

Accredited Certifiers

PTY LTD.

DEVELOPMENT APPROVALS
CONSTRUCTION CERTIFICATES
COMPLYING DEVELOPMENT
PRINCIPAL CERTIFYING AUTHORITY
FIRE SAFETY SOLUTIONS
PRE PURCHASE INSPECTIONS

Property Address: 22 Capua Place AvalonOur ref: **05/130****REGISTRATION OF CONSTRUCTION CERTIFICATE WITH COUNCIL:**

Date:	12/10/05	(forwarded 2 days after determination)	Pages:	Including this one.
To:	Building and Development.		From:	Michael Ludlow
Council:	Pittwater		Company:	Accredited Certifiers
Fax:	Pittwater: Fax 9970 7150		Fax:	9501 5402
Address:	Pittwater: PO Box 882 Mona Val		Phone:	9501 6616

DETAILS OF DEVELOPMENT:

Full Property Address: 22 Capua Place Avalon

Proposed works: Extension of existing balconies

Type of work: Building work.

DA no. 346/04 **Determination date:** 5/8/05

PURPOSE OF THE DOCUMENTS:

As the certifying authority for the above mentioned development, please register the following documents in accordance with the Environmental Planning and Assessment Regulation 2000 – Section 142:

1. Notification of determination to the applicant for the construction certificate.
2. The construction certificate.
3. The application for the construction certificate.
4. The principal certifying authority service agreement.
5. The notice of commencement to start building work and appointment of the principal certifying authority.
6. The plans which relate to the construction certificate.
7. Any specification.
8. Any other documents that were lodged with the construction certificate application.
9. Any required Council record keeping fee for the lodgement of the construction certificate.
10. Any other relevant unpaid Council fees.

REQUEST FOR DISPUTE RESOLUTION:

If any dispute arises as a result of the building work, kindly phone 9501 6616 or fax the concern to 9501 5402. Importantly, please ensure you include the complainant's contact phone number, mobile, fax and any other contact information. We will do all we can, as the principal certifying authority, to resolve the issue.

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Your ref: **05/130**

CONSTRUCTION CERTIFICATE & PRINCIPAL CERTIFYING AUTHORITY ENGAGEMENT

Date:	16 September 2005	Pages:	(including this one)
To:	Craig Poppleton	From:	Michael Ludlow
Company:	Barenjoey Constructions	Company:	Accredited Certifiers
Fax:	02 9918 7258	Fax:	9501 5402
Phone:	02 9918 7258	Phone:	9501 6616
mobile:	0410 475 598	Mobile:	0404 879 835

DETAILS OF DEVELOPMENT:

Full Property Address: 22 Capua Place Avalon
Proposed works: Extension of existing balconies

CERTIFICATION DOCUMENTS

Please read the attached documentation carefully. Notify the principal building contractor of these important documents:

1. Registration of the Construction Certificate with the Council.
2. The construction certificate.
3. The application for the construction certificate.
4. The principal certifying authority service agreement.
5. The notice of commencement to start building work and appointment of the principal certifying authority.
6. The plans which relate to the construction certificate.
7. Any specification.

RESPONSIBILITIES DURING CONSTRUCTION

1. Mandatory inspections. *(refer to page 4 and also schedule 1 of the principal certifying service agreement)*
2. Compliance with the development consent and the conditions of development consent.
3. Compliance with the Building Code of Australia.
4. Adherence to the principal certifying authority service agreement.
5. Construction of the building work in accordance with the plans which relate to the construction certificate.
6. Construction of the building work in accordance with any other documents lodged with the construction certificate.

OCCUPATION CERTIFICATE REQUIREMENTS

An occupation certificate must be obtained before the building is occupied. It will be issued by this office when:

1. The six (6) above mentioned items have been satisfied.
2. The application form (page 5) has been completed and signed by the owner of the property or you as the applicant.

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Your ref: **05/130**

CONSTRUCTION CERTIFICATE

This certificate verifies that, if the applicant carries out the proposed work in accordance with the plans and specifications that are approved, the work will comply with the Environmental Planning and Assessment Regulation 2000.

Determination: Approved. ☒ without conditions. ☐ With conditions attached. (tick as appropriate)

DEVELOPMENT DETAILS:

Full Address: 22 Capua Place Avalon

Proposed works: Extension of existing balconies

Type of work: Building work

Development
Consent No.: 346/04

Determination date: 346/04

Construction
Certificate No.: 05/130

Class/s of building: 10a

DOCUMENTATION FORMING PART OF THE CONSTRUCTION CERTIFICATE:

1. Plans/Specifications as stamped by Council and this office, and relating to DA No- 346/04.
2. The development consent 346/04 and conditions of the development consent.
3. The documents submitted with the application for construction certificate.

CERTIFICATE

I certify that the work if completed in accordance with documentation accompanying the application for the certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as are referred to in section 81A(5) of the Act.

Certifying Authority: Michael Ludlow
Contact Details: Phone: 9501 6616 Fax: 9501 5402
Address: 22 Dolans Rd Cronulla NSW 2230
Accreditation no: PO130

Signature: ►



Determination date: 14 / 10 / 05

IMPORTANT NOTICES:

1. This construction certificate is only valid for work done prior to the issue of this construction certificate.
2. A building certificate will need to be obtained from Council for any building work done prior to the issue of this construction certificate.
3. Any proposed changes from the development consent approved plans may require a s.96 modification to the consent.
4. The building must not be occupied unless an occupation certificate has been obtained from this office.

MANDATORY INSPECTION PROCESS

<u>Responsible person</u>	<u>Required Action</u>	<u>Required time frame</u>
Person with the benefit of consent.	Appoint PCA and notify them of principal contractor/owner builder details.	At least 2 days prior to work commencing.
PCA.	Notify Council of PCA appointment.	At least 2 days prior to building work commencing.
PCA.	Notify person with benefit of consent of applicable mandatory inspections.	At least 2 days prior to building work commencing.
Person with the benefit of consent.	Notify principal contractor of applicable mandatory inspections.	Prior to building work commencing.
Owner builder/principal contractor	Notify PCA of individual mandatory inspections and provide access on site.	48 hours prior to the required inspection.
PCA or other certifying authority with the agreement of the PCA (PCA must do final inspection).	Undertake mandatory inspections And make record.	No time frame for inspections. Record made ASAP after inspection and kept for 15 years.
Certifying Authority (where PCA does not do inspection)	Forward record of inspection to PCA.	"Forthwith" after inspection.
PCA.	Compile and maintain record of inspections.	Record must be kept for 15 years.
PCA.	Issue occupation certificate to person with the benefit of the consent.	When satisfied that requirements of s.109H have been met.
PCA.	Forward copy of occupation certificate including record of inspections to council.	Within 7 days of date of Determination.

Accredited Certifiers

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DEVELOPMENT APPROVALS
CONSTRUCTION CERTIFICATES
COMPLYING DEVELOPMENT
PRINCIPAL CERTIFYING AUTHORITY
FIRE SAFETY SOLUTIONS
PRE PURCHASE INSPECTIONS

Property Address: 22 Capua Place Avalon

Your ref. **05/130**

APPLICATION FORMS: CONSTRUCTION CERTIFICATE & PCA

Date:	27 September 2005	Pages:	11 (including this one)
To:	Craig Poppleton	From:	Michael Ludlow
Company:	Barenjoey Constructions	Company:	Accredited Certifiers
Fax:	02 9918 7258	Fax:	02 9501 54021300 304 620
Phone:	02 9918 7258	Phone:	02 9501 66161300 304 420
mobile:	0410 475 598	Mobile:	0404 879 8351300 304 420

CHECKLIST: CONSTRUCTION CERTIFICATE REQUIREMENTS

To minimise delay in receiving a decision about your application, ensure you submit **all relevant information**. Importantly, if you do not understand a requirement, please do not ignore it. Refer to the notes attached to the construction certificate which detail the requirements, or call the office and we will assist you. We are here to help you.

- ☒ **Development consent:**
 - Provide 1 copy of the DA and **all** the attached conditions.
 - Provide 1 copy of the stamped DA plans issued by the Council.
- ☒ **Owner's Consent:** All owner(s) of the land must sign the application for construction certificate. (**refer to page 2**)
- ☒ **Plans:** Provide 3 copies of architectural, and 3 copies of structural engineering drawings, signed and dated.
- ☒ **Coloured plans:**
Plans must be coloured to distinguish proposed work from any existing building work on the land.
- ☒ **Specifications:** Provide 3 copies of the specifications.
- ☒ **Building Code of Australia has been complied with:**
The plans and specifications must comply with the Building Code of Australia (BCA).
- ☒ **The development consent conditions have been complied with:**
This relates to DA conditions requiring further information prior to the issue of the construction certificate.
- ☒ **Payments:** Please refer to the attached notes for the list of payments.

CHECKLIST: COMMENCEMENT OF BUILDING WORK

- ☒ **Principal Certifying Authority Service Agreement:** (**refer to page 8**)
The Principal Certifying Authority Service Agreement has been read and signed by all owner(s) of the land.
- ☒ **Notice of Commencement to Start Building Work and Appointment of the PCA:** (**refer to page 11**)
All owner(s) of the land must sign the Notice of commencement to start building work and appointment of the PCA.
- ☒ **The development consent conditions have been complied with:**
This relates to DA conditions requiring further information prior to commencing building work.
- ☒ **Insurances:** Please refer to the attached notes for Home Owners Warranty or Owner Builder permit requirements.

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Your ref: 05/130

APPLICATION FOR CONSTRUCTION CERTIFICATE

Full Property Address: 22 Capua Place Avalon

Council area: Pittwater

Development approval / Complying Development details:

Proposed works: Extension of existing balconies

Type of work: Building work

DA no. 346/04

Determination date: 5 August 2005

Applicant

Name

Mrs H Majam.

Postal Address:

22 CAPUA PLACE AVALON.

Phone:

(02) 99731461.

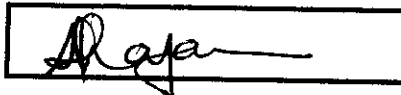
Mobile:

0407 013 787.

Fax:

Email:

Signature: ▶



Dated:

10/10/05

Owners consent

- Every owner of the land must sign this application.
- If the owner is a company, this form must be signed by an authorised director of the company.
- If the property is a unit under strata title, or a lot in a community title, this form must be signed by the chairman or the secretary of the Body Corporate or the appointed managing agent.
- If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (e.g. power of attorney, executor, trustee, company director, etc.)

I/We confirm that I am / we are the owner(s) of the above Property. I/We:

- Consent to this application and any future amendments in relation to this application;
- Consent to appoint the Tenant, the contractors and consultants who are employed/ contracted or commissioned to carry out the proposed building work, as the Owner's agent to issue Fire Safety Certificates (as required under the Environmental Planning and Assessment Regulations 2000).

Name:

HANNA HASSINI MAJAM

Name

Address:

22 CAPUA PLACE

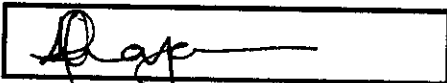
Address:

Phone:

99731461.

Phone:

Signature: ▶



Signature: ▶



Date:

10/10/05

Date:

Accredited Certifiers

PTY LTD.

Your ref. **05/130**

Notes for completing construction certificate requirements – explanations and how to obtain the requirement

1 **Development consent:**

- The development consent is the document you obtain from Council. You should phone Council first before going there and ask them exactly what you need to do before you collect the documents, or they may post them to you.
- You must also provide us with (1) copy of all stamped plans, specifications, reports, certificates and other documents which will be necessary to completely inform us of the proposed works which have been approved.

2 **Owner's consent:**

The attached application for construction certificate clearly details the Owner's consent requirements.

3 **Plans:** (Architect)

detailed plans of the building (3 copies) which must be **consistent** with the Council DA stamped plans.

The plans must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to:

- show a plan of each floor section
- show each elevation of the building
- show the level of the lowest floor, the level of any yard or unbuilt area on that floor and the level of the ground
- indicate the fire safety and fire resistance measures (if any), and their height, design and construction

4 **Coloured plans:** (Architect)

Where you propose to alter, add to or rebuild a building that is already on the land, or modify plans that have already been approved by Council or this Office, please clearly mark the architectural general plan (by colour or otherwise) to show the change you propose to make.

5 **Specifications:** (Architect)

detailed specifications of the building (3 copies)

The specifications are to:

- describe the construction (including the standards that will be met), the materials which will be used to construct the building and the methods of drainage, sewerage and water supply.

Where you propose to modify specifications that have already been approved, please mark the approved specifications (by colour or otherwise) to show the modification.

6 **Building Code of Australia Compliance:** Your architect must demonstrate full compliance with the BCA.

7 **Home Owners Warranty or Owner Builder Permit**

- Contact the Department of fair trading on 1300 554 668 or www.fairtrading.nsw.gov.au for requirements.

8 **Development consent - condition compliance:** (Normally done by the architect)

- All fees nominated on the development consent must be paid.
- Comply with the conditions which state: "submit documents prior to the issue of the construction certificate."

9 **Payments:** Please make the following payments prior to the issue of the construction certificate: (owner to do)

long service levy to construct a building, unless:

- a long service levy has already been paid for the building.
- the cost of construction is less than \$25,000.

Section 61 payments: (owner to do)

- required by City of Sydney (for projects with cost of work over \$200,000)

Any payments required under development consent conditions: (owner to do)

- Eg. Footpath damage deposit, s.94 contributions, landscape protection bonds etc.

Accredited Certifiers Professional Certification fee: (owner to do)

- Please make full payment by one of the methods nominated on the attached tax invoice.
- If we need to become involved in conflicts resulting from neighbours or the council - further fees will be incurred.

