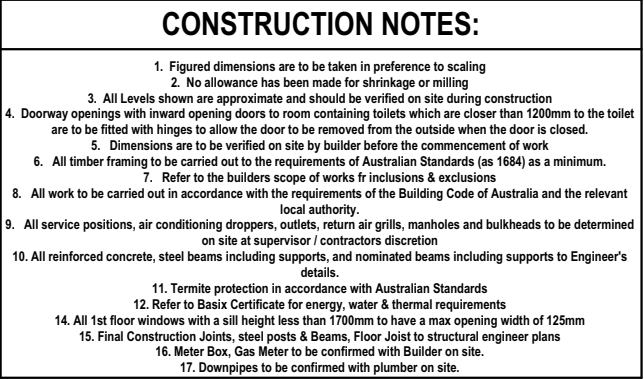
CUSTOM

TC Job No:

8120

JR Job No:

IH2501



ROOF VENTILATION REQUIREMENTS	
No. of Eave Vents Required	Number of High Roof Vents Required
4	2
0	0
0	0
For compliance with Part 10.8 of NCC 2022	

**All Wet Area
Waterproofing to be
constructed in
accordance with
AS3740:2021**

LEGEND:

<u>f</u> all	-	DIRECTION OF FALL
	-	PROPOSED ROOF
E	-	EAVES LINE
R	-	RIDGE
H	-	HIP
V	-	VALLEY

Provide Pliable Membrane to all cladded walls.
To have a vapour permeance of no less than 1.14ug/N.s in accordance with NCC 2022
BCA Volume 2 Housing Provisions 10.8.1(2)(b)

Provide Eave vents to achieve a minimum of 7000mm²/m of roof ventilation at the eaves in accordance with NCC 2022 BCA Volume 2 Housing Provisions 10.8.3(1)(c) and Table 10.8.3.

Provide Roof Ventilator to achieve a minimum of 5000mm²/m of roof ventilation at a high level as required by the NCC 2022 BCA Volume 2 Housing Provisions 10.8.3(1)(c) and Table 10.8.3.

Ceiling installation to be installed so that there is a minimum gap of 20mm between insulation and sarking to comply with NCC 2022 BCA Volume 2 Housing Provisions 10.8.3(1)(b) and Explanatory Figure 10.8.3.

Window Schedule

WINDOW NUMBER	HEIGHT (mm)	WIDTH (mm)	COMMENT	REVEAL
W1	2616	881	Aluminium Louvre	138mm
W2A	2600	1435	Aluminium Fixed Corner	138mm
W2B	2600	850	Aluminium Fixed Corner	138mm
W3	1800 Diamater Round Window			138mm
W4	600	970	Aluminium Sliding Obscure	138mm
W5	1200	1810	Aluminium Sliding	138mm
W6	Window has been removed			
W7	2336	2410	Aluminium Louvre	138mm
W8A	2360	850	Aluminium Fixed Corner	138mm
W8B	2360	610	Aluminium Fixed Corner	138mm
W9	Window has been removed			
W10	2336	881	Aluminium Louvre	138mm
W11	2336	1208	Aluminium Louvre	138mm
W12	2360	1370	Aluminium Sliding Obscure	138mm
W13	2336	850	Aluminium Louvre	138mm
W14	2336	881	Aluminium Louvre	138mm
W15A	2336	850	Aluminium Fixed	138mm
W15B	2336	850	Aluminium Fixed	138mm
W15C	2336	1200	Aluminium Semi Round	138mm
W16	2600	1810	Aluminium Fixed	138mm
W17	2360	1210	Aluminium Awning	138mm
W18	Window has been removed			
W19	2360	2410	Aluminium Fixed	138mm
W20A	2360	850	Aluminium Fixed Corner	138mm
W20B	2360	610	Aluminium Fixed Corner	138mm
W21	1460	3010	Aluminium Fixed	138mm
W22	1030	1210	Aluminium Fixed	138mm
W23	1030	3610	Aluminium Awning	138mm
W24	1030	1210	Aluminium Awning	138mm
W25	1030	850	Aluminium Sliding Obscure	138mm
W26	1030	1570	Aluminium Sliding	138mm
W27	600	2650	Aluminium Sliding	138mm
W28	1030	1210	Aluminium Sliding Obscure	138mm
W29	1030	1570	Aluminium Sliding Obscure	138mm
W30	860	610	Aluminium Sliding Obscure	138mm
SD1	2400	3010	Aluminium Stacker Sliding Door	138mm
SD2	2400	3010	Aluminium Stacker Sliding Door	138mm

Note: * All Windows are to Standard Windows Spec.

* All Windows to be counted & checked
Before Ordering

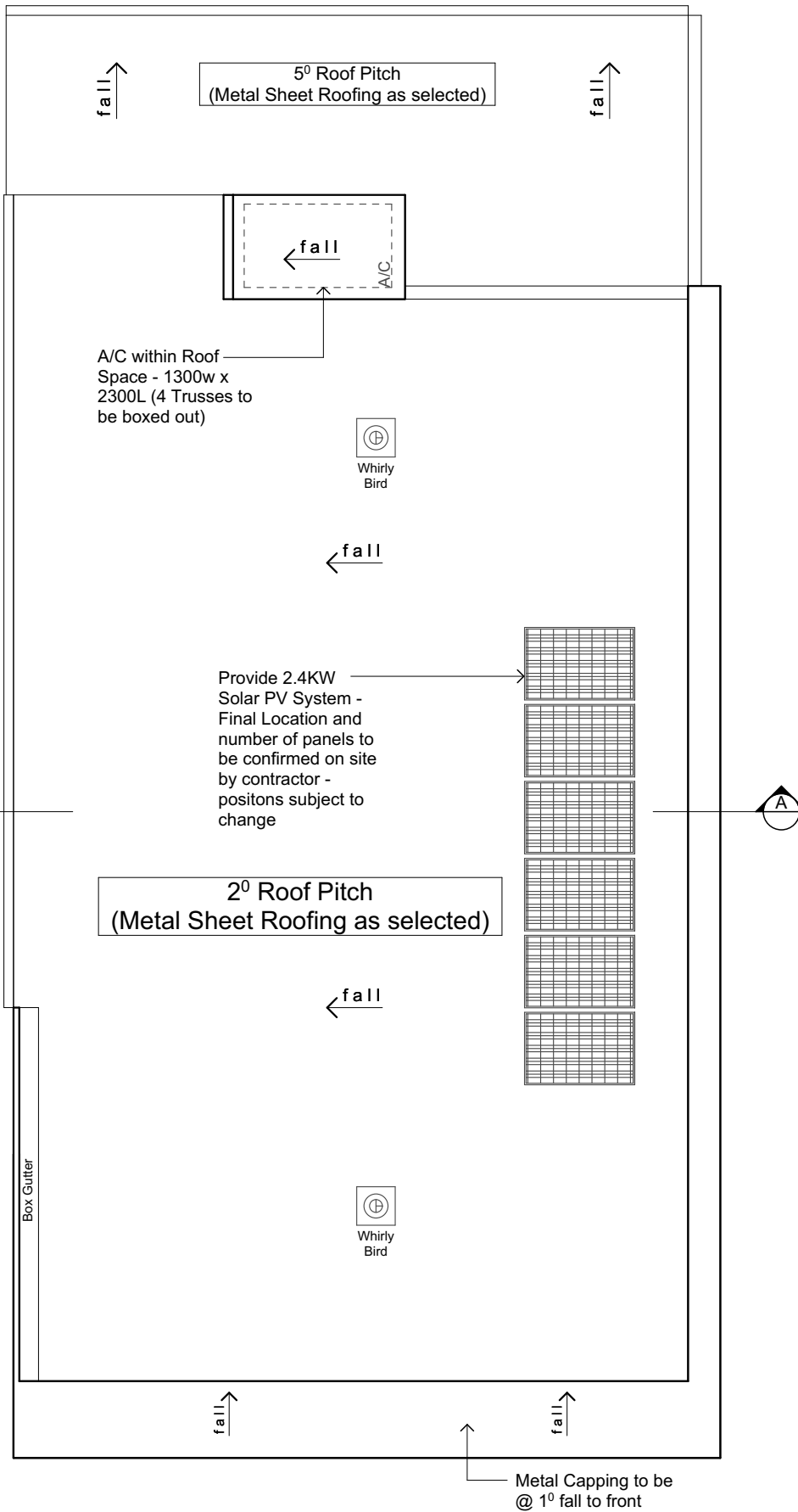
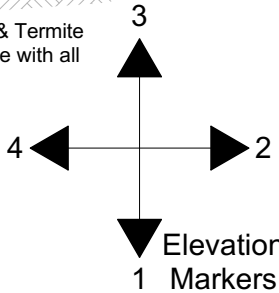
* Frame Stud Openings to be:

-Window Width + 70mm

-Window Height + 60mm

Note:

* All Bedroom Windows with a floor level more than 2 meters from natural ground level must be fitted with a device to restrict the window opening, or a suitable screen, so a 125mm diameter sphere cannot pass through. The device of screen must also be able to withstand an outward horizontal force of 250 N. ALL FIRST FLOOR WINDOWS TO BE FITTED WITH RESTRICTORS