SCHEDULE 2 : AUSTRALIAN BUREAU OF STATISTICS FORM

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

Please complete the following:

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

Residential buildings only

Please complete the following details on residential structures:

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

0

1

0

Yes ☐ No ☐ NA

Yes ☐ No ☐ NA

Yes ☐ No ☒

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s):

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	☐ 11	Tiles	☐ 10	Concrete or slate	☐ 20	Timber	☐ 40
Brick (veneer)	☐ 12	Concrete or slate	☐ 20	Timber	☐ 40	Steel	☐ 60
Concrete or stone	☐ 20	Fibre cement	☐ 30	Other	☒ 80	Aluminium	☐ 70
Fibre cement	☐ 30	Steel	☐ 60	Not specified	☐ 90	Other	☐ 80
Timber	☐ 40	Aluminium	☐ 70			Not specified	☐ 90
Curtain glass	☐ 50	Other	☐ 80				
Steel	☐ 60	Not specified	☐ 90				
Aluminium	☐ 70						
Other	☐ 80						
Not specified	☐ 90						

END OF CONSTRUCTION CERTIFICATE APPLICATION

The information you provide in this application will enable your application to be assessed by the certifying authority. If the information is not provided, your application may not be accepted. Please contact us if the information you have provided in your application is incorrect or changes.

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Your ref: **05/130**

Principal Certifying Authority Service Agreement

What is this form?

This is a service agreement to be completed where Accredited Certifiers Pty Ltd are appointed as the Principal Certifying Authority ("the PCA"), in accordance with section 81 A of the Environmental Planning and Assessment Act 1979, to carry out nominated inspections of the building works and to issue required final Occupation Certificates.

When is this form required?

This agreement must be submitted with Accredited Certifiers Pty Ltd at the Notice of Commencement to start building work and before work commences.

Who signs this form?

All owner/s of the property must sign this form. Consent is provided for Accredited Certifiers Officers to enter the site to carry out building inspections.

Professional Certification fees:

Professional Certification fees are payable upon appointment and the fees are detailed in Accredited Certifiers Pty Ltd adopted fees and charges, which are consistent with the professional certification fees recommended by the Australian Institute of Building Surveyors

Customer Service:

Phone customer service on (02) 9501 6616 between 8.30am – 5.00pm Monday to Friday for any assistance required.

1.

Site details:

Full Address:

22 Capua Place Avalon

Council area:

Pittwater

1.1

Development approval/Complying Development details:

Proposed works:

Extension of existing balconies

Type of work:

Building work

Development Consent No.:

346/04

Determination date: 5 August 2005

Construction Certificate No.:

05/130

Determination date: To be advised

2.

Owner details: (to be completed by owner)

Full name/company name:

Mrs Hana Masam

Other owners name if any:

Postal Address:

22 Capua Place Avalon

Phone:

9973 1461

Mobile:

0407 013 787.

Fax:

11

Email:

Accredited Certifiers

PTY LTD.

Your ref: **05/130**

3. **Builders details: Home Owners Warranty required or Owner Builder Permit (O.B.P)**

Full personal name: C & C POPPLETON

Company name: TH BARRENSOBY CONSTRUCTIONS

Postal Address: 37 THE OUTLOOK BILGOLA

Phone: 9918 7258 Mobile: 0410 475 598

Fax: 9918 7258 Email: _____

Contractor Licence No.: 137445C O.B.P No. _____

4. **Appointment of Principal Certifying Authority ("P.C.A")**

Name: Michael Ludlow

Accreditation No.: P0130

Phone: 02 9501 66161300 304 420 Fax: 02 9501 54021300 304 620

Mobile: 0404 879 835 Email: michael.abi@optusnet.com.au

Terms and Condition of Appointment

5. **Quality of Service**

- 5.1 In consideration of you paying us our fees we agree to undertake inspections of the work during construction to determine at the times of inspections, any works required to be undertaken, before work can commence to the next stage of construction. A written report will be provided by us on site and given to your builder, who will be responsible for construction of the building with the Development Consent, Construction Certificate, Building Code of Australia and the relevant Australian Standards. Our inspection services will be carried out in a professional manner and in accordance with the Environmental Planning and Assessment Act 1979 ("Act").

6. **Building Inspections**
(See Schedule 1)

- 6.1 We will complete the checklist contained in schedule 1 to determine which inspections will be required by either this office or an accredited structural engineer.
- 6.2 You acknowledge that building inspections are to be undertaken at critical phases of the building process and that work **must not** proceed beyond each phase until any requirements of the inspection are complied with.
- 6.3 You acknowledge that it is your responsibility under this Agreement to ensure that we are given not less than 48 hours notice (excluding weekends and public holidays) of when works are ready to be inspected.
- 6.4 As the acting PCA, we may at any stage request you or your builder provide specialist reports, plans, specifications and certification of building materials, processes or works. Additional documents we may request include engineer's plans, engineering reports, engineering certification, Compliance Certificates and Fire Safety Certificates.
- 6.5 If you fail to call for an inspection required by the Development Consent conditions or this Agreement:
- (a) we may terminate this Agreement without further notice to you; or
 - (b) Penalty infringement Notices may be issued to you and/or your builder.

Accredited Certifiers

PTY LTD.

Your ref: **05/130**

7. Compliance with relevant legislation

7.1 You acknowledge that it is your responsibility (and that of your Builder or sub-contractors) to ensure that you comply with all relevant legislation, consents and approvals relating to the subject development. These include, but are not limited to, the following Acts and Regulations:

- *The Environmental Planning and Assessment Act 1979*
- *The Contaminated Land Management Act 1997*
- *The Protection of the Environment Operations Act 1997*
- *The Local Government Act 1993*
- *The Roads Act 1993*
- *The Traffic Act 1909*

7.2 You agree to immediately disclose to us any known breach of any relevant legislation or matter that may require rectification or remediation.

7.3 In the event you fail to conduct works in accordance with relevant consents, approvals, legislation and the BCA, we may refuse to issue an Occupation Certificate. We may also serve on you notices and orders with respect to your non-compliance and/or may institute legal proceedings with respect to any such breach.

8. Structural Engineering and other specialist details

(See Schedule 2)

8.1 We will complete the checklist contained in schedule 2 to determine which specialist detail is required. The details and reports which have been nominated, must be provided to us **prior to building work commencing**.

9. Compliance Certificates and Survey Reports

(See Schedule 3)

9.1 We will complete the checklist contained in schedule 3 and provide a copy to you. The survey reports and compliance certificate which have been "determined" must be produced by surveyor registered under the *Surveyors Act 1929* or accredited under the *Professional Surveyors' Occupational Association NSW Inc. Scheme*.

10. Compliance Certificates and other Certifications

(See Schedule 4)

10.1 We will complete the checklist contained in schedule 4 and provide a copy to you. To ensure compliance with the Construction Certificate and BCA, you or your Builder must provide certification to us (at the relevant sates of construction) verifying that the specialist matters nominated in the checklist have been carried out in accordance with the relevant requirements of the BCA, Australian Standards, and this agreement.

10.2 Any delays in providing the required Compliance Certificates and/or other Certificates may result in delays in you obtaining your Occupation Certificate. Any delay in the issue of Occupation Certificates may then delay the signing of the linen plans of Strata or Torrens subdivision, where such development forms part of the development consent. You acknowledge that it is your responsibility to supply all required certificates in a timely manner to enable us to process applications to occupy the building.

10.3 You acknowledge that certification must be prepared by a suitably qualified and experienced person, and must reference the relevant provisions of the BCA and Australian Standards, to the satisfaction of the PCA.

11. Occupation Certificate

11.1 You must obtain a final Occupation Certificate from us prior to the occupation or use of a new building (or part of a building), or prior to the change an existing building use/classification. Failure to obtain the required Occupation Certificate, may result in you being penalised under the Act.

11.2 You may make an application to us for an interim or part Occupation Certificate, if you would like to temporarily occupy the building. You must pay additional fees as agreed and comply with the development consent conditions, demonstrate the building is safe for occupation, to the satisfaction of the PCA.

Accredited Certifiers

PTY LTD.

Your ref: **05/130**

12. Insurance

- 12.1 You must take out and maintain, or ensure that the builder takes out and maintains, valid public liability insurance cover with respect to the Land/Property to the value of \$10,000,000.00
- 12.2 You must provide us with certificates of currency with respect to such insurance before commencing work.

13. Competent persons

- 13.1 You shall use competent persons for all aspects of the building works. Competent people means people authorised to carry out any work associated with Building Works under the Act and includes contractors.

14 Conflict resolution

- 13.1 You acknowledge that you will co-operate with our instructions within the time periods provided, with respect to any concerns from neighbouring property owners, the Local Council, or any other public person.

15 Service Agreement variations

- 15.1 The PCA is entitled to require additional certification fees if any of the following occurs:
- (a) If the building works do not commence within 60 days from the date of this agreement,
 - (b) any part of the building works are redesigned,
 - (c) more construction certificates and or complying development certificates, and/or occupation certificates are required to be issued in addition to those agreed to be issued in this agreement,
 - (d) any conflicts occur as a result of the building work and which require our involvement, any notice of order required to be issued by the PCA

16 Service Agreement Termination

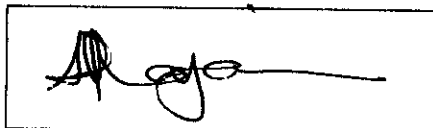
- 16.1 This agreement shall be terminated should any one of the following occur:
- (a) The client fails to pay any money owing to the PCA after 7 days of that money becoming payable;
 - (b) The client has an execution levied against it, assigns or attempts to assign its estate for the benefit of its creditors, has a winding up order made against it, goes into liquidation, has a Mortgagee taking possession of its property, has a liquidator appointed, becomes insolvent or bankrupt,
 - (c) The client breaches this service agreement in any respect,
 - (d) The client does not provide Accredited Certifiers Pty Ltd with the required information to issue the Occupation Certificate within 60 days from the date of practical completion,
 - (e) The building works take longer than (1) one year to complete from the date of this service agreement,
 - (f) The client does not co-operate with any written instructions provided by the PCA,
- 16.2 The PCA may terminate this service agreement by sending a written notice of termination, stating the breaches, to the client. Termination will take effect as soon as the client receives the Notice of Termination.
- 16.3 As from the date of the last inspection carried out on the building site by the PCA, the client indemnifies the PCA for any liabilities, including but not limited to professional liability and public liability.

Executed as an Agreement

Must be signed by all owners of the land. If the owner is a company it must be signed by a director or secretary under common seal:

*I/We agree to the appointment of the Principal Certifying Authority.
I/We also consent to the authorised officers of Accredited Certifiers Pty Ltd, to enter the property/Land to carry out inspections.*

Signature/s ▶



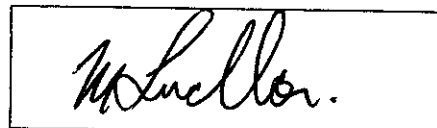
Name:

HAWA HASSIM MAJAM

Date:

10/10/05

Signature: ▶



Name:

Accredited Certifiers Pty Ltd.

Date:

13/10/05

Accredited Certifiers

PTY LTD.

Your ref: **05/130**

Schedule 1

(Clause 10)

PCA Inspections:

The following stages of construction must be inspected by us prior to proceeding to the next stage of construction, or covering up the works required to be inspected: (if marked with a ✓)

☒	Pre-commencement
☐	Foundations/footings
☐	Steel reinforcement
☐	Roof timbers
☐	Waterproofing of wet areas
☐	Hydraulics
☒	Final

Accredited Structural Engineer inspections:

The following stages of construction must be inspected by an Accredited Structural Engineer prior to proceeding to the next stage of construction, or covering up the works required to be inspected: (if ✓)

☐	Pre-commencement
☒	Foundation/footing
☒	Steel :
☐	Roof timbers
☐	Waterproofing of wet areas
☐	Hydraulics
n/a	Final

Accredited Structural Engineers details:

An Accredited structural engineer is permitted to do inspections instead of the PCA providing he forwards his details, as requested below, before building work commences.

Full personal name: _____

Company name: _____

Postal Address: _____

Phone: _____

Mobile: _____

Fax: _____

Email: _____

Accreditation no. _____

Schedule 2

(Clause 13)

Pre – Commencement documents:

The following details (if marked with a ✓) must be forwarded to us **prior to the commencement of construction**, to confirm with us your compliance with the relevant provisions of the BCA and Australian Standards

☐	Dilapidation report	☐	Details of fire resisting construction
☐	Site management plan	☐	Sound transmission and insulation details
☐	Sediment control plan	☐	Acoustic engineers details
☐	Engineering details for shoring/underpinning	☐	Disabled access details
☐	Engineering details including all proposed elements	☐	Adaptable housing details
☐	Hydraulics details	☐	Mechanical ventilation details
☐	Sydney water notice of requirements	☐	Energy efficiency details
☐	Road/footpath and driveway details	☐	Swimming pool safety requirements

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Your ref: 05/130

Schedule 3

(Clause 14)

Registered surveyors reports:

To ensure that the height, bulk, area, and location of the development complies with the Development Consent or Complying Development Certificate, the following survey reports are required to be submitted to Accredited Certifiers.

- | | |
|-------------------------------------|---|
| ☐ | Survey showing the setting out of the development including bearing and distances from boundaries. |
| ☐ | Survey showing the height and location of the formwork for floors of the building works including any basements |
| ☒ | Survey showing the location of external walls, new fences and retaining walls within 200mm of any boundary. |
| ☐ | Survey showing the location of the ridge level (highest point of the building). |
| ☐ | Survey showing the height (the reduced level) and location of the swimming pool coping before concrete pour. |

Schedule 4

(Clause 14)

Final Compliance Verification:

If Accredited Certifiers Pty Ltd are unable to inspect the following matters, An Accredited Certifiers Officer will mark the following matter with a [x] to indicate a compliance certificate must be submitted from a competent person, prior to the issue of an occupation certificate by this office, confirming compliance with the BCA and relevant Australian Standards.