Proposed Roof Plan

[illegible]

IMSU



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Proposed:

New Two Storey Dwelling

Location:

Lot 34 in DP 6171 No.156
Wyadra Avenue, North Manly. NSW

Client:

Drawing Title:
Roof Plan, Section A-A
& Window Schedule

L.G.A

Northern Beaches Council

Facade :		Date
----------	--	------

CUSTOM	07.10.2
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Revision:

6

Design:

CUSTOM

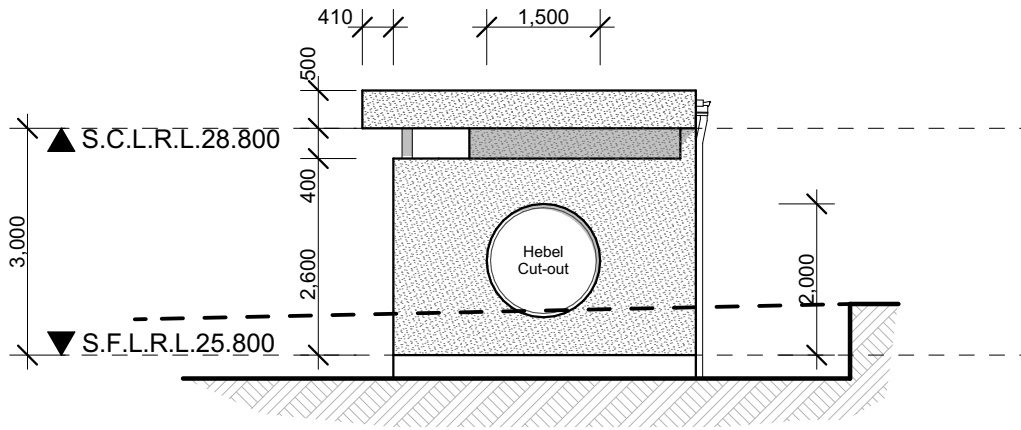
TC Job No:

8120

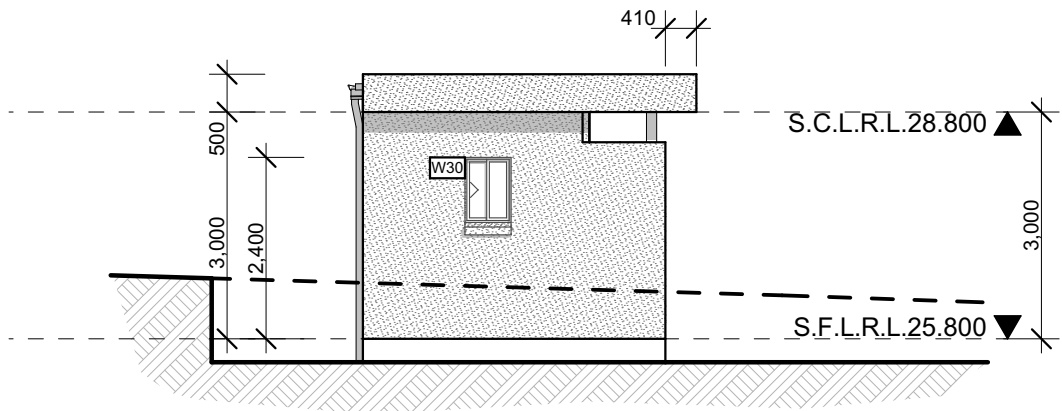
JR Job No:

General Notes:

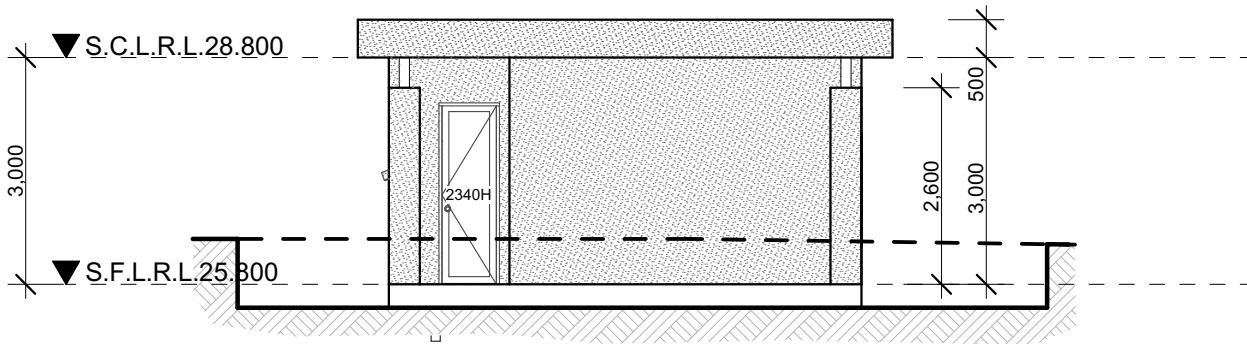
1. All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
2. All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
3. All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
4. Structural Engineer to check, detail and certify brickwork to garage area with a height greater than 3000mm between horizontal supports.
5. All brickwork to be constructed in accordance with the requirements of the Building Code of Australia.
6. Control joints in brickwork to be provided in accordance with the requirements of the Building Code of Australia.
7. Downpout openings to allow opening doors to room containing toilets which are closer than 1200mm to the toilet doors to be fitted with removable panels to be removed from the outside when the door is closed.



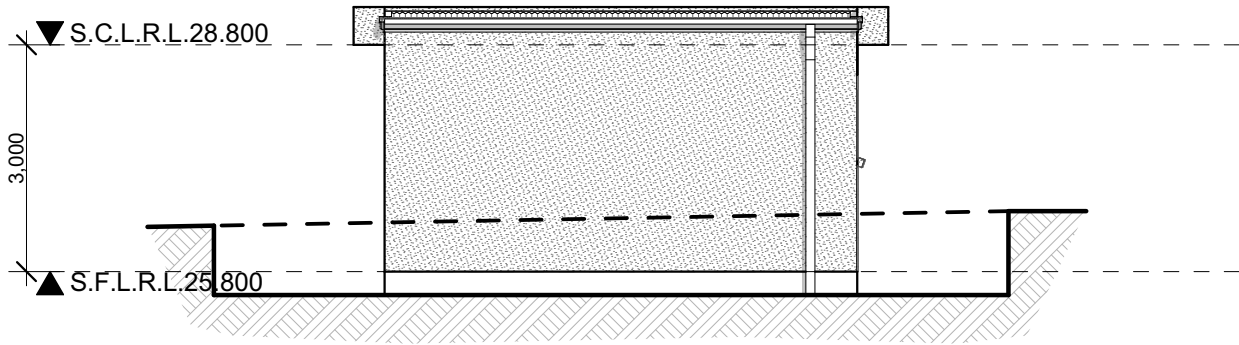
Western Elevation
Elevation 2 scale 1:100



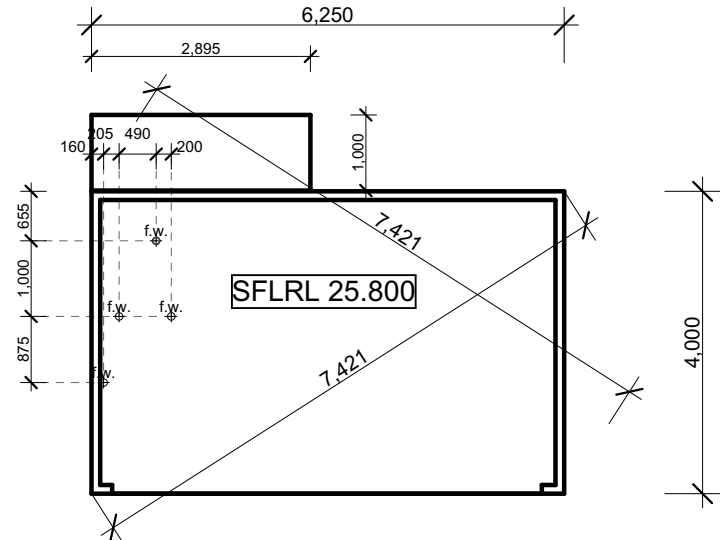
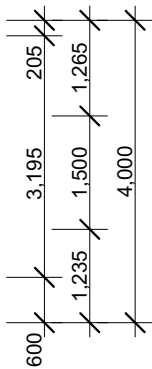
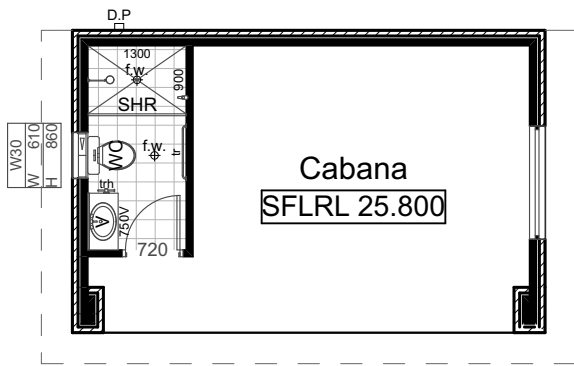
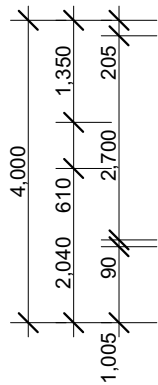
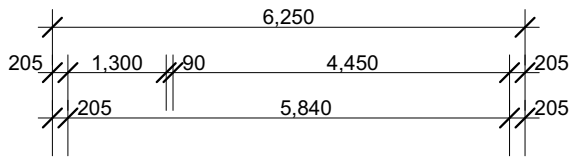
Eastern Elevation
Elevation 4 scale 1:100



Northern Elevation
Elevation 1 scale 1:100



Southern Elevation
Elevation 3 scale 1:100



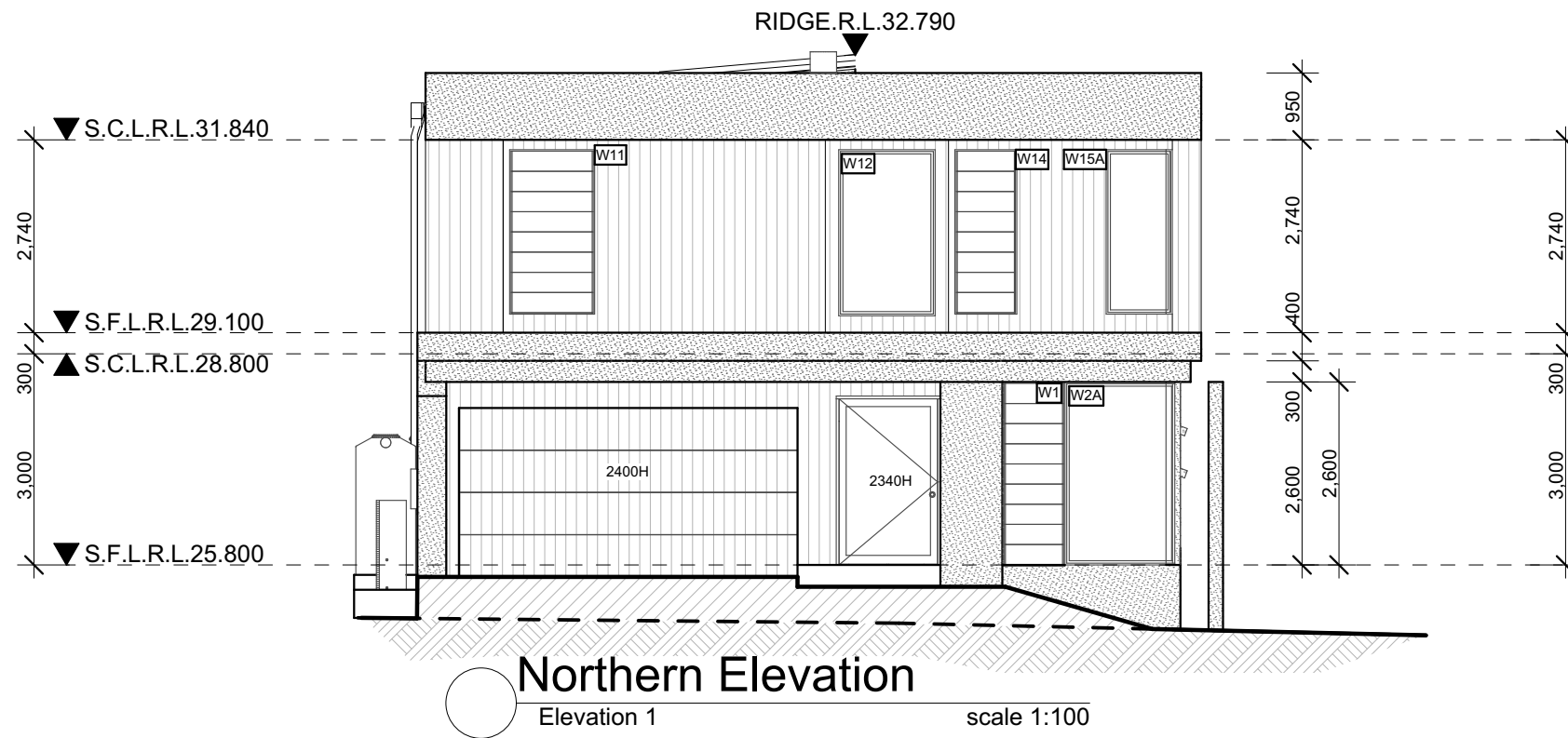
Cabana Floor Plan
scale 1:100

Cabana Slab Plan
scale 1:100

Issue	Amendment	Date:
6	DA Submission	07.10.25



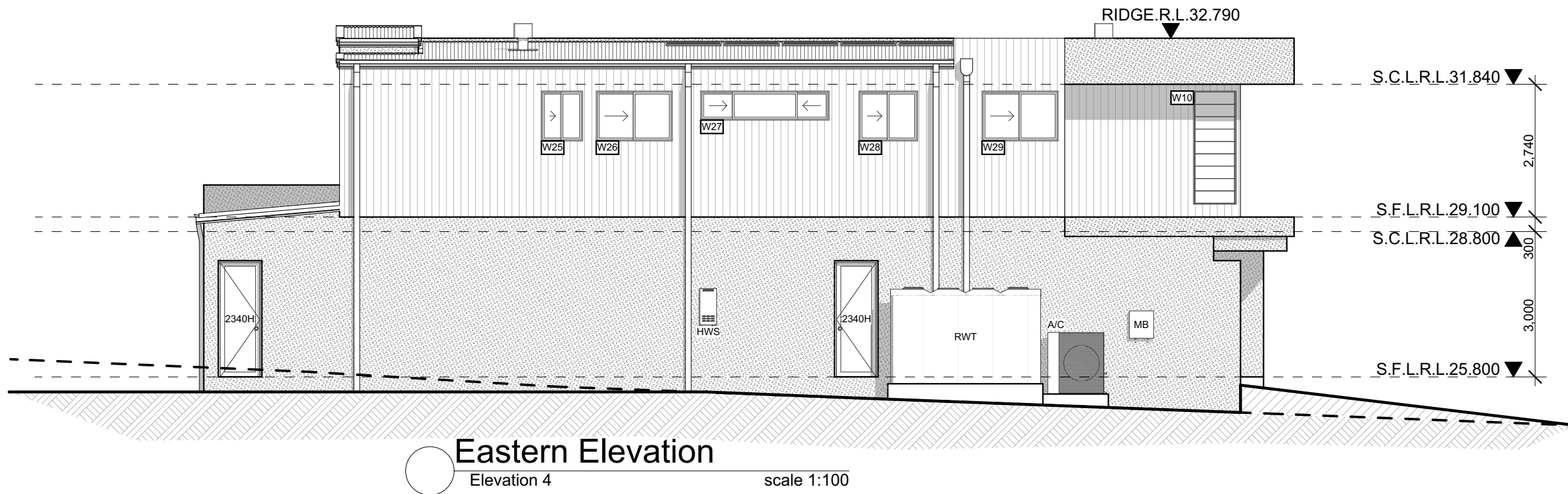
Proposed: New Two Storey Dwelling	Drawing Title:	Revision: 6
Location: Lot 34 in DP 6171 No.156 Wyadra Avenue, North Manly, NSW	L.G.A Northern Beaches Council	Design: CUSTOM
Client: Moosavian Mahdavi	Facade : CUSTOM	TC Job No: 8120
	Date: 07.10.25	JR Job No: IH2501
	Scale: 1:100	Sheet: 6 of 17



MATERIALS LEGEND:

Note: All materials on plan are to be confirmed with the associated building tender/selections document. Where a discrepancy occurs, the building tender/selections document takes precedence.

	FACE BRICKWORK
	HEBEL RENDERED & PAINT FINISH
	PAINTED TIMBER POSTS
	FINE TEXTURED CLADDING TO AS 2908.2
	SCYON AXON SMOOTH CLADDING TO AS 2908.2
	METAL ROOF SHEETING