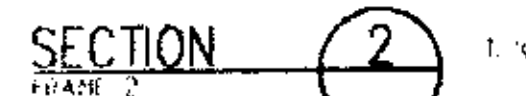
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|-------------------------------------|---|
| ☐ | 3.1.3 <u>Termite risk management</u> |
| ☐ | 3.3.4 <u>Weatherproofing of masonry</u> |
| ☐ | 3.5.1 <u>Roof cladding</u> |
| ☐ | 3.5.2 <u>Gutters and downpipes</u> |
| ☐ | 3.5.3 <u>Wall cladding</u> |
| ☐ | 3.6.0 <u>Glazing</u> |
| ☐ | 3.7.1 <u>Fire separation</u> |
| ☐ | 3.7.2 <u>Smoke alarms</u> |
| ☐ | 3.7.3 <u>Heating appliances</u> |
| ☐ | 3.8.1 <u>Wet area</u> |
| ☐ | 3.8.3 <u>Facilities</u> |
| ☐ | 3.8.4 <u>Light</u> |
| ☐ | 3.8.6 <u>Sound insulation</u> |
| ☐ | 3.9.1 <u>Stair construction</u> |
| ☒ | 3.9.2 <u>Balustrades</u> |



ρ_{11}	$\frac{1}{2}(1 + \mu_1 + \mu_2) + \frac{1}{2}(\mu_1 - \mu_2)^2$
ρ_{12}	$\frac{1}{2}(\mu_1 + \mu_2) + \frac{1}{2}(\mu_1 - \mu_2)^2$
ρ_{22}	$\frac{1}{2}(1 + \mu_1 + \mu_2) + \frac{1}{2}(\mu_1 - \mu_2)^2$
ρ_{33}	$\frac{1}{2}(1 + \mu_1 + \mu_2) + \frac{1}{2}(\mu_1 - \mu_2)^2$



P1	1000 19	800 CF
P1	150 PFC (GALV)	
P2	200 PFC (GALV)	
3K	65 x 65 x 65	
B3	250 PFC (GALV)	
B4	200 UB (GALV)	



Accredited Certifiers

Ph: 02 9501 6616

Fax: 02 9501 5402

These plans have been relied upon by Accredited Certifiers for the issue of the Construction Certificate.

FOUNDATIONS

1. Structural drawings are based on and shall be read in conjunction with all approved Architectural drawings, specifications, and other written instructions or may issued during the course of the contract.
2. The Engineer shall be taken to have approved the Architectural drawings or the actual work. The Builder must verify all dimensions on site before commencing any work.
3. Lines and locations of existing work is shown on the drawings or indicative only. The Engineer is to check and certify the adequacy of the existing structures is not covered in these drawings U.N.O.
4. Any certified design details and certified drawings for the proposed new work shall be shown for confirmation on site.
5. The details shown on the drawings cover the extent of the new structural work. Existing work is not included, unless noted, in the new work.
6. The construction shall follow the member sizing and design intent as shown on the drawings.
7. As work shall be in accordance with The Building Code of Australia, current relevant S.A. Codes and those of all Statutory Authorities having jurisdiction over the work.
8. Substitutions, where necessary, shall be approved by the Engineer, and obtained for by the Builder in his tender.
9. Approval given on shop drawings covers structural details only and does not include dimensions and detail.
10. During construction, the structure shall be maintained in a safe and stable condition and shall not be overstressed. If the work shown on the drawings is to be built in stages, the Engineer shall be consulted on adequacy of the staged works.
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100. The Engineer shall be consulted on the adequacy of the staged works.

FOUNDATIONS

1. CONCRETE
- Concrete requirements are to be approved for the following state bearing pressures prior to placement of concrete
- | | | | |
|---------------------|-----|---------------|---------|
| Step Footings | WFO | Pod Footings | 400 kPa |
| Slabs | WFO | Haar Slabs | WFO |
| Edge Beams to Slabs | WFO | Ribs to Slabs | WFO |
2. Soil classification in accordance with A.S.2870.2
3. WFO reinforcement for step footings and to beams and ribs in slabs on ground shall be lapped full width at corners and intersections and 500mm of splice, and shall be carried continuously through any intersecting pod footing.

CONCRETE

1. All workmanship, materials and testing shall comply with A.S. 3100
2. Concrete shall have the following properties and shall attain the specified strength in 28 days.

Location	N	Stump (mm)	Aggregate Size (mm)	r ² (mm ²)

3. Unless otherwise shown, clear concrete cover to all reinforcement shall be as follows:

Structural Member	Clear concrete cover (mm) for concrete cast			
	Exposure Classification	Formed and Shuttered	Formed and Exposed	Not formed

4. Where noted, exposed sidewalk shall have 100mm concrete cover with 130mm #10 bars.
5. Cover shall be maintained by the use of approved supports in shape of aluminum mushroom clips. Pipes, conduits etc. are not to be placed in concrete. Place 100mm square plywood mat over pipes under chairs in contact with the ground or membrane.
6. All slabs and supporting beams shall be poured together and pre-cleaned to remove dirt and oils shall be provided as specified.
7. Reinforcement detailing is as follows:
a. W_c = structural gross width of slab $A_{SL} = 1300$ sq. mm
 T_c = defined bar to $A_{SL}/302$; grade #402; $f_y = 275$ MPa;
 $f_c = 40$ MPa;
 b = third down from top; $f_y = 275$ MPa;
 $f_c = 40$ MPa;
Reinforcement shall be supplied in flat slabs only, and placed with chairs, not to extend to edge, specified cover. Rectangular mesh is to be placed with chairs inside to corners with 130mm.
8. Reinforcement laplace and construction joints shall not be made in the center of the span. The Engineers approval of splice and lap length is to be provided. The length of the lap shall be 40 times the standard bar size and laps ($A_{SL}/302$) will be accepted U.N.C.
9. Reinforcement shall be securely tied at all spans and intersections with 120mm galvanized wire.
10. Framework used for structure members shall comply with A.S.15649 and all structural members shall comply with Table 4.2 of A.S.15639.
11. Approved reinforcement equipment:

STEELWORK

- [illegible]

MASONRY

- MASONRY**
1. Masonry shall be in accordance with AS1300.
 2. Clay building bricks shall form a minimum compressive strength of M4000 to M4500 and concrete masonry units shall be Grade 12 units (to AS 2759).
 3. Mortar to masonry shall be (External) Lime based (not for internal).
 4. Unreinforced masonry 1: 1 1/2 : 3
 5. Reinforced masonry 1: 1 1/2 : 3
 6. Use as noted otherwise
 7. Non loadbearing masonry partitions are to be kept minimum 120mm clear to the structural frame.
 8. In all masonry, provide joint reinforcement and bond between masonry courses with a mesh in the masonry unit manufacturer's recommendations.
 9. In reinforced masonry, grout shall have a minimum compressive strength of 40 MPa and a minimum cement content of 300 kg/m³ and sufficient water to provide a properly placed grout. It will enable the cores and columns to be cast in-situ.
 10. Cleanout and temporary openings are to be provided at the basis of all concrete and masonry columns and cores. Blind panels and payments at structural members are to be fully detailed and cast in the cores.
 11. All walls and masonry located below ground are to be treated with suitable waterproofing.

TIMBER

1. All work shall conform to A.S.1720 and A.S.1684
2. All timber members not nominated shall conform to the requirements of A.S.1684

PLAN ON DOCUMENT CERTIFICATION I am a certified <u>STRUCTURAL ENGINEER</u> I hold the following qualifications <u>SEE MBE Aust</u> Further, I am appropriately qualified to certify the competent of the project I hereby declare that these plans as shown comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian industry standards. Dated: <u>21/10/04</u> Signature: <u>[Signature]</u> Date: <u>21/10/04</u> Name: <u>[Name]</u>		Builder must verify all dimensions of the Job before commencing any work shown herein. DO NOT SCALE IF IN DOUBT ASK  ORIENTATION		D O'BRIEN ENGINEERING SERVICES PTY. LTD. CONSULTING STRUCTURAL ENGINEER A.C.N. 000 528 876 6/319 CONDOMINE ST. MANLY VALE NSW 2093 PH (02) 9907 6947 FAX (02) 9907 6940 P.O. BOX 326 MANLY 1655 DISIGNED: DOB DATE: SEP. 2004 DRAWN: MK SCALE: AS NOTED REF: []		PLANS AND DETAILS PROPOSED BALCONY EXTENSION No. 22 CAPUA PLACE AVALON BEACH N.S.W. 2107 IN DATE: 10/10/04 SET OF: 3 DRAWING NUMBER: 2369-1	
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These plans have been relied upon by Accredited Certifiers for the issue of the Construction Certificate.

TIMBER

1. All work shall conform to AIA 1990 and AIA 1994.
2. All timber members of round and square shall be of the following sizes: 8" x 8"

PLANS AND DETAILS			
PROPOSED BALCONY EXTENSION No. 22 CAPUA PLACE AVALON N.S.W. 2107			
10/10/04	3	2369-2	1

GENERAL NOTES

GENERAL

- Structural drawings are based on and shall be read in conjunction with all approved Architectural drawings, specifications, and other written instructions as may issued during the course of the contract.
- Dimensions shall be taken from the Architectural drawings or the actual work. The builder must verify all dimensions on site before commencing any work.
- Lines and locations of existing work is shown on the drawings as indicative only. The builder is to check and refer any discrepancies to the engineer.
- The adequacy of the existing structures is not covered in these drawings U.N.O.
- Only certified design details and certified drawings for the proposed new work shall be used for construction on site.
- The details shown on the drawings cover the extent of the new structural work. Existing work is not included, unless noted, in the new work.
- The construction shall follow the member sizing and design intent as shown on the drawings.
- All work shall be in accordance with The Building Code of Australia, current relevant S.A.A. Codes and Rules of all Statutory Authorities having jurisdiction over the work.
- Substitutions, where necessary, shall be approved by the Engineer, and allowed for by the builder in his tender.
- Approval given on shop drawings covers structural detail only and does not include dimensions and setbacks.
- During construction, the structure shall be maintained in a safe and stable condition and shall not be over-stressed if the work shown on the drawings is to be built in stages, refer to the engineer for advice on adequacy of the staged works.
- be used for construction on site.

FOUNDATIONS

- Foundation materials are to be approved for the following safe bearing pressures prior to placement of concrete.
- Site classification in accordance with A.S.2870 is:
- U.N.O. reinforcement for strip footings and to beams and ribs to slabs on ground shall be lapped full width at corners and intersections and 500mm at splices, and shall be carried continuously through any intersecting pad footing.

CONCRETE

- All workmanship, materials and testing shall comply with A.S.3600.
- Concrete shall have the following properties and shall attain the specified strength (N) at 28 days.

Location	N	Slump (mm)	Aggregate Size (mm)	F _c (MPa)
Strip Footings	400	100	20	40
Pad Footings	400	100	20	40
Piers	400	100	20	40
Edge Beams to Slabs	400	100	20	40

- Unless otherwise shown, clear concrete cover to all reinforcement shall be as follows:

Structural Member	Clear concrete cover (mm) for concrete cast	Exposure	Formed and Cured	Formed and Not Cured
		Sheltered	Exposed	Exposed

- Where noted, encased steelwork shall have 50mm concrete cover with FOM41, 20 cover.
- Cover shall be maintained by the use of approved spacers or chairs at 800mm maximum c/c. Pipes, castable slabs, are not to be placed in cover concrete. Provide 100mm square galvanneal metal pads under chairs in contact with the ground or membrane.
- All slabs and supporting beams shall be poured together and pre-camber to beams and slabs shall be provided as specified.
- Reinforcement notation is as follows:
R - structural grade steel bars to A.S.1302 f_y = 250MPa
T - deformed bar to A.S.1302 Grade 400T f_y = 400MPa
F - hard drawn wire fabric to A.S.1304 f_y = 450MPa
Fabric is to be supplied in flat sheets only, and placed with edge wires located at the specified cover. Rectangular mesh is to be placed with main wires closest to concrete surface.
- Reinforcement splices and construction joints shall not be relocated or added without the Engineer's approval. Splices in reinforcement are to develop the full strength of the bar being spliced and standard hooks and caps (A.S.3600) shall be adopted U.N.O.
- Reinforcement shall be securely tied at all laps and intersections with 1.25mm twisted wire.
- Formwork used for structural members shall comply with A.S.1509 and stripping of formwork shall comply with Table 4.2 of A.S.1509.
- Concrete shall be separated from supporting masonry by 2 layers of bituminous felt or approved equivalent.
- Masonry shall not be built off supporting concrete until all props and formwork have been removed and the concrete has gained the specified strength (N).