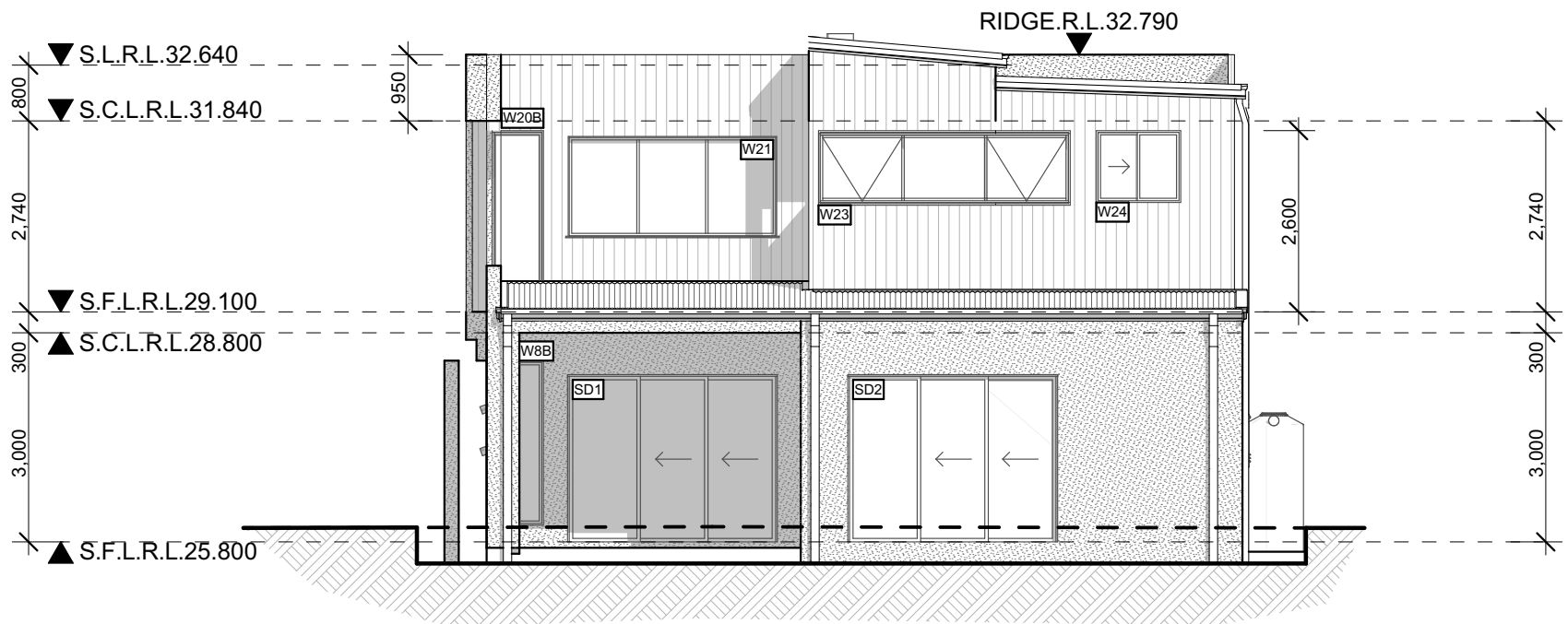
Issue	Amendment	Date:
6	DA Submission	07.10.25

North:

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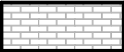
Proposed:	Drawing Title:	Revision:
New Two Storey Dwelling	Elevations	6
Location:	L.G.A	Design:
Lot 34 in DP 6171 No.156 Wyadra Avenue, North Manly, NSW	Northern Beaches Council	CUSTOM
Client:	Facade : CUSTOM	TC Job No:
Moosavian Mahdavi	Date 07.10.25	8120
	Scale 1:100	JR Job No:
	Sheet 7 of 17	IH2501

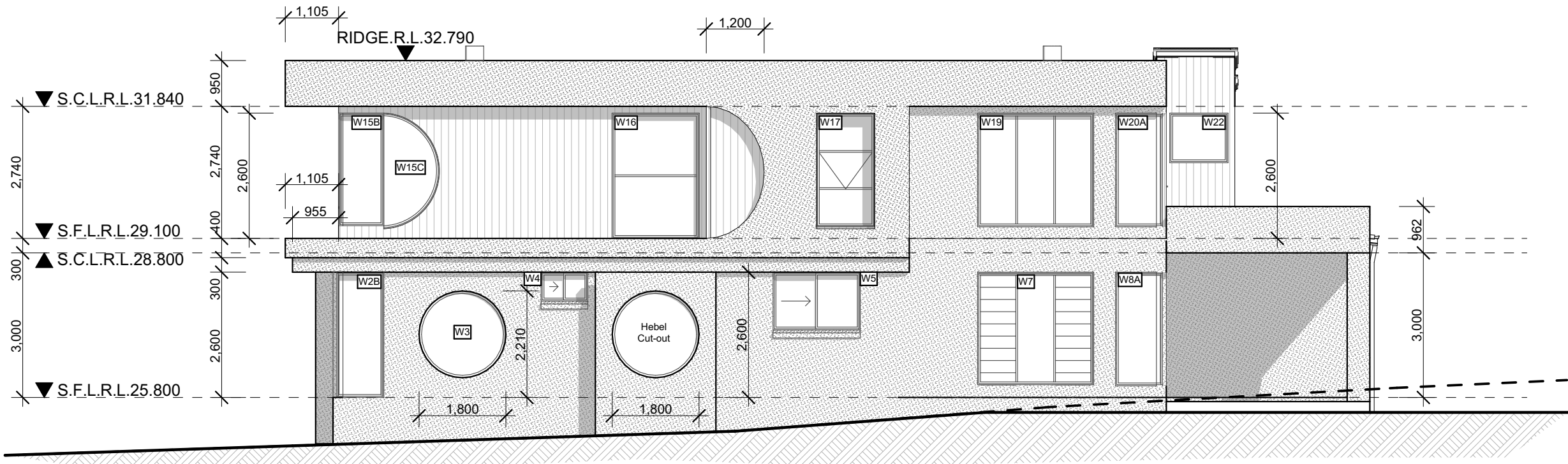


 **Southern Elevation**
Elevation 3 scale 1:100

MATERIALS LEGEND:

Note: All materials on plan are to be confirmed with the associated building tender/selections document. Where a discrepancy occurs, the building tender/selections document takes precedence.

	FACE BRICKWORK
	HEBEL RENDERED & PAINT FINISH
	PAINTED TIMBER POSTS
	FINE TEXTURED CLADDING TO AS 2908.2
	SCYON AXON SMOOTH CLADDING TO AS 2908.2
	METAL ROOF SHEETTING



 **Western Elevation**
Elevation 2 scale 1:100

Issue	Amendment	Date:
6	DA Submission	07.10.25

North:

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Proposed:	Drawing Title:	Revision:
New Two Storey Dwelling	Elevations	6
Location:	L.G.A.	Design:
Lot 34 in DP 6171 No.156 Wyadra Avenue, North Manly, NSW	Northern Beaches Council	CUSTOM
Client:	Facade : CUSTOM	TC Job No:
Moosavian Mahdavi	Date 07.10.25	8120
	Scale 1:100	JR Job No:
	Sheet 8 of 17	IH2501

Legend:

--- - 9.00am

— - 12noon

- - - - 3.00pm

Site Analysis Legend

solar path

prevailing winds

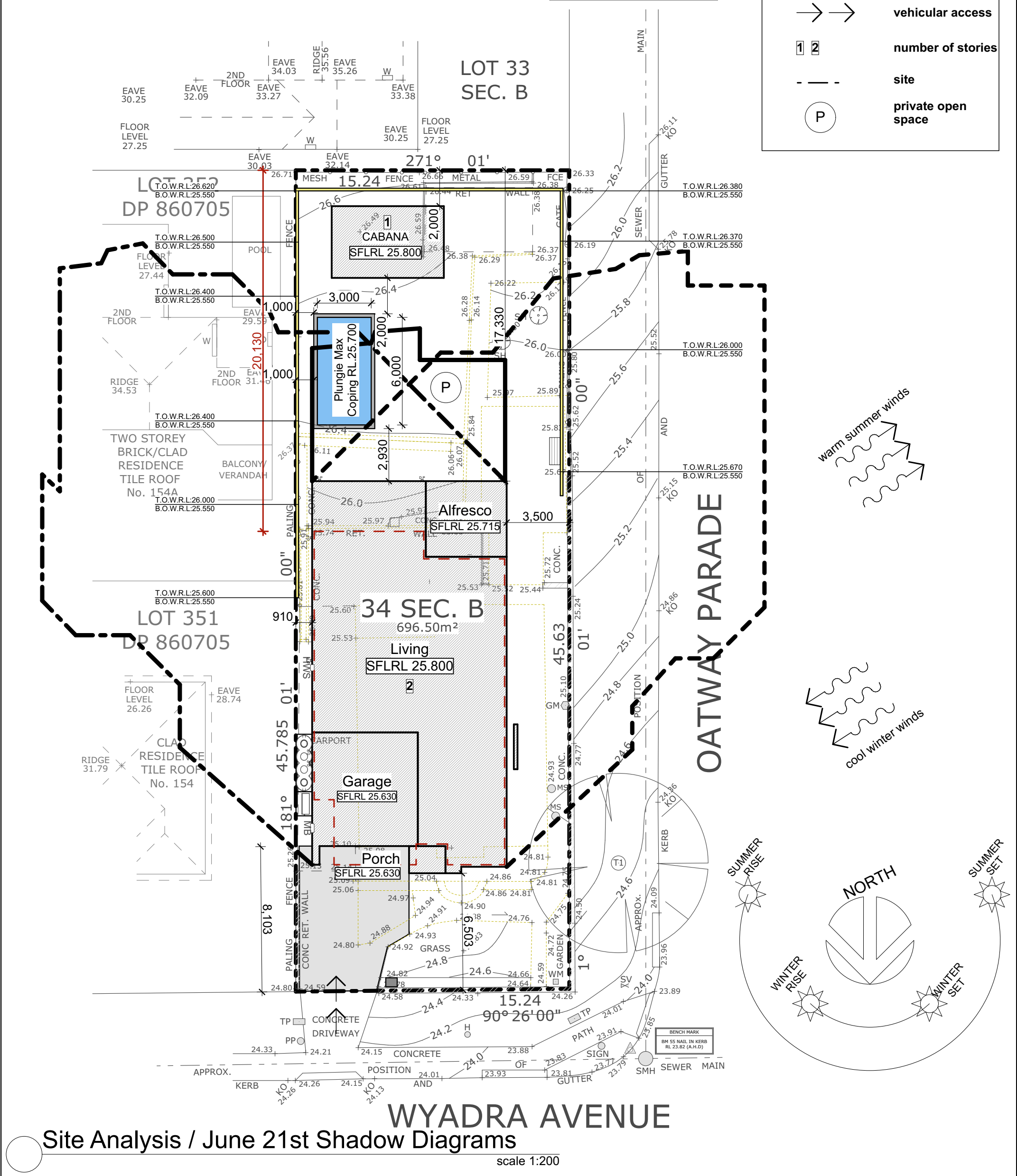
noise

vehicular access

number of stories

site

private open space

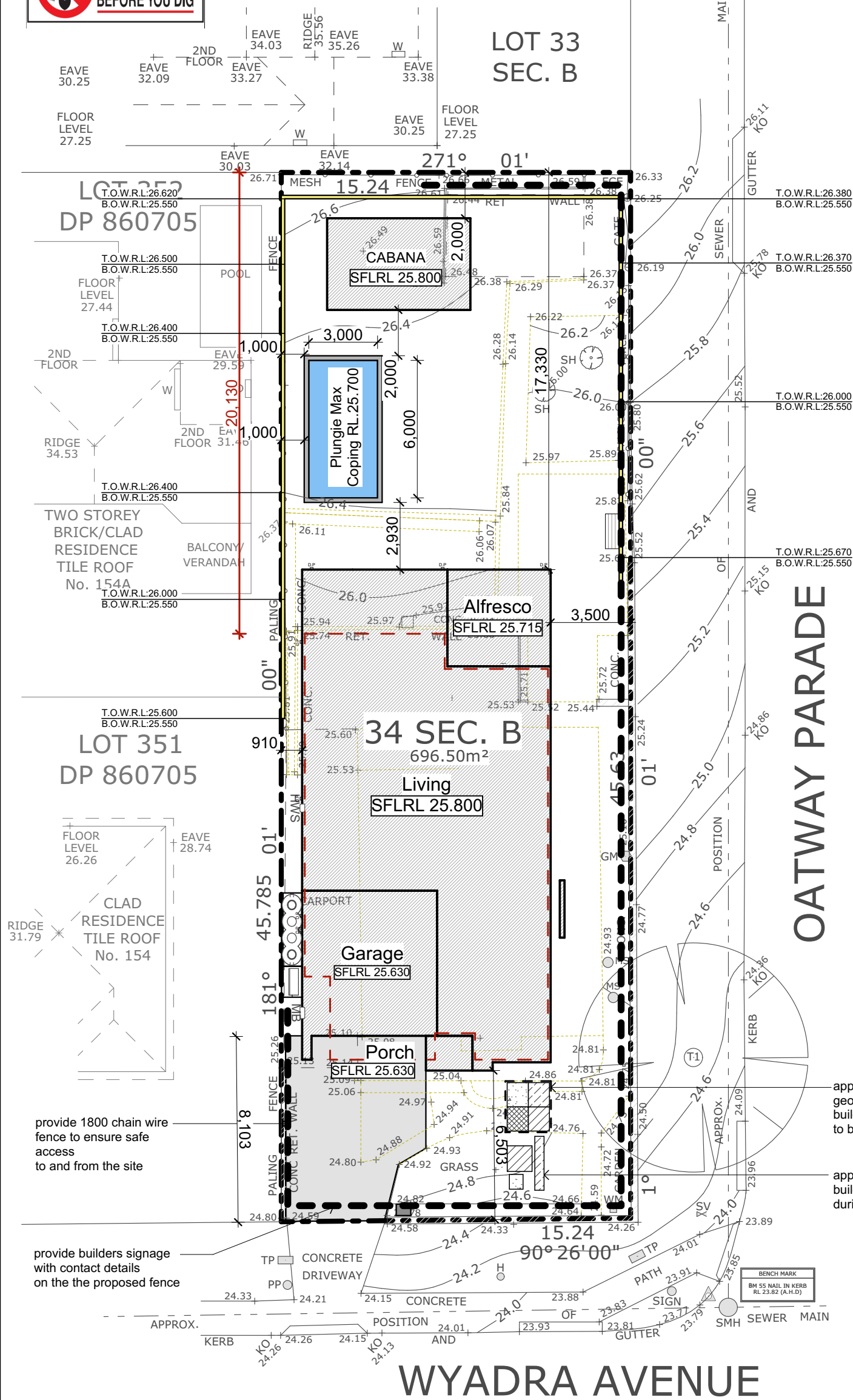
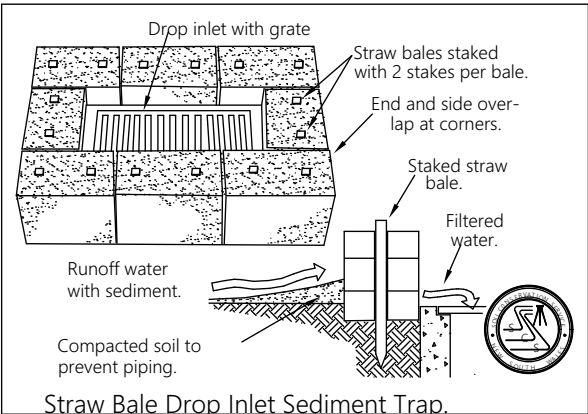
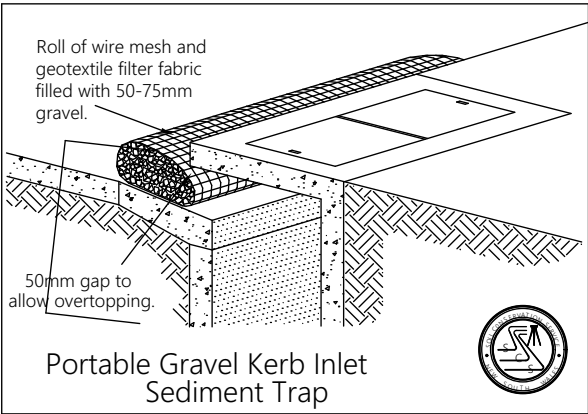
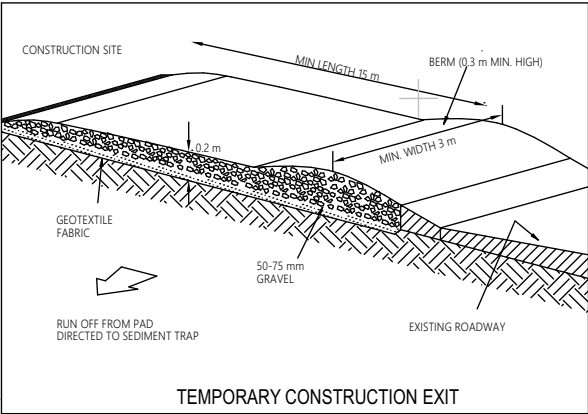
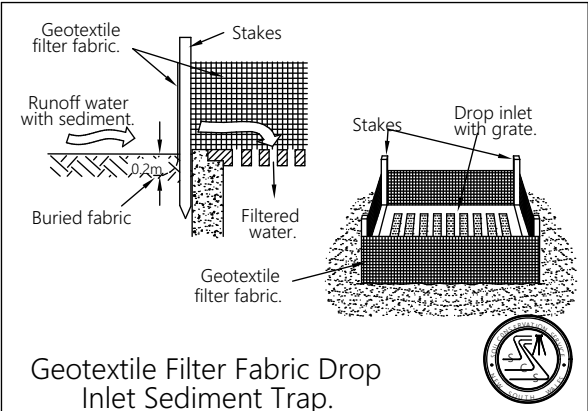
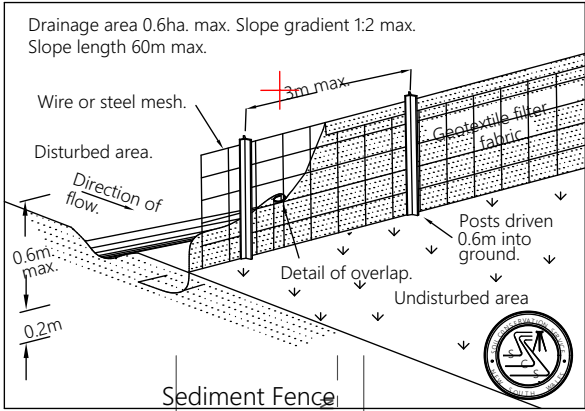


JR Design & Drafting Residential Design & Drafting Services Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003 Email: jr.design.drafting@gmail.com Address: Suite 304 No. 447 Victoria Street, Wetherill Park, NSW 2164	Issue	Amendment	Date:				
	6	DA Submission	07.10.25				
IMSU				North:	Proposed: New Two Storey Dwelling Location: Lot 34 in DP 6171 No.156 Wyadra Avenue, North Manly, NSW Client: Moosavian Mahdavi	Drawing Title: Site Analysis / Shadow Diagrams Plan L.G.A Northern Beaches Council Facade : CUSTOM Date 07.10.25 Scale 1:200 Sheet 9 of 17	Revision: 6 Design: CUSTOM TC Job No: 8120 JR Job No: IH2501

Erosion Control

Temporary sediment and erosion control and measures are to be installed prior to commencement of any works on the site. These measures must be maintained in working order during construction works up to completion. All sediment traps must be cleared on a regular basis and after major storm and/or as directed by the Principal Certifying Authority and Council officers.