STEELWORK

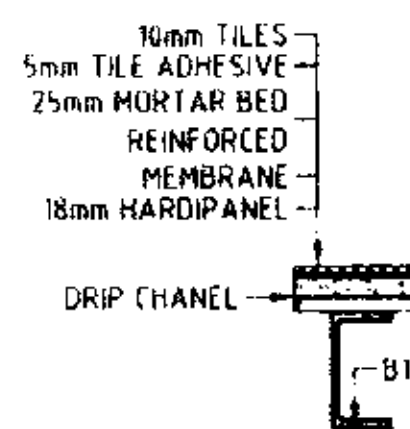
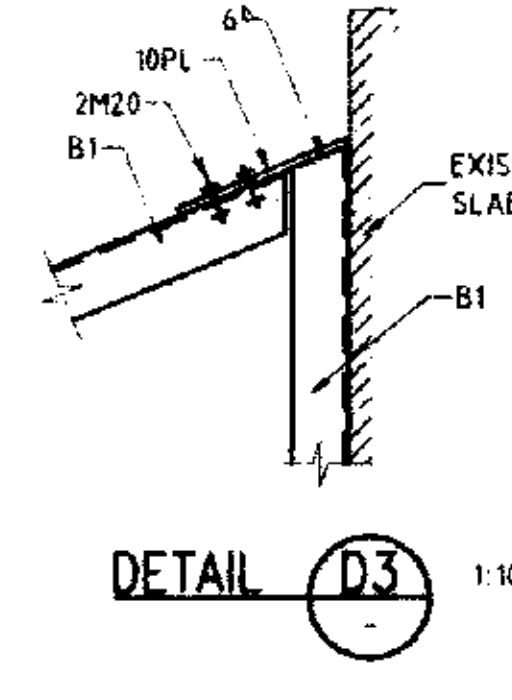
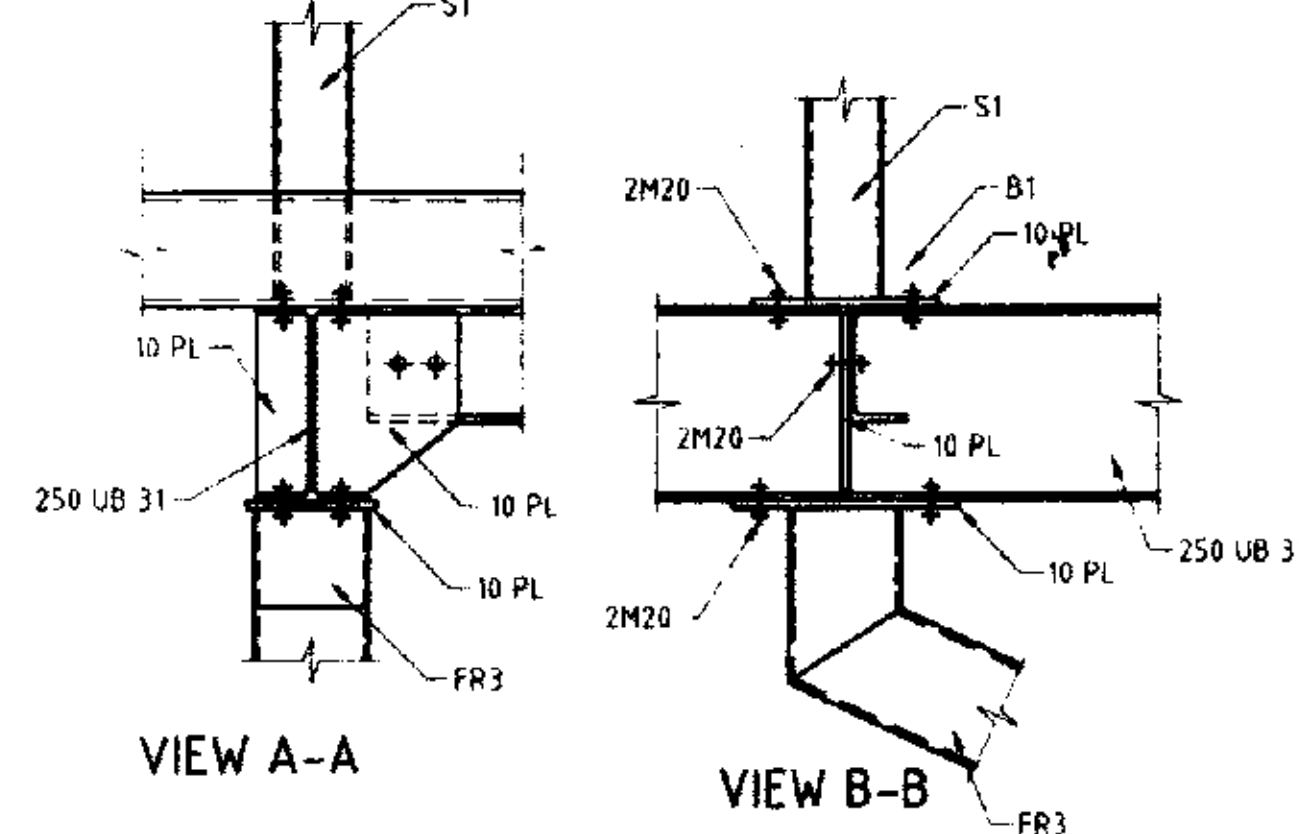
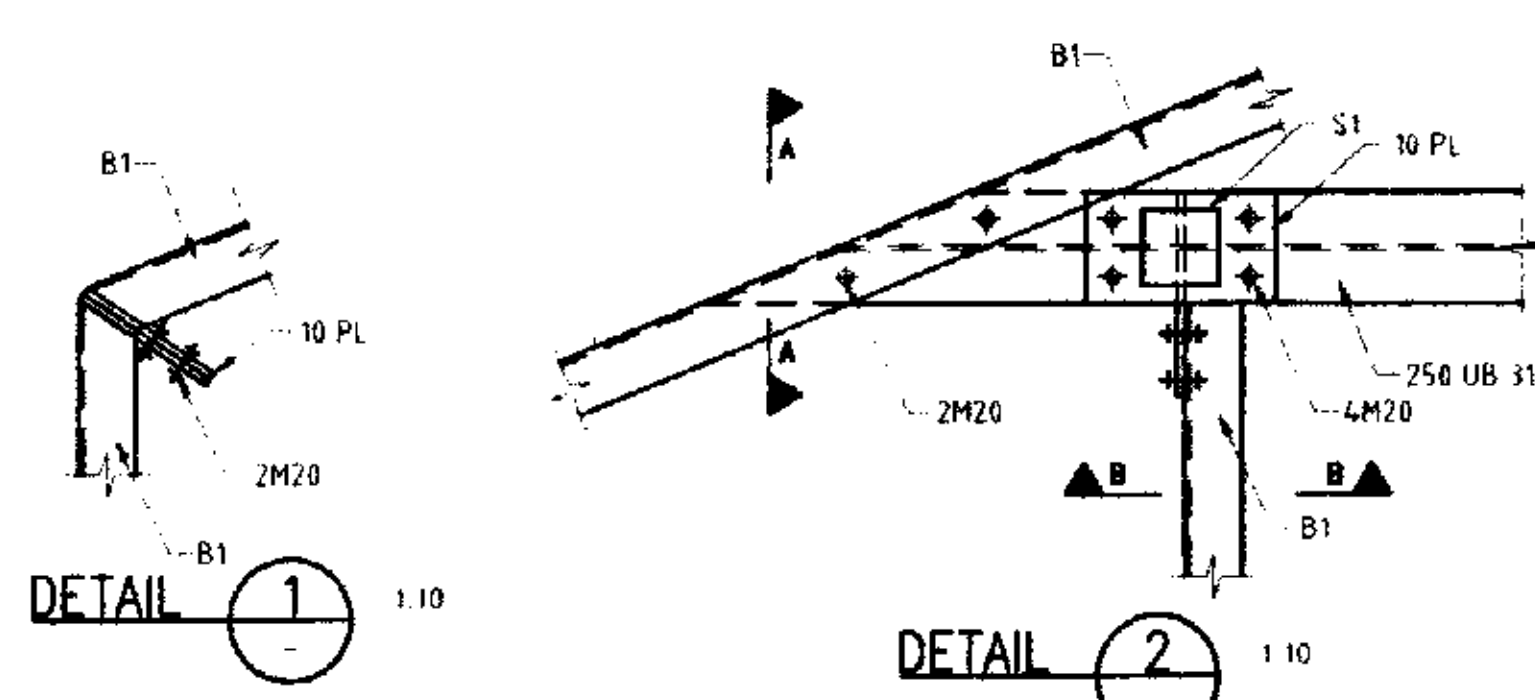
- All steelwork shall be in accordance with A.S.4100. Steel shall comply with A.S.1204 and hollow sections shall be manufactured to A.S.1193 Grade 350, U.N.O.
- U.N.O. welds shall be 6mm continuous fillet welds Category (B) or (C) full perimeter of contact with E4110 electrodes. All welding shall be in accordance with A.S.1554. All butt welds and all fillet welds 6mm and over shall be Category SF.
- U.N.O. use black bolts, grade 4.6/s to A.S.1111 in 2mm clearance holes. (4.6/s)
Notation for high strength bolts is as follows:
8.8/s High Strength Bolts in friction grip mode
8.8/T High Strength Bolts in tension mode
8.8/B High Strength Bolts in bearing mode
The nominal bolt diameter is denoted thus: M20 = 20mm.
Attention is drawn to the use of Hard Grade washers with High Strength bolts.
All exposed bolts are to be galvanneal U.N.O.
- U.N.O. use a minimum connection consisting of 10mm cleat plates, 60T/E, and 2 M¹² 4.6/s bolts.
- Two copies of shop drawings are to be approved by the Engineer prior to the commencement of fabrication.
- U.N.O. use all tubes with 5mm plate and continuous fillet weld.
- Steelwork below ground shall have 75mm concrete encasing with FOM41 wrapping centrally placed.
- U.N.O. beams and lintels to bear a minimum of 230mm on brickwork on a bed of 12mm of 2:1 sand / cement mortar.
- Masonry ties shall be welded to all steelwork in contact with masonry walls. U.N.O. use 3.25mm U shaped galvanneal ties anchored 75mm into masonry of 400mm maximum c/c.
- Provide pre-camber to steelwork as noted or specified.
- Provide all necessary cleats, holes etc. as required for fixing of timber and finishes to steelwork.
- U.N.O. all steelwork shall be thoroughly cleaned of rust, scale and grease and shall have one coat of red oxide zinc chromate primer except for concrete encased steelwork, galvanneal steelwork, and mating steel surfaces connected together with 8.8/T/B bolts. Priming is to be touched up on completion of erection. All exposed steelwork and external lintels shall be galvanneal (refer to details).

MASONRY

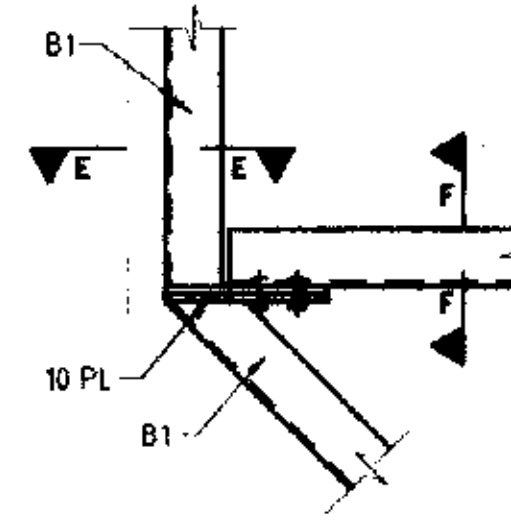
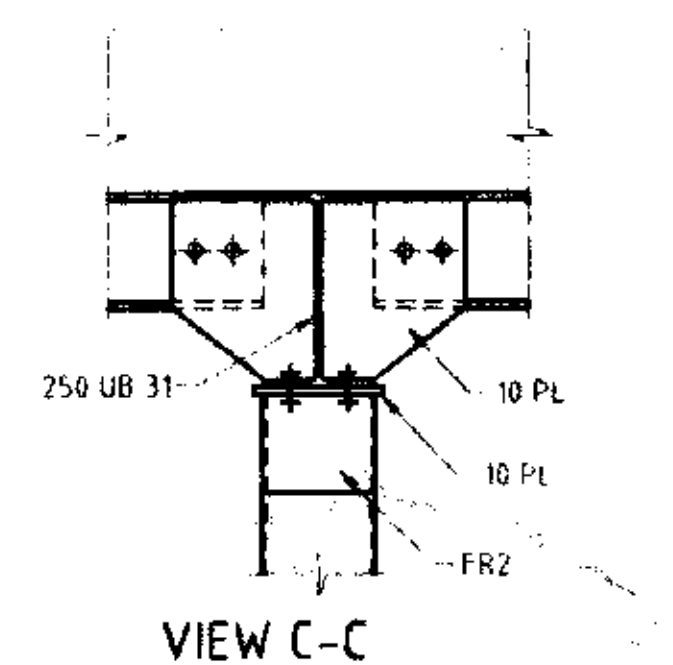
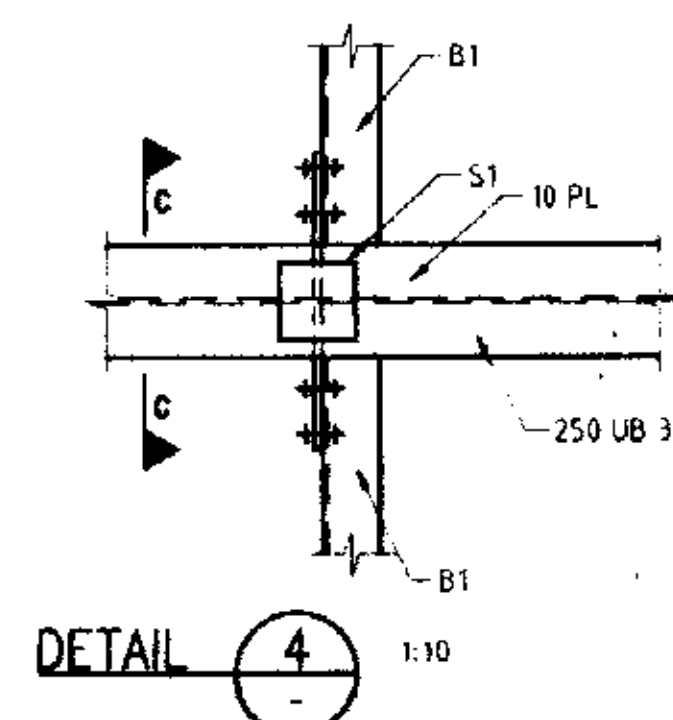
- Masonry shall be in accordance with A.S.3700.
- Clay building bricks shall have a minimum compressive strength of 30MPa to A.S.1225, and concrete masonry units shall be Grade 12 units to A.S.2733.
- Mortar to masonry shall be (Cement : Lime : Sand) as follows:
Unreinforced masonry 1 : 1 : 6
Reinforced masonry 1 : 1/4 : 3
Unless noted otherwise.
- Non-loadbearing masonry partitions are to be kept minimum 12mm clear of the soffit of any structural member over.
- In all masonry, provide joint reinforcement and hand beams in accordance with A.S.3700 and the masonry unit manufacturers recommendations.
- In reinforced masonry, grout shall have a minimum compressive strength (F_c) of 12MPa with a minimum cement content of 300kg/m³ and sufficient water to provide a pouring consistency that will enable the cores and cavities to be completely filled.
- Cleanout and inspection openings are to be provided at the base of all reinforced and grouted cavities and cores. Bed joints and perpends in reinforced masonry are to be full width and shall not be raised.
- All cavities in masonry located below ground are to be filled with mortar or grout.

TIMBER

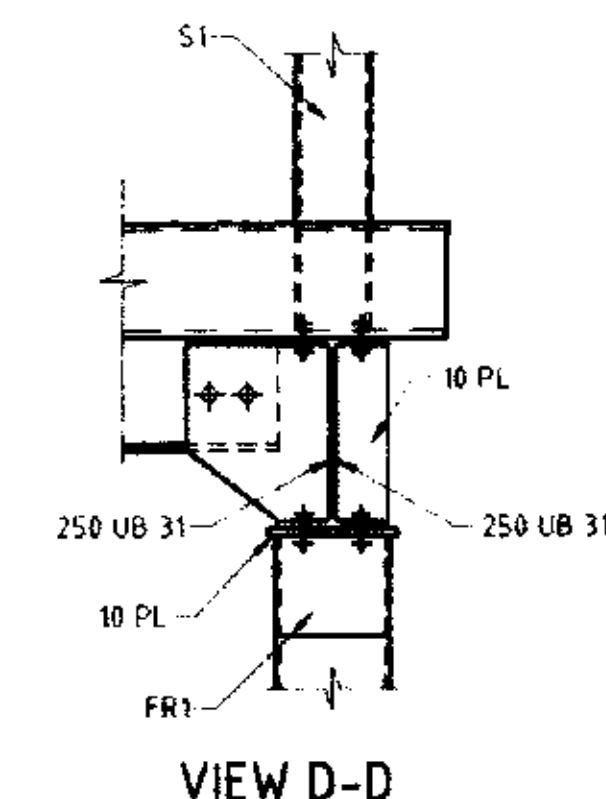
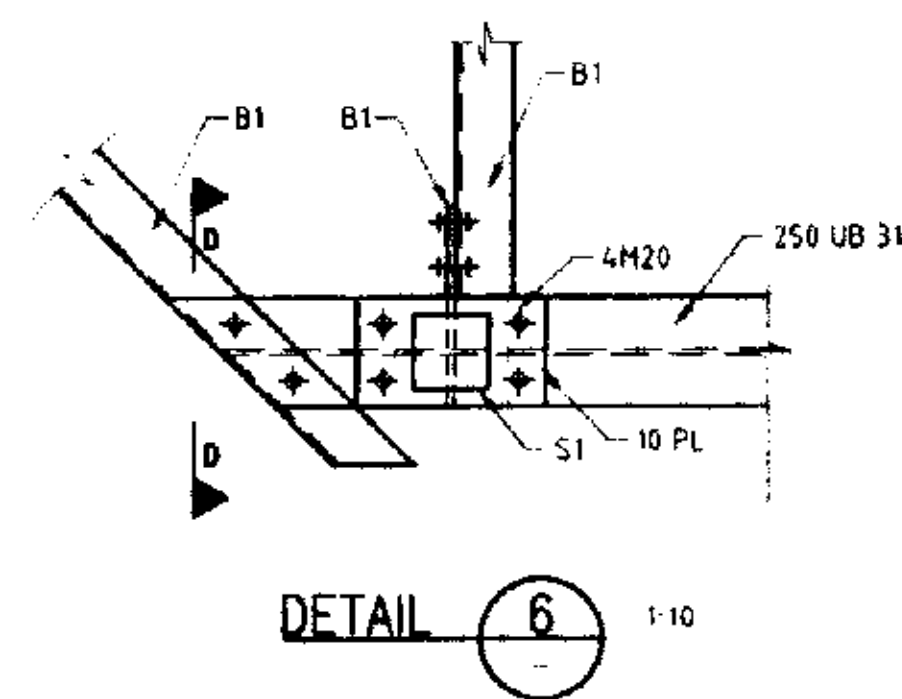
- All work shall conform to A.S.1720 and A.S.1684.
- All timber members not rip-sawn shall conform to the requirements of A.S.1684.



EDGE DETAIL



VIEW E-E



VIEW D-D

REV	DESCRIPTION	DATE
1	CONSTRUCTION CERTIFICATE ONLY	10/10/04

PLAN OR DOCUMENT CERTIFICATION I am a certified STRUCTURAL ENGINEER and hold the following qualifications: B.E. M.E. Aust. Further I am appropriately qualified to certify this component of the project. I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian industry standards. DRAWN: DOB 27.10.04 NAME: _____ SIGNATURE: _____ DATE: _____		Builder must verify all dimensions at the Job before commencing any work shown hereon. DO NOT SCALE IF IN DOUBT ASK	 ORIENTATION	COPYRIGHT THE DESIGN AND INFORMATION SHOWN ON THESE DRAWINGS MAY NOT BE REPRODUCED OR UTILIZED IN WHOLE OR IN PART OR BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN PERMISSION OF D O'BRIEN ENGINEERING SERVICES PTY LTD. DESIGNED: DOB DATE: SEP. 2004 DRAWN: MK SCALE: AS NOTED REF. NO.: _____ ROLE NO.: _____	D O'BRIEN ENGINEERING SERVICES PTY. LTD. CONSULTING STRUCTURAL ENGINEERS A.C.N. 000 526 876 6/319 CONDOMINE ST. MANLY VALE NSW 2093 PH (02) 9907 6947 FAX (02) 9907 6948 P.O. BOX 326 MANLY 1655	PLANS AND DETAILS PROPOSED BALCONY EXTENSION No. 22 CAPUA PLACE AVALON BEACH N.S.W. 2107 PLOT DATE: 10/10/04 SET OF: 3 DRAWING NUMBER: 2369-3 REV: 1
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Accredited Certifiers

PA 02 9501 6616
FAC 02 9501 5402

Construction Certificate

Signed: *[Signature]*

Dated: 14/10/05

Accreditation no. 80130

The builder must construct the building in accordance with the Building Code of Australia and the Council Development Consent Conditions.



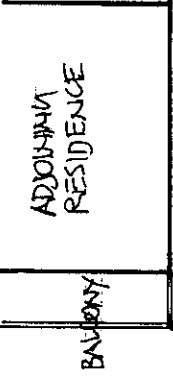
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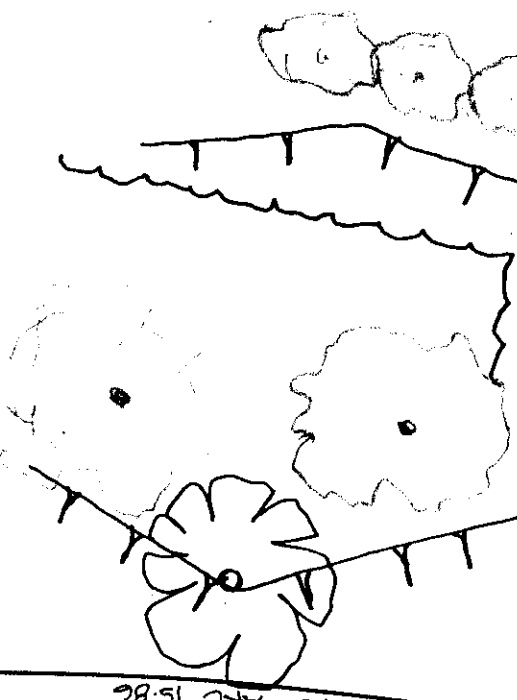
Colorbond



PILKINGTON



EXISTING RESIDENCE



EXISTING RESIDENCE

DRIVEWAY

PALM TREE TO BE REMOVED

SEWER PITCHQUE

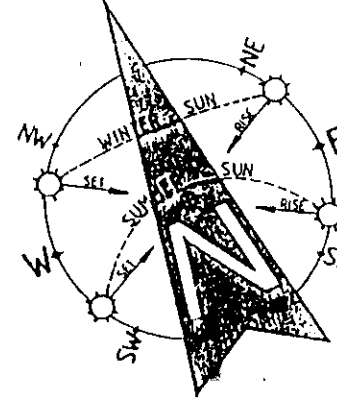
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DECK

ADJOINING RESIDENCE

CARAGE

BALCONY



SITE PLAN

TOT 18 M D.P. 219898

DEVELOPMENT CALCULATIONS			
DESCRIPTION	EXISTING sqm	PROPOSED sqm	
FLOOR AREA	306	NO INCREASE	
ROOF AREA	196	II	
SITE COVERAGE (HARD SURFACE ETC)	332 (29%)	348 (30%)	
LANDSCAPING AREA	798 (70%)	782 (68%)	
SITE AREA	1147	NOT APPLICABLE	

Note - the Works will be carried out in accordance with the relevant sections of the Building Code of Australia.

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to the building and its contents are subject to verification by a site survey.
3. All work to be in accordance with the BUILDING CODE OF AUSTRALIA & the specifications of the relevant standards & other authorities.
4. All work to be in accordance with the BUILDING CODE OF AUSTRALIA & the specifications of the relevant standards & other authorities.
5. Any building to be constructed shall be in accordance with the "Standard Plans" and the builder to the owner's approval, except for any alterations to the design which shall be the responsibility of the Structural Engineer.
6. The builder is required to ensure that the building is constructed in accordance with the approved plans and specifications.
7. All construction work shall be completed by the date specified in the contract.
8. The builder is responsible for obtaining all necessary permits and approvals.

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THESE DRAWINGS IN ANY MANNER WITHOUT
THE WRITTEN PERMISSION OF J.D. EVANS
PRIOR WRITTEN PERMISSION WILL RESULT IN
LEGAL PROCEEDINGS.
J.D. EVANS AND COMPANY PTY. LTD.
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 048 976 596

NO.	REVISION	DATE

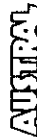
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BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 048 976 596

PROFESSIONAL ENGINEER
J.D. EVANS

PROJECT
PROPOSED BALCONY EXTENSION
No. 22 CAPUA PLACE
AVALON BEACH N.S.W. 2107
CLIENT
HAWA MAJAM

DRAWING NO.
478-01

DATE 14/10/05	SCALE 1:200
DRAWN JDE	CHECKED
DRAWING NO. 478-01	ISSUE



Accredited Certifiers PERKINGTON PTY. LTD.

Ph: 02 9501 6616
Fax: 02 9501 5402

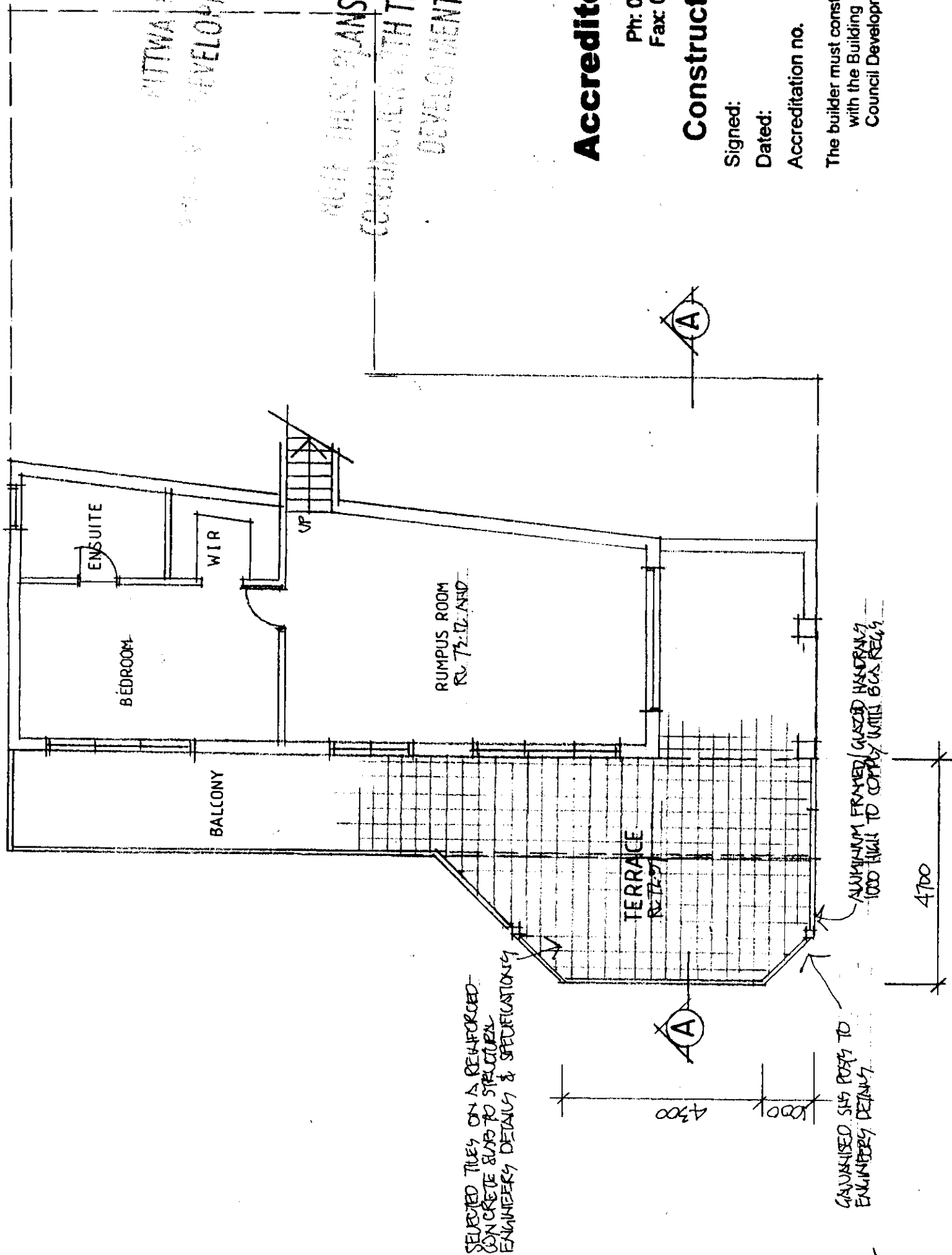
Construction Certificate

Signed: *WFL*

Dated: *14/10/05*

Accreditation no. *PO 130*

The builder must construct the building in accordance with the Building Code of Australia and the Council Development Consent Conditions.