PROOF OF EXISTENCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. CURRENT "DIAL BEFORE YOU DIG" SERVICES PLANS MUST BE OBTAINED PRIOR TO COMMENCING ANY EXCAVATION.



approx. location of geotextile waste bin with building waste materials to be stored in

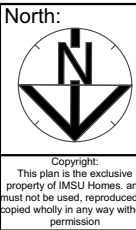
approx. location of building materials during construction

Sedimentation & Waste Management Plan

scale 1:200

JR Design & Drafting	Issue	Amendment	Date:
Residential Design & Drafting Services	6	DA Submission	07.10.25
Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003			
Email: jr.design.drafting@gmail.com			
Address: Suite 304 No. 447 Victoria Street, Wetherill Park, NSW 2164			

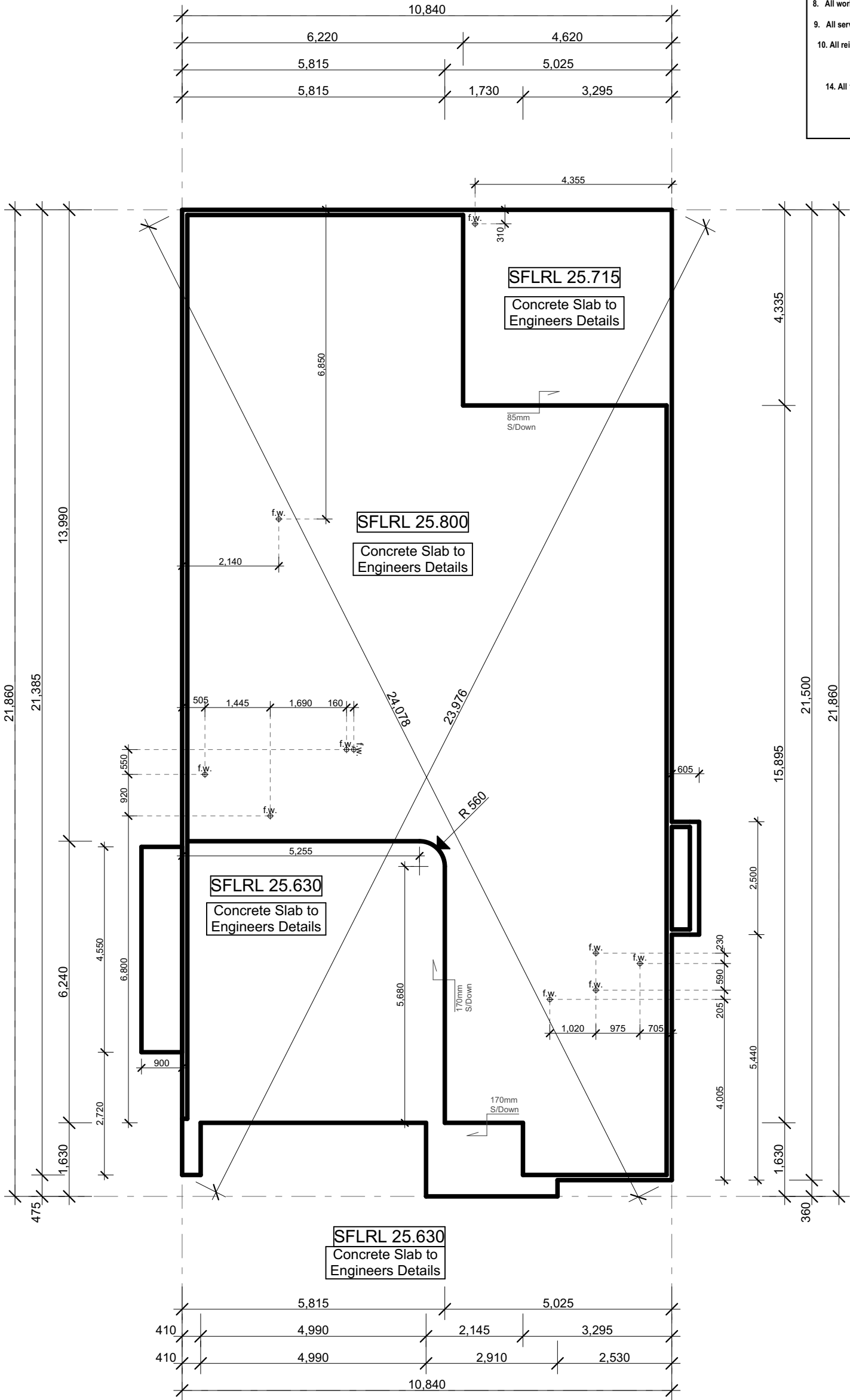
IMSU



Proposed:	Drawing Title:	Revision:
New Two Storey Dwelling	Soil Sedimentation & Waste Management	6
Location:	L.G.A	Design:
Lot 34 in DP 6171 No.156	Northern Beaches Council	CUSTOM
Wyadra Avenue, North Manly, NSW	Facade :	TC Job No:
Client:	CUSTOM	8120
Moosavian Mahdavi	Date	JR Job No:
	07.10.25	IH2501
	Scale	Sheet
	1:200	10 of 17

CONSTRUCTION NOTES:

1. Figured dimensions are to be taken in preference to scaling
2. No allowance has been made for shrinkage or milling
3. All Levels shown are approximate and should be verified on site during construction
4. Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.
5. Dimensions are to be verified on site by builder before the commencement of work
6. All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
7. Refer to the builders scope of works for inclusions & exclusions
8. All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
9. All service positions, air conditioning droppers, outlets, return air grills, manholes and bulkheads to be determined on site at supervisor / contractors discretion
10. All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
11. Terminate protection in accordance with Australian Standards
12. Refer to Basix Certificate for energy, water & thermal requirements
14. All 1st floor windows with a sill height less than 1700mm to have a max opening width of 125mm
15. Final Construction Joints, steel posts & Beams, Floor Joist to structural engineer plans
16. Meter Box, Gas Meter to be confirmed with Builder on site.
17. Downpipes to be confirmed with plumber on site.



Waste Locations to be in accordance with Ground Floor Plan

Provide Drop Edge Beam to natural ground level, Refer to elevations

All Dimension to be checked with ground floor plan before the commencement of work

Concrete Slab to be Constructed in accordance with Engineer Plans

Proposed Slab Plan

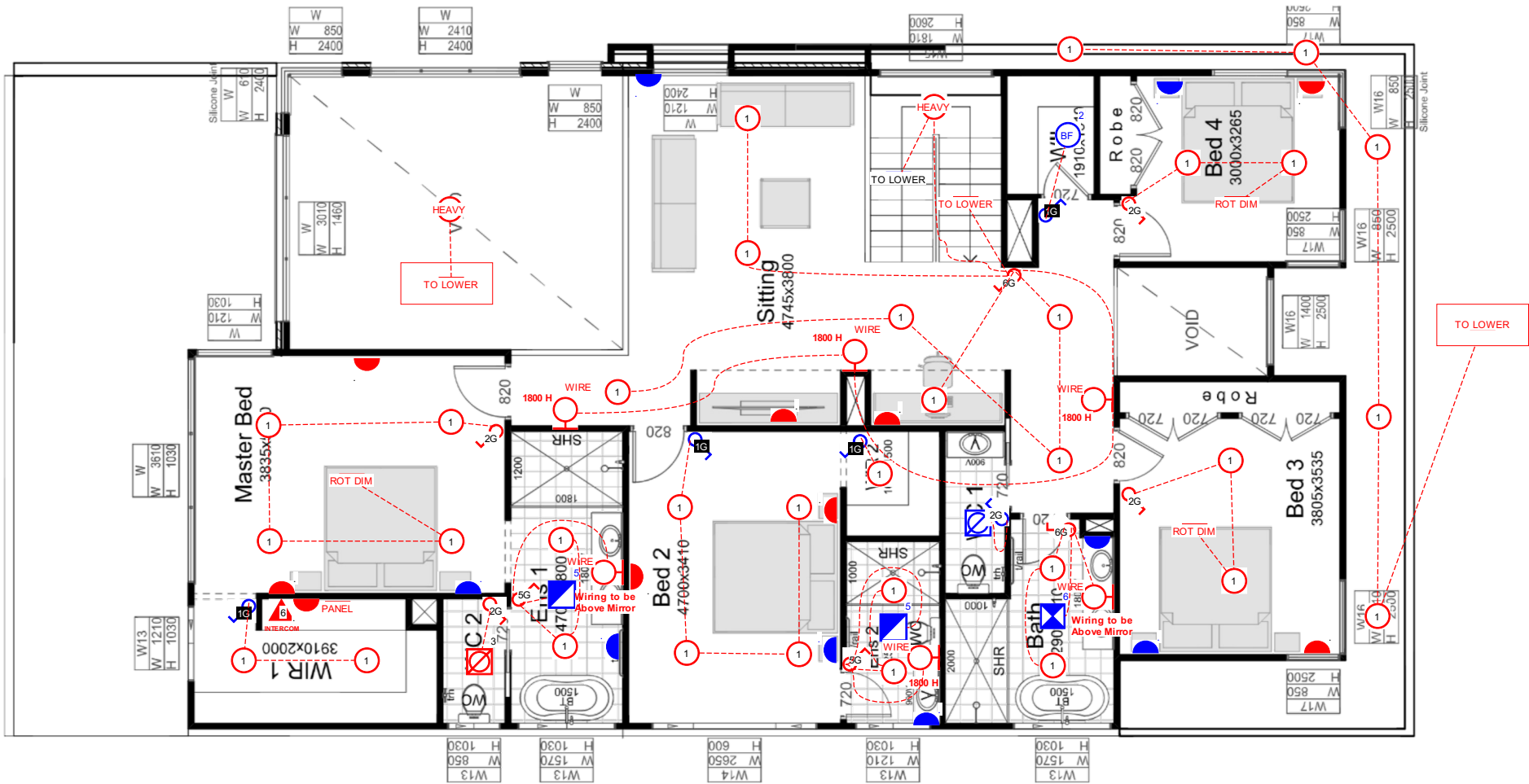
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Issue	Amendment	Date:
6	DA Submission	07.10.25