LOWER GROUND FLOOR PLAN

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to the building and construction are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All building construction to be in accordance with the "BUILDER'S RESPONSIBILITY" code.
5. Any building to be constructed shall be designed and constructed in accordance with the builder's approval, except for the building's structural design which shall be designed and constructed in accordance with the structural engineer's approval.
6. All building & structural design shall be designed and constructed in accordance with the structural engineer's approval.
7. All building & structural design shall be designed and constructed in accordance with the structural engineer's approval.
8. All building & structural design shall be designed and constructed in accordance with the structural engineer's approval.

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J.D. EVANS and COMPANY PTY. LTD.
100 Victoria Road, Avalon Beach, NSW 2107
Phone: (02) 9918 9206 Fax: (02) 9913 2454
Mobile: 048 976 596

NO.	REVISION	DATE



J.D. EVANS and COMPANY PTY. LTD.

BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone: (02) 9918 9206 Fax: (02) 9913 2454
Mobile: 048 976 596

PROJECT
PROPOSED BALCONY EXTENSION
No. 22 CAPUA PLACE
AVALON BEACH N.S.W. 2107
CLIENT
HAWA MAJAM

DATE: 14/10/05
SCALE: 1:100
DRAWN: JOE
CHECKED:
DRAWING No.:
ISSUE:
478-02



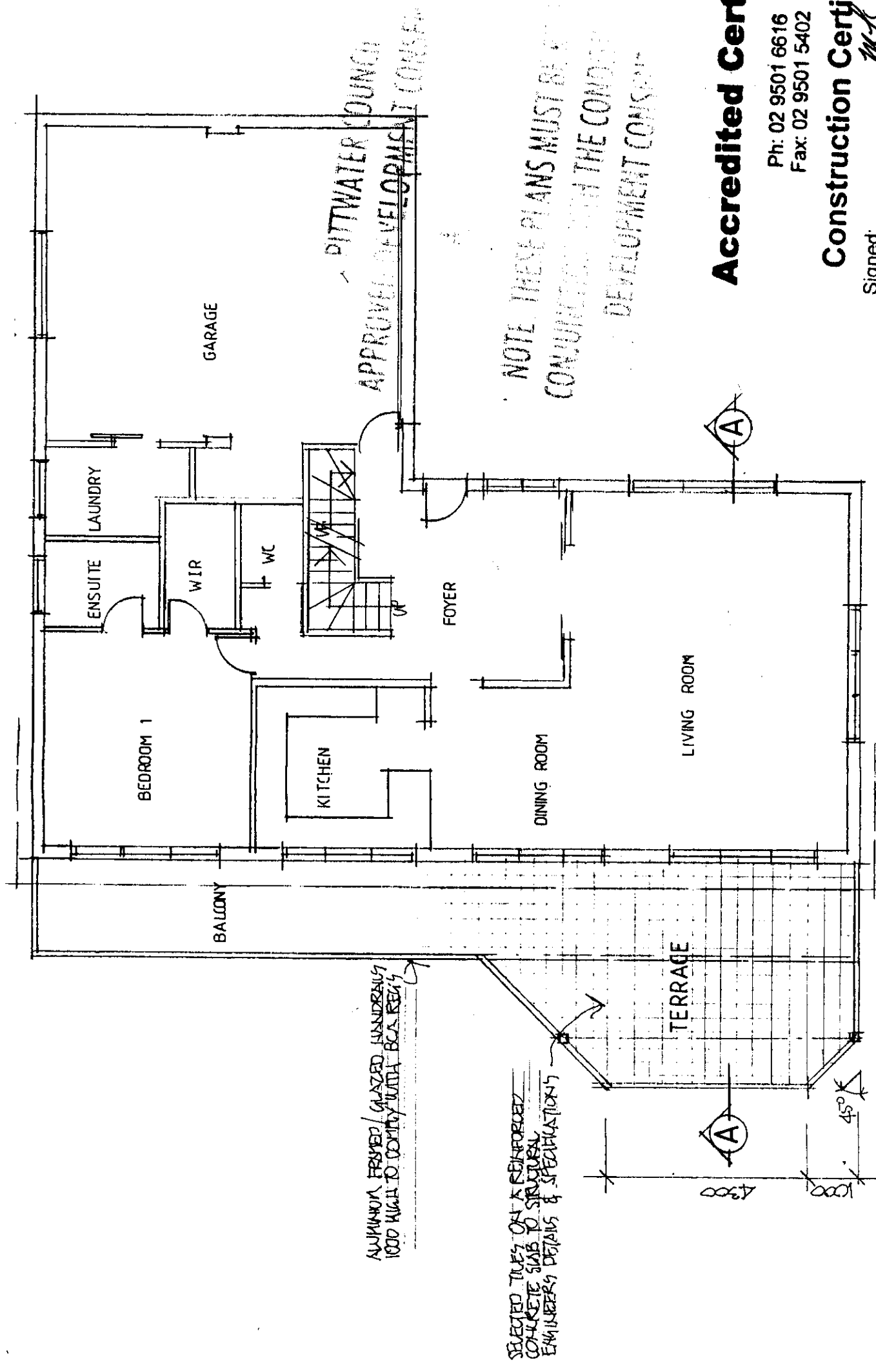
Accredited Certifiers

Ph: 02 9501 6616
Fax: 02 9501 5402

Construction Certificate

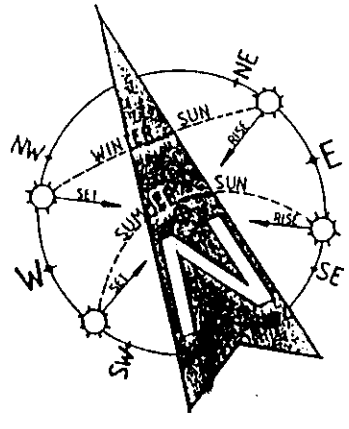
Signed: *WJ*
Dated: 14/10/03
Accreditation no. 90130

The builder must construct the building in accordance with the Building Code of Australia and the Council Development Consent Conditions.



UPPER GROUND FLOOR PLAN

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING



- 1. Builder to submit and obtain all necessary documents on site prior to construction. Do not scale the drawing.
- 2. All dimensions are to be taken from the building code of Australia & to the satisfaction of local council requirements & other authorities.
- 3. All dimensions are to be taken from the building code of Australia & to the satisfaction of local council requirements & other authorities.
- 4. All dimensions are to be taken from the building code of Australia & to the satisfaction of local council requirements & other authorities.
- 5. Any building in addition to that shown on the drawing is to be the responsibility of the owner and the builder is to be notified by a Structural Engineer.
- 6. Read notes & details carefully to be determined by the owner & the builder is to be notified by a Structural Engineer.
- 7. All dimensions are to be taken from the building code of Australia & to the satisfaction of local council requirements & other authorities.
- 8. Make good and repair all existing features damaged by the work. Remove existing materials where possible.

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ALL PLANS AND DRAWINGS ARE SUBJECT OF ALL RIGHTS AND INTERESTS OF J.D. EVANS AND COMPANY PTY. LTD. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF J.D. EVANS AND COMPANY PTY. LTD. LEGAL PROCEEDINGS.

NO.	REVISION	DATE



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BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE. AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 041 976 596

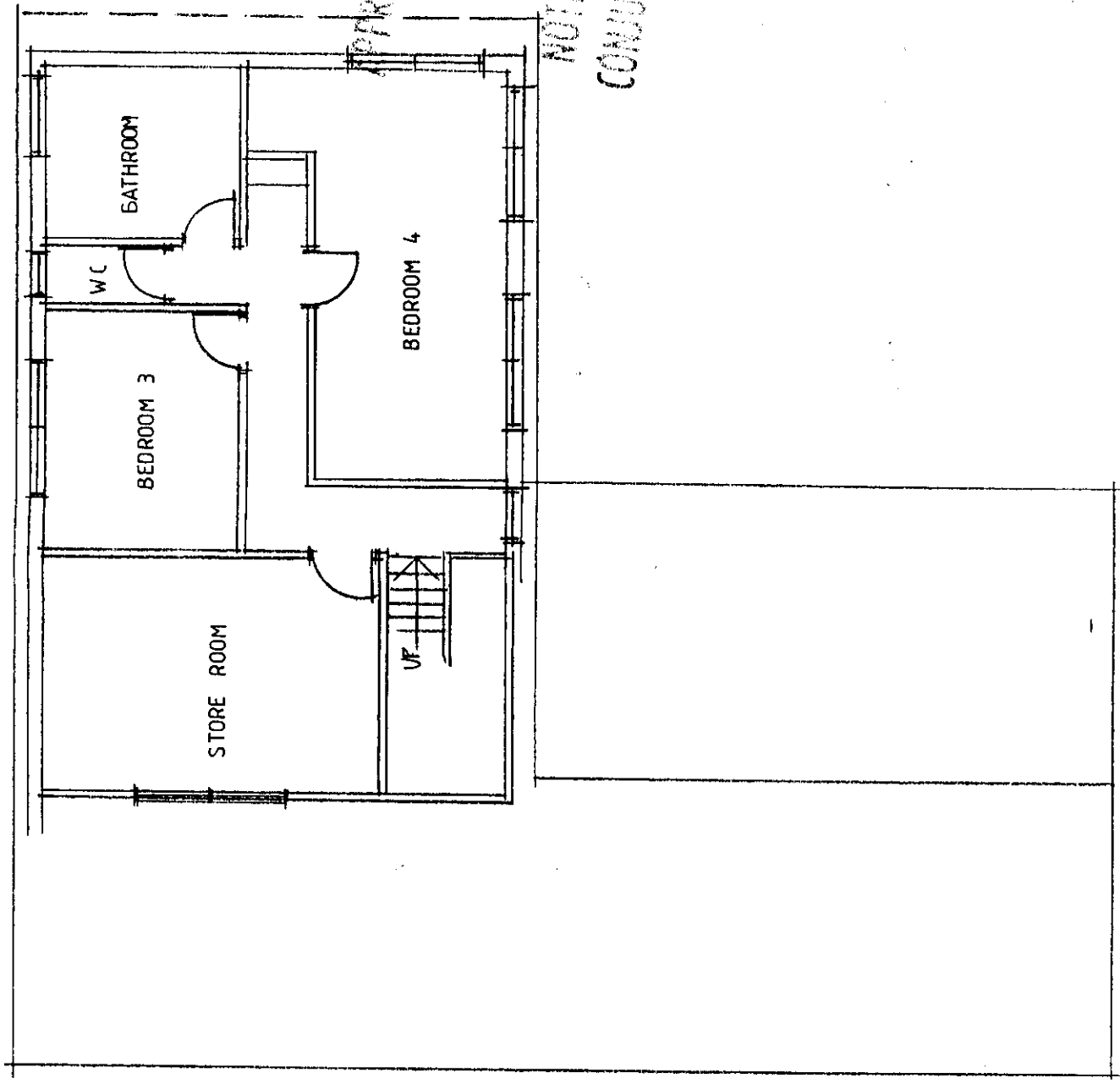


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BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE. AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 041 976 596

PROJECT
PROPOSED BALCONY EXTENSION
No. 22 CAPUA PLACE
AVALON BEACH N.S.W. 2107
CLIENT
HAWA MAJAM

DRAWING NO.
478-03

DATE	14/10/03	SCALE	1:100
DRAWN	JDE	CHECKED	
ISSUE			



PITTWATER COUNCIL
APPROVAL DEVELOPMENT CON
NOT FOR CONSTRUCTION
THIS MUST BE
CONSTRUCTION

Accredited Certifiers

Ph: 02 9501 6616
Fax: 02 9501 5402

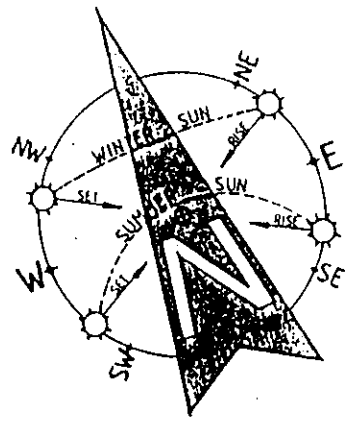
Construction Certificate

Signed: *[Signature]*
Dated: 14/10/05
Accreditation no. 80130

The builder must construct the building in accordance with the Building Code of Australia and the Council Development Consent Conditions.