Proposed: New Two Storey Dwelling	Drawing Title: Proposed Slab Plan
Location: Lot 34 in DP 6171 No.156 Wyadra Avenue, North Manly, NSW	L.G.A Northern Beaches Council
Client: Moosavian Mahdavi	Facade : CUSTOM Date 07.10.25 Scale 1:100 Sheet 11 of 17

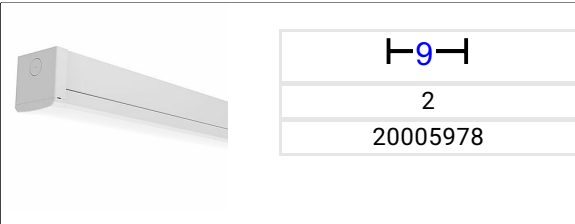
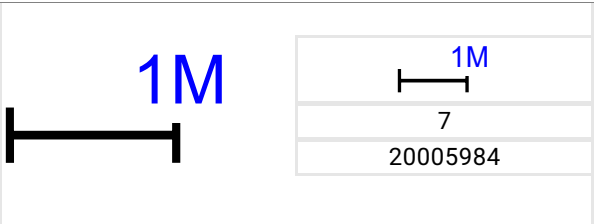
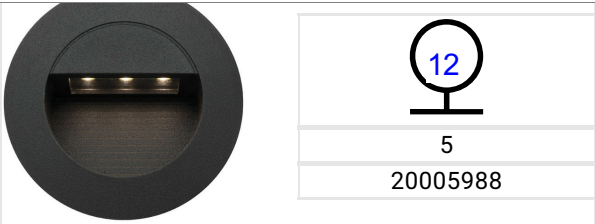
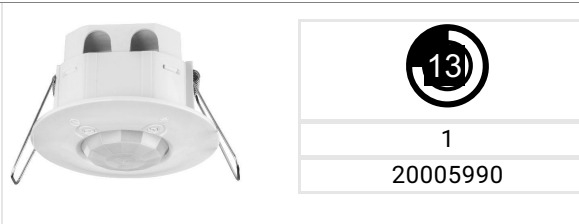
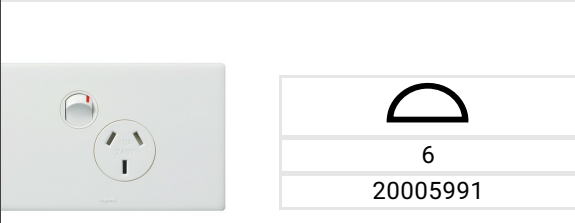
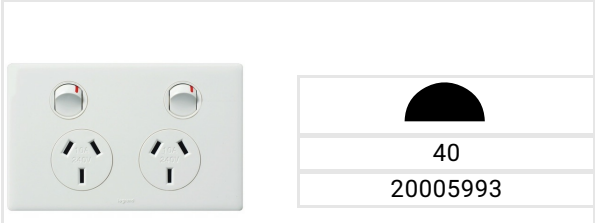
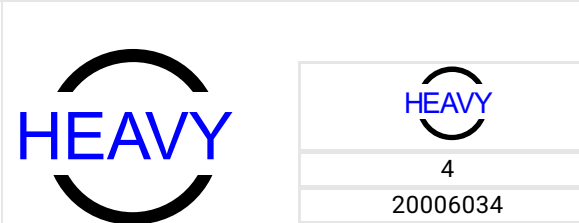
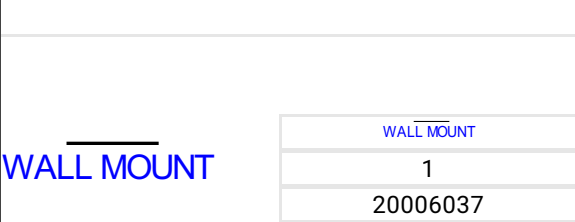
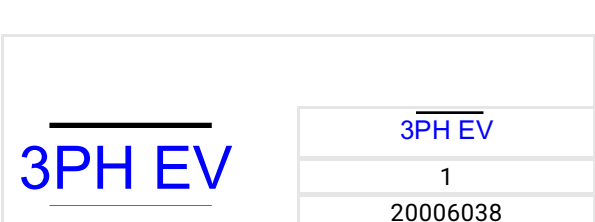
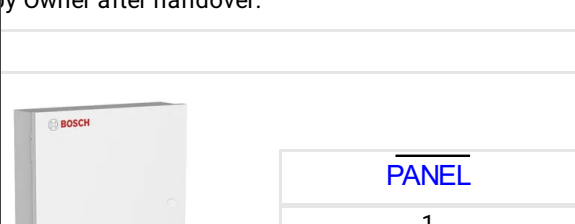
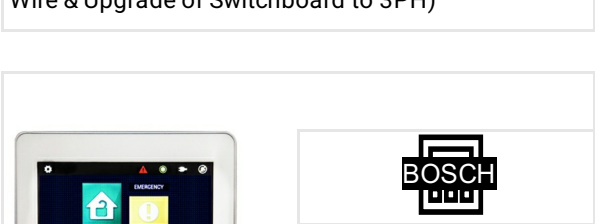
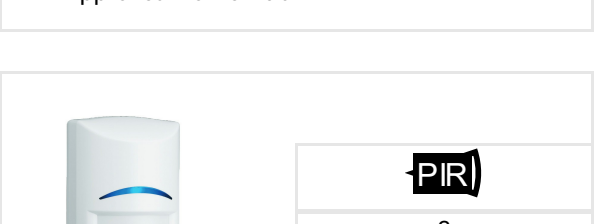
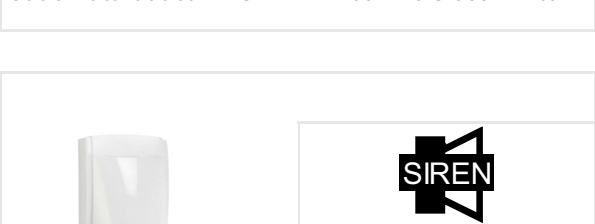
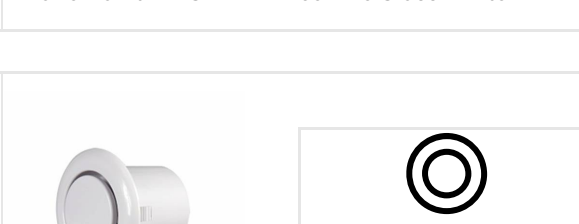
Revision: 6	Design: CUSTOM
TC Job No: 8120	JR Job No: IH2501



PROJECT:HOME GREGORY HILLS DESIGNED BY Project Home 2/64 Steer Road Gregory Hills NSW 2557 www.projecthomensw.com.au	CLIENT DETAILS ALI Mahdavi Lot 34, 156 Wyadra Avenue North Manly NSW 2100	JOB # J8120 Version Version - 13 May 2025 01:09 PM by Vivian Zakaria	Client Name (1) ALI Mahdavi 0421 602 962 ali1212m@yahoo.com Client Name (2)	Signed	Date
				Signed	Date