FIRST FLOOR PLAN

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING



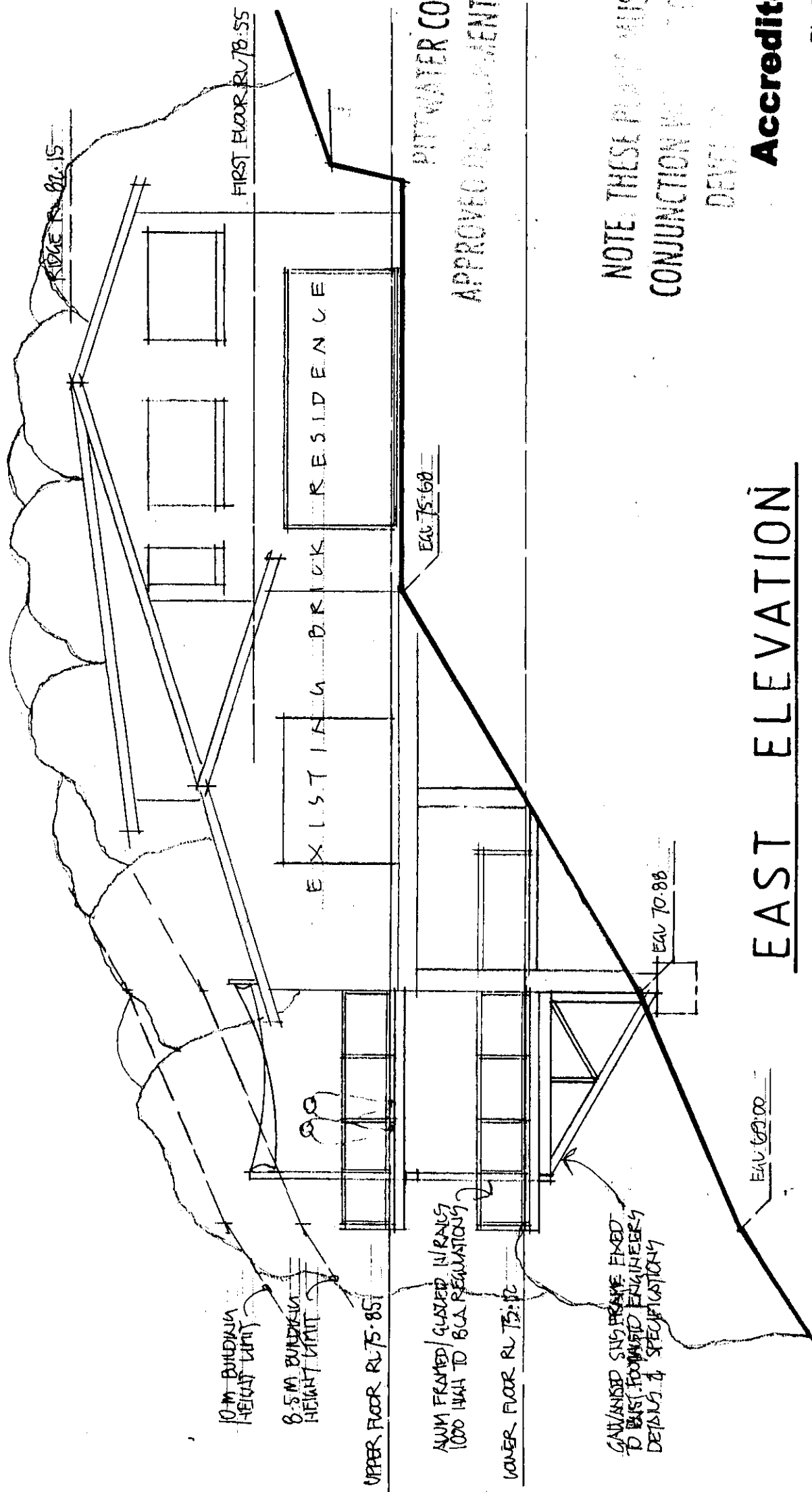
PROJECT
PROPOSED BALCONY EXTENSION
No. 22 CAPUA PLACE
AVALON BEACH N.S.W. 2107
CLIENT
HAWA NAJAM

J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE. AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 048 976 596

DATE 14/10/05 **SCALE** 1:100
DRAWN JDE **CHECKED**
DRAWING No. 478-04 **ISSUE**

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1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions are to be taken from the centre line of the building unless otherwise stated.
3. All dimensions are to be taken from the centre line of the building unless otherwise stated.
4. All dimensions are to be taken from the centre line of the building unless otherwise stated.
5. All dimensions are to be taken from the centre line of the building unless otherwise stated.
6. All dimensions are to be taken from the centre line of the building unless otherwise stated.
7. All dimensions are to be taken from the centre line of the building unless otherwise stated.
8. All dimensions are to be taken from the centre line of the building unless otherwise stated.



NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONSTRUCTION DETAILS.

EAST ELEVATION

Accredited Certifiers

Ph: 02 9501 6616
Fax: 02 9501 5402
PTY. LTD.

Construction Certificate

Signed: *[Signature]*
Dated: 14/10/05
Accreditation no. PC 130

The builder must construct the building in accordance with the Building Code of Australia and the Council Development Consent Conditions.

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

PROJECT
PROPOSED BALCONY EXTENSION
No. 22 CAPUA PLACE
AVALON BEACH N. S. W. 2107

CLIENT
HAWA MAJAM

DATE 14/10/05
SCALE 1:100
DRAWN JOE
CHECKED

DRAWING No. 478-05
ISSUE

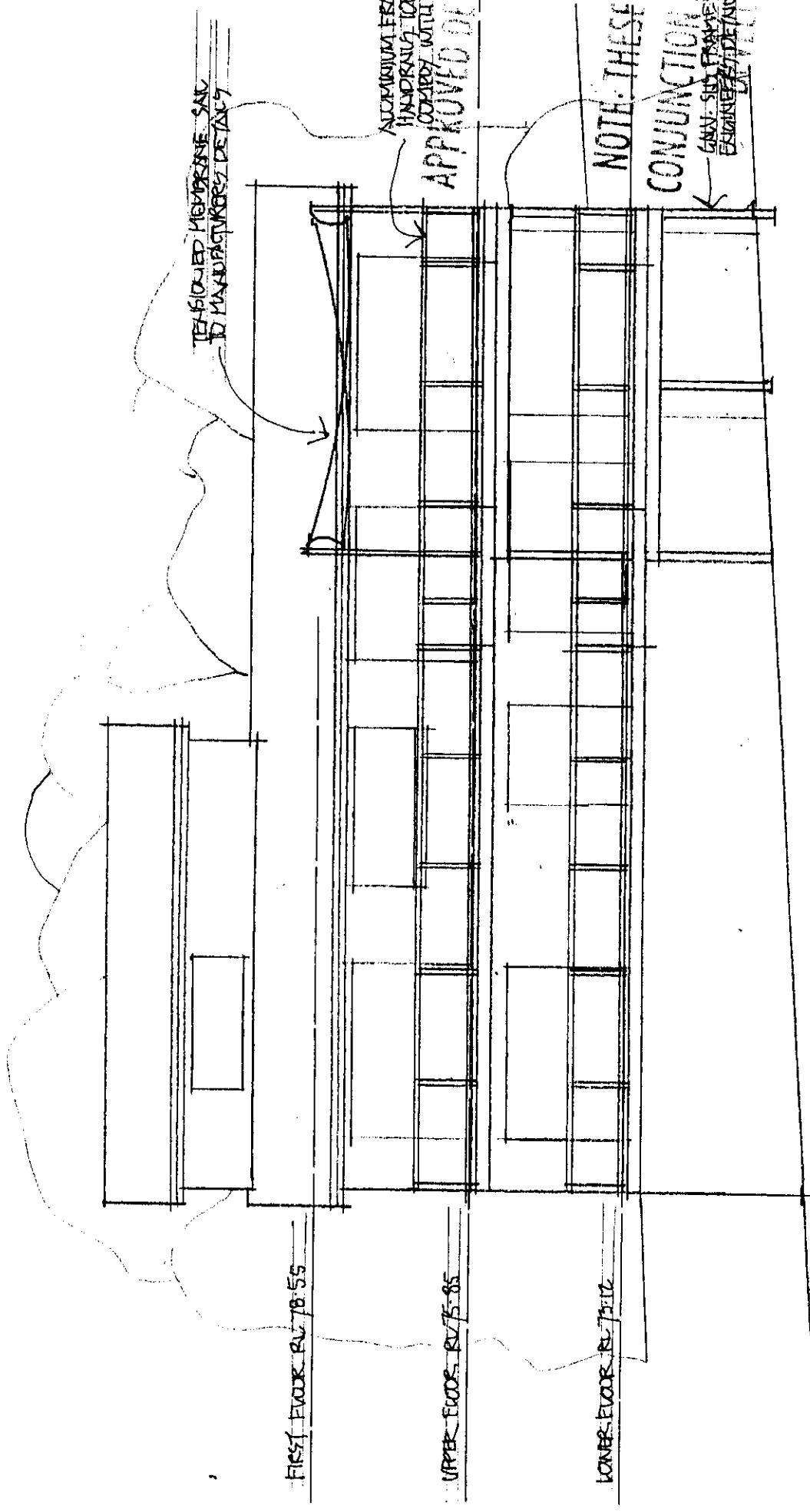
J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE. AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 5454
Mobile 048 976 5796

REGISTERED BUILDING SURVEYOR

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DISCLAIMER
J.D EVANS and COMPANY PTY. LTD.
74 RIVIERA AVE. AVALON BEACH, NSW

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to the building and its components are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA and to the satisfaction of local council requirements & other authorities.
4. All builder construction to be in accordance with the "BUILDER'S MANUAL" and the "BUILDER'S MANUAL" and the "BUILDER'S MANUAL".
5. Any deviation from the drawing which is to be supplied by a Structural Engineer.
6. The builder is to ensure that the building is constructed in accordance with the Building Code of Australia and the Council Development Consent Conditions.
7. The builder is to ensure that the building is constructed in accordance with the Building Code of Australia and the Council Development Consent Conditions.
8. The builder is to ensure that the building is constructed in accordance with the Building Code of Australia and the Council Development Consent Conditions.



SOUTH ELEVATION

Accredited Certifiers

Ph: 02 9501 6616
Fax: 02 9501 5402
PTY. LTD.

Construction Certificate

Signed: M. J. K.
Dated: 14/10/05
Accreditation no: AC 130

The builder must construct the building in accordance with the Building Code of Australia and the Council Development Consent Conditions.

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

- 1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
- 2. All work to be done in accordance with the Building Code of Australia and the conditions of local council requirements & other authorities.
- 3. All work to be done in accordance with the Building Code of Australia and the conditions of local council requirements & other authorities.
- 4. All work to be done in accordance with the Building Code of Australia and the conditions of local council requirements & other authorities.
- 5. All work to be done in accordance with the Building Code of Australia and the conditions of local council requirements & other authorities.
- 6. All work to be done in accordance with the Building Code of Australia and the conditions of local council requirements & other authorities.
- 7. All work to be done in accordance with the Building Code of Australia and the conditions of local council requirements & other authorities.
- 8. All work to be done in accordance with the Building Code of Australia and the conditions of local council requirements & other authorities.

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J.D. EVANS AND COMPANY PTY. LTD.
10 RIVERVIEW AVE. AVALON BEACH, NSW 2107
Ph: 02 9501 6616 Fax: 02 9501 5402
Mobile: 041 976 596

NO.	REVISION	DATE

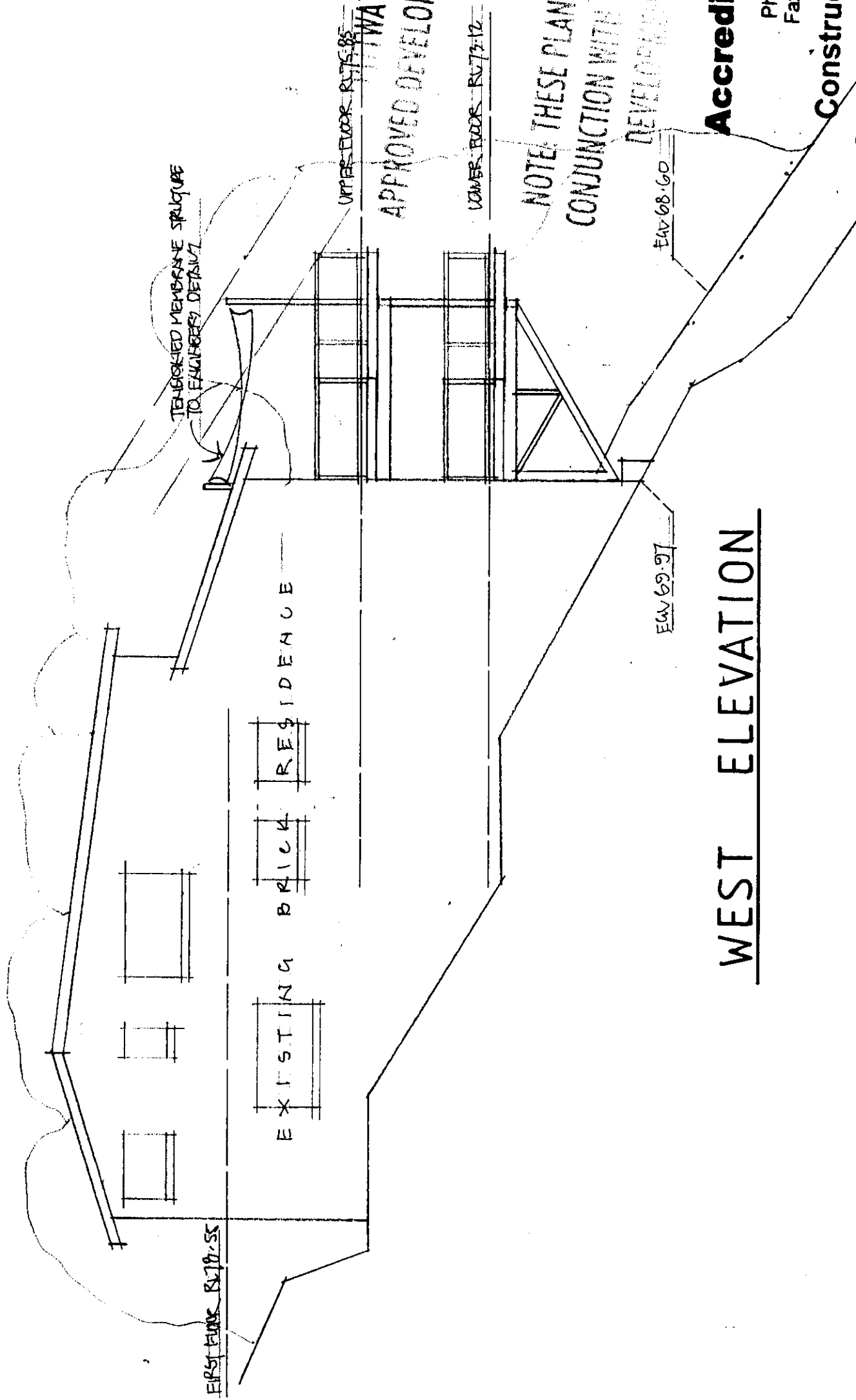


J.D. EVANS AND COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
10 RIVERVIEW AVE. AVALON BEACH, 2107
Ph: 02 9501 6616 Fax: 02 9501 5402
Mobile: 041 976 596



SYDNEY COUNCIL
PROJECT: PROPOSED BALCONY EXTENSION
No. 22 CAPUA PLACE
CLIENT: HAWA MAJAM

DATE	14/10/05	SCALE	1:100
DRAWN	JDE	CHECKED	
DRAWING NO.	478-06	ISSUE	



WATER COUNCIL
APPROVED DEVELOPMENT CONSENT

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

WEST ELEVATION

Accredited Certifiers

Ph: 02 9501 6616
Fax: 02 9501 5402

PTY. LTD.