WIFI ADD ZONE WIFI ADD ZONE 6 20005853 Air Conditioning Additional Zone with Wifi	 AT5 1 20005854 AirTouch 5 Touch Screen Smart Controller	AC SWITCH AC SWITCH 6 20005855 Smart Climate Control Switch	 1 20005862 Digital RG6 TV Outlet - LEGRAND Excel Life Gloss White	 GAS 1 20005869 Gas Point Internal
 GAS 1 20005870 Gas Point External	 14 1 20005873 Exhaust Fan Ducted - HPM Round Ducted Ceiling Exhaust Fan 372mm White EFD01RDWE	 3 3 20005875 Mercator Starline LED Exhaust Fan/Light (Round) (MERBE190ESPWH)	 6 1 20005876 Ducted 4 Heat/Fan/Light (HPM BH4DWE)	 5 3 20005877 Ducted 2 Heat/Fan/Light (HPM BH2DWE)
 15 2 20005878 Martec Ceiling Fan (DLS134W)	 1G 8 20005881 1 Gang Rocker Switch - LEGRAND Excel Life Gloss White	 2G 8 20005882 2 Gang Rocker Switch - LEGRAND Excel Life Gloss White	 3G 2 20005883 3 Gang Rocker Switch - LEGRAND Excel Life Gloss White	 4G 3 20005884 4 Gang Rocker Switch - LEGRAND Excel Life Gloss White
 5G 3 20005885 5 Gang Rocker Switch - LEGRAND Excel Life Gloss White	 6G 4 20005886 6 Gang Rocker Switch - LEGRAND Excel Life Gloss White	 ROT DIM 6 20005893 Rotary Dimmer Dial - LEGRAND Excel Life Gloss White	 ROT FAN 2 20005894 Rotary Fan Dial - LEGRAND Excel Life Gloss White	 1 71 20005973 HPM LED Downlight (DLI90TRIWE)

LUCCI design A BEACON LIGHTING GROUP BRAND PROJECT:HOME GREGORY HILLS DESIGNED BY Project Home 2/64 Steer Road Gregory Hills NSW 2557 www.projecthomensw.com.au CLIENT DETAILS ALI Mahdavi Lot 34, 156 Wyadra Avenue North Manly NSW 2100 JOB # J8120 Version Version - 13 May 2025 01:09 PM by Vivian Zakaria Client Name (1) ALI Mahdavi 0421 602 962 ali1212m@yahoo.com Client Name (2) Signed Date Signed Date Design Consultant Vivian Zakaria					
TERMS & CONDITIONS:The client acknowledges that locations of electrical components on this plan are approximate only and are subject to requirements of the National Construction Code (NCC), Australian Standards, or any construction restraint the site presents. Conformance or best practice requirements remain of the builder or electrical contractor/s discretion. Phone, Data Point and Power Point will be set at a standard industry height of approximately 300mm the ground unless a specific height is requested by the owner. All light switches will be installed as standard as horizontal however Project Home reserves the right to amend this to vertical at any time due to spatial constraints, supplier and/or trade changes. Page 3 of 5					

 9 2 20005978	 2 BF 6 20005983	 1M 7 20005984	 12 5 20005988	 13 1 20005990
 6 20005991	 40 20005993	 WP/L 2 20006006	 WP/L 3 20006007	 HEAVY 4 20006034
 WALL MOUNT 1 20006037	 3PH EV 1 20006038	 NBN 1 20006153	 6 2 20006155	 1 20006156
 PANEL 1 20006163	 BOSCH 1 20006164	 PIR 3 20006165	 SIREN 1 20006166	 1 20006167

LUCCI design A BEACON LIGHTING GROUP BRAND DESIGNED BY Project Home 2/64 Steer Road Gregory Hills NSW 2557 www.projecthomensw.com.au CLIENT DETAILS ALI Mahdavi Lot 34, 156 Wyadra Avenue North Manly NSW 2100 JOB # J8120 Version Version - 13 May 2025 01:09 PM by Vivian Zakaria Client Name (1) ALI Mahdavi 0421 602 962 ali1212m@yahoo.com Client Name (2) Signed Date Signed Date Design Consultant Vivian Zakaria					
TERMS & CONDITIONS: The client acknowledges that locations of electrical components on this plan are approximate only and are subject to requirements of the National Construction Code (NCC), Australian Standards, or any construction restraint the site presents. Conformance or best practice requirements remain of the builder or electrical contractor/s discretion. Phone, Data Point and Power Point will be set at a standard industry height of approximately 300mm the ground unless a specific height is requested by the owner. All light switches will be installed as standard as horizontal however Project Home reserves the right to amend this to vertical at any time due to spatial constraints, supplier and/or trade changes.					

The diagram illustrates the components of a Bosch AC Plug Pack. On the left, the text "AC PLUG" is displayed in a large, blue, sans-serif font. Above this text is a thick black horizontal line, and below it is a thin grey horizontal line. To the right of the "AC PLUG" text is a table with three rows. The first row has a light blue header with the text "AC PLUG" in blue. The second row has a light grey background with the number "1" in black. The third row has a white background with the number "20006168" in black.

AC PLUG
1
20006168

The diagram illustrates the components of a Bosch AC Plug Pack. On the left, the text "AC PLUG" is displayed in a large, blue, sans-serif font. Above this text is a thick black horizontal line, and below it is a thin grey horizontal line. To the right of the "AC PLUG" text is a table with three rows. The first row has a light blue header with the text "AC PLUG" in blue. The second row has a light grey background with the number "1" in black. The third row has a white background with the number "20006168" in black.

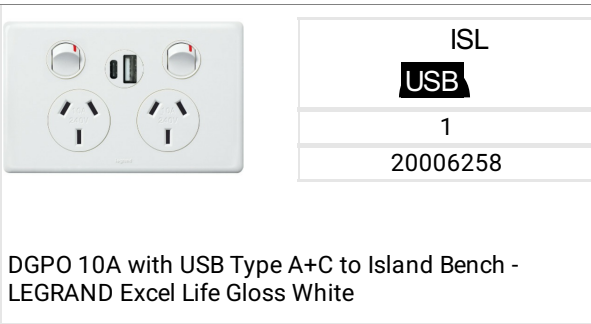
AC PLUG
1
20006168

The diagram illustrates the internal structure of a Bosch 12V 7AH Back Up Battery. It features a main battery unit on the left, labeled "B/U BATT" in blue text, with a thick black horizontal line above it and a thin grey horizontal line below it. To the right of the main unit is a smaller, rectangular component labeled "B/U BATT" in blue text, also with a thick black horizontal line above it and a thin grey horizontal line below it. Below this smaller component is a white rectangular box containing the number "1" in black text. At the bottom of the diagram is a long, thin white rectangular box containing the number "20006169" in black text. The entire diagram is set against a light grey background.

The diagram illustrates the internal structure of a Bosch 12V 7AH Back Up Battery. It features a main battery unit on the left, labeled "B/U BATT" in blue text, with a thick black horizontal line above it and a thin grey horizontal line below it. To the right of the main unit is a smaller, rectangular component labeled "B/U BATT" in blue text, also with a thick black horizontal line above it and a thin grey horizontal line below it. Below this smaller component is a white rectangular box containing the number "1" in black text. At the bottom of the diagram is a long, thin white rectangular box containing the number "20006169" in black text. The entire diagram is set against a light grey background.



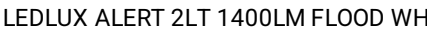
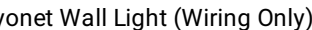
The product image shows the Micron Touch Button 7" Intercom with Metal Slim Door - App Connect. It includes a smartphone displaying the app interface, a metal slim door unit, a black power adapter, and a white cable. The background is white with a faint 'micron' logo and the text 'security products'.



	ISL USB 1 20006258
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External Wall Light (Wiring Only)

The diagram illustrates the wiring for the External Wall Light (Wiring Only). It features a large black circle representing the light fixture, with a horizontal line below it indicating the mounting. To the right, a smaller version of the same fixture is shown, with a horizontal line below it. Above this smaller fixture, the word "WIRE" is written in blue. Below the smaller fixture, the number "8" is written in black. To the right of the number "8", the number "20006261" is written in black. The entire diagram is enclosed in a light gray border.



Two Way Light Switch

The diagram illustrates the conversion of the text 'To Upper' to its uppercase representation 'TO UPPER'. This is shown in a box with the text 'To Upper' on the left and 'TO UPPER' on the right, connected by a horizontal arrow. Below this, a table shows the binary representation of the uppercase text 'TO UPPER'.

TO UPPER
4
25005310

The diagram illustrates the conversion of the text 'To Upper' to its uppercase representation 'TO UPPER'. This is shown in a box with the text 'To Upper' on the left and 'TO UPPER' on the right, connected by a horizontal arrow. Below this, a table shows the binary representation of the uppercase text 'TO UPPER'.

TO UPPER
4
25005310

The diagram illustrates the conversion of the decimal 2500.5311 to a fraction. It shows the decimal being multiplied by 10,000 to shift the decimal point four places to the right, resulting in 25005311. This is then expressed as the fraction 25005311/10000. The fraction is simplified by dividing both the numerator and the denominator by their greatest common divisor, 4, to reach the final simplified fraction, 6251327/2500.

2500.5311
$\times 10000$
25005311
$\frac{25005311}{10000}$
$\div 4$
$\frac{6251327}{2500}$

The diagram illustrates the conversion of the decimal 2500.5311 to a fraction. It shows the decimal being multiplied by 10,000 to shift the decimal point four places to the right, resulting in 25005311. This is then expressed as the fraction 25005311/10000. The fraction is simplified by dividing both the numerator and the denominator by their greatest common divisor, 4, to reach the final simplified fraction, 6251327/2500.

2500.5311
$\times 10000$
25005311
$\frac{25005311}{10000}$
$\div 4$
$\frac{6251327}{2500}$



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Version
Version - 13 May 2025 01:09 PM by
Vivian Zakaria

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Signed _____ Date _____

Signed _____ Date _____