Construction Certificate

Signed: *WJC*

Dated: 14/10/05

Accreditation no. PO 130

The builder must construct the building in accordance
with the Building Code of Australia and the
Council Development Consent Conditions.

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY
DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS
AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

1. Builder to check and confirm all necessary dimensions on site prior to ordering materials and commencing construction. Do not scale the drawing.
2. All dimensions that relate to the building and its components are shown in millimetres unless otherwise stated.
3. All work to be in accordance with the BUILDING CODE OF AUSTRALIA and the conditions of local council requirements & other authorities.
4. All work to be in accordance with the "Trade Practices" Act.
5. Any building in addition to that shown on the drawing shall be approved by the council and the builder is to ensure that all necessary approvals are obtained prior to construction.
6. Any structural alterations or changes to the design shall be approved by a Structural Engineer.
7. All structural work is to be done in accordance with the approved drawings or as directed by local council inspectors.
8. All work must be done in accordance with the approved drawings or as directed by local council inspectors.

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J.D. EVANS and COMPANY PTY. LTD.
74 RIVIERA AVE, AVALON BEACH, NSW
PHONE (02) 9918 9206 FAX (02) 9913 2454
MOBILE 041 976 596

NO.	REVISION	DATE

J.D. EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, NSW 2107
Phone (02) 9918 9206 Fax (02) 9913 2454
Mobile 041 976 596





MEMBER
AUSTRALIAN BUILDING CODE BOARD

PROJECT
PROPOSED BALCONY EXTENSION
No. 22 CAPIJA PLACE
CLIENT
HAWA MAJAM

DATE 14/10/05 SCALE 1:100
DRAWN JDE CHECKED
DRAWING No. 478-07
ISSUE



ATTWATER CO. INC.
APPROVED DEVELOPMENT CO.

NOTE: THESE PLANS MUST
CONJUNCTION WITH THE COMMISSION
DEVELOPMENT CONSULTATION

SECTION A - A⁰⁰

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

Accredited Certifiers

PRY. LTD.

Ph: 02 9501 6616

Fax: 02 9501 5402

Construction Certificate

Signed:

Dated:

Accreditation no.

The builder must construct the building in accordance with the Building Code of Australia and the Council Development Consent Conditions.

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LEGAL PROCEEDINGS.

[illegible]

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BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE. AVALON BEACH, 3107
Phone: (02) 9918 9206 Fax (02) 9973 2454
Mobile 048 976 596

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PROJECT
PROPOSED BALCONY EXTENSION
No. 22 CAPUA PLACE
AVALON BEACH N. S. W. 2107
CLIENT

DATE 14/10/03	SCALE 1:100
DRAWN JOE	CHECKED

DRAWING No.

478-08

ISSUE

COUNCIL COPY

BALCONY

ADJOINING
RESIDENCE

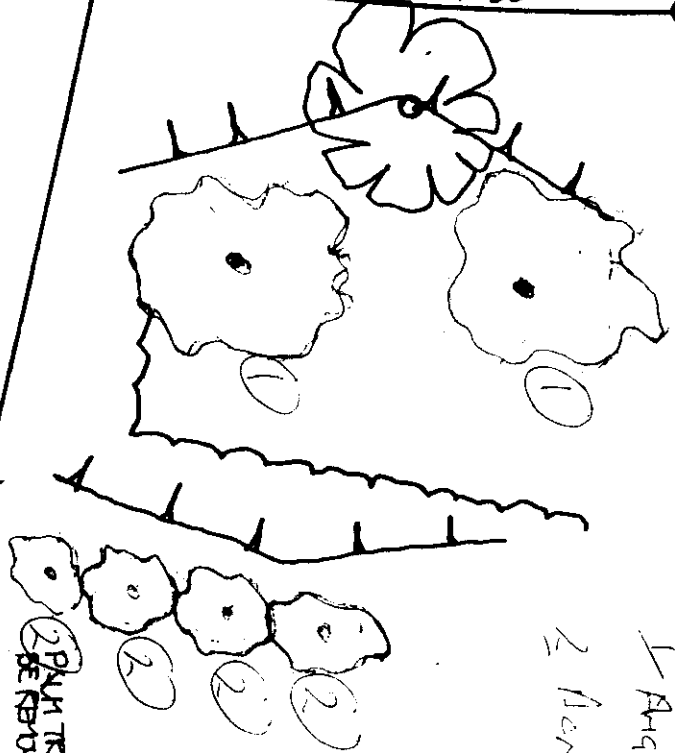
52.905

PLANTER & BENCHES, "NATIVE PLANTS FOR YOUR GAZEBO
AND ARE RECOMMENDED FOR THIS AREA AND SITE."

PLACE

CAPUA

RAD 114.30 ARC 15.86



EXISTING
RESIDENCE

BALCONY

DRIVEWAY

Accredited Certifiers

PH: 02 9501 6616
FAX: 02 9501 5402

PM, LTD.

SEWER
CONSTRUCTION
Certificate

Dated

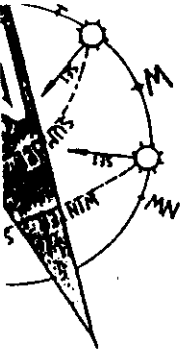
Accreditation No.

14/10/05
40130

The builder must construct the building in accordance
with the Building Code of Australia and the
Council Development Consent Conditions.

DRIVEWAY TO GARAGE
PLACE

SITE PLAN



14 Jul 05 02:13p

D O'Brien Engineering

8907 8948

P. 1

05-JUL-2005 23:32

BARRENJOEY CONSTRUCTIONS

99187258

P. 02

COUNCIL COPY



In all correspondence please quote: CC No 08/130

DESIGN COMPLIANCE CERTIFICATE

Purpose: Applicants, councils and principal certifying authorities must rely on qualified professionals to confirm that designs meet Council and BCA requirements. The following certificate is to be completed and signed by the qualified professional when the proposed work includes a building component listed below, or a Council Development Consent condition calls for the design compliance certificate.

Subject land address: 22 Capra Place Avonlea
Description of development: Extension of existing balconies
DA number: 366104
Date of determination: 8 August 2005

Construction Certificate (C.C.): 08/130

I, DERMOT O'BRIEN
of DOBRIEN ENGINEERING
(Company name): SERVICES PTY LTD.

Declare that I:

1. Hold the following qualifications

BE, MIEAUST. CP ENG.

BUILDING COMPONENT - I confirm that (✓ indicate accordingly and delete as irrelevant)

☒ engineering ☐ storm water ☐ landscaping ☐ mechanical ventilation
☐ driveway ☐ other

the above mentioned nominated design has been carried out in accordance with Council requirements, and the relevant sections of the Building Code of Australia. (Delete if not relevant)

My contact details are as follows:

Phone:

02 9907 6947

Mobile:

0412 971107

Fax:

02 9907 6948

Address:

6/319 CONADAMINE ST MANLY VALE 2096

Email:

dobrieneng@optusnet.com.au

Signed:

[Signature]dated: 14.7.05

Principal Certifying Authority:

Name of Certifying Authority: Warwick Norris

Accreditation number:

8328

Contact details:

1300 304 420 Fax: 1300 304 620

Address:

PO Box 38 South Lane Centre South Perth NSW 2750

Phone: 02 9891 8818

Fax: 02 9891 8432

Website: www.dobrien.com.au

D. O'BRIEN ENGINEERING SERVICES PTY. LTD.

Structural Engineers

A.C.N. 000 526 876 A.B.N.46 000 526 876

Suite 6/319 Condemine St

MANLY VALE 2093

Post to: P.O. Box 328

MANLY 1666

Phone: (02) 9907 8947

Fax: (02) 9907 8948

Mobile: 0412 971 107

R and H Majam
22 Capua Place
Avalon Beach NSW 2107

16/08/05
ref:cg2369

Dear Mr and Mrs Majam

RE: Proposed Alterations and Balcony Additions to Residence at
22 Capua Place Avalon Beach, NSW
Structural Certificate for New Loads

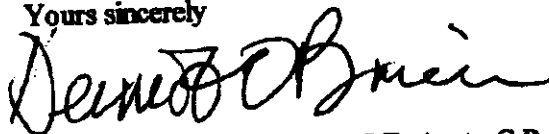
The structural design and details for the alterations and balcony additions for 22 Capua Place are shown on drawing numbers, 2369-1 to 3, 2369-1/A4 and 2369-2/A4. The structural drawings are based on the architectural drawings by J D Evans and Co.

A site inspection was made of the existing structure with a view to determining the adequacy of the existing structures to carry the new design loads in accordance with Australian Standard AS1170.1 (Loading Code).

The sizes of supporting walls and footings are adequate to carry the design loads subject to the requirements shown on the drawing nos. 2369-1 to 3, 2369-1/A4 and 2369-2/A4. Some adjustment may be required to the structure details depending on the conditions encountered on site when work commences.

The design for the proposed alterations and additions is in accordance with Australian Standards AS3700 (Masonry Code), AS3600 (Concrete Code), AS 4100 (Steel Code) and AS1170.1 (Loading Code).

Yours sincerely



Dermot J. O'Brien, B.E., M.I.E. Aust., C.P. Eng.

9907 6948

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTSWATER **FORM NO. 2 - To be submitted with detailed design for construction certificate**

Development Application for HAWA MAIRAM
 Name of Applicant
22 CAPUA PLACE AVALON BEACH,
 Address of site NSW 2107

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design
 I, DERMOT O'BRIEN on behalf of D O'BRIEN ENGINEERING SERVICES
 (insert name) (trading or company name)
P/L

on this the 9/9/05
 (date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittswater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development

Geotechnical Report Details:

Report Title: Report on Geotechnical Assessment, 22 Capua Place, Avalon
 Report Date: March 2004
 Author: Douglas Partners Pty Ltd

Structural Documents List:

DRAWING NO. 2369/S1

I am also aware that Pittswater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

DERMOT O'BRIEN
 (name)

D. O'Brien
 (signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 8/4/04 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittswater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature GEOFF YOUNG

Name GEOFF YOUNG

Chartered Professional Status BE, MEng, S, CPEng, NPER, FIEAust

Membership No. 98650



Douglas Partners
Geotechnics • Environment • Groundwater

Douglas Partners Pty Ltd
ABN 75 053 980 117
96 Hermitage Road
West Ryde NSW 2114
Australia

PO Box 472
West Ryde NSW 1685
Phone (02) 9809 0666
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sydney@douglaspartners.com.au

GSY:pc
16 September, 2005
Project 36687

Mrs Hawa Majam
22 Capua Place
AVALON NSW 2107

Dear Sirs

22 CAPUA PLACE, AVALON

Please find enclosed Form No 2 for your development.

During our review of the structural drawings, it appeared that there was a footing beam tied into the pile cap which would be transferring load to the underlying soil. This would have been contrary to our geotechnical report.

D. O'Brien Engineering Services, however, has confirmed in their letter that the design intent was to transfer all the load to the pile cap via friction and dowel action. (See their enclosed letter.) It is on this understanding that we were able to countersign Form No 2.

We trust that the above is suitable for your purposes.

Yours faithfully
DOUGLAS PARTNERS PTY LTD

Geoff Young
Principal

9907 6948

D. O'BRIEN ENGINEERING SERVICES PTY. LTD.

Structural Engineers

A.B.N. 46 000 526 876

A.C.N. 000 526 876

Suite 6/319 Condamine St **MANLY VALE 2093**

Post to: P.O. Box 326 **MANLY 1655**

Phone: **(02) 9907 6947**

Fax: **(02) 9907 6948**

Mobile: **(0412) 971 107**

Project: 22 Capua Place Avalon Beach

Description.

Date 9/09/05

Job No. 2369

Attention Mr Geoff Young

Dear Geoff

Please find attached some structural details for 22 Capua Place.

The design intent was to take the extra vertical loads to the existing piers in shear friction and dowel action; and to take the extra horizontal loads (inward) at the top of the piers in through the ground beam to the be resisted by passive resistance. The outward forces are taken by the ground floor slab in diaphragm action to the whole structure.

Please let me know if this is satisfactory to you.

Regards

Dermot O'Brien

Certificate of Insurance

CA & CP Poppleton Pty Ltd
37 The Outlook
BILGOLA NEW SOUTH WALES 2107

**Form 1
Section 92
Home Building Act 1989**

CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92
Of The: Home Building Act 1989

Issued By: Vero Insurance Limited
ABN 48 005 297 807

Building Contract Details

Contract Date: May 01, 2005
Declared Building Contract Value: \$55,000.00
(Refer policy for indemnity limit)

Carried Out By: CA & CP Poppleton Pty Ltd
ABN: 40964774297
Licence No: 137445C
For: Rafique & Hawa Majam

In Respect Of: Improvements
At: House No. 22
Capua Place
AVALON NEW SOUTH WALES 2107

Permit Authority: Pittwater Council

Subject to the Act, the Home Building Regulation 1997 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate, the Insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.

N G6DWHXEVLVD Printed 17/05/2005

Signed for and on behalf of the insurer:



Insurer: Vero Insurance Limited ABN 48 005 297 807