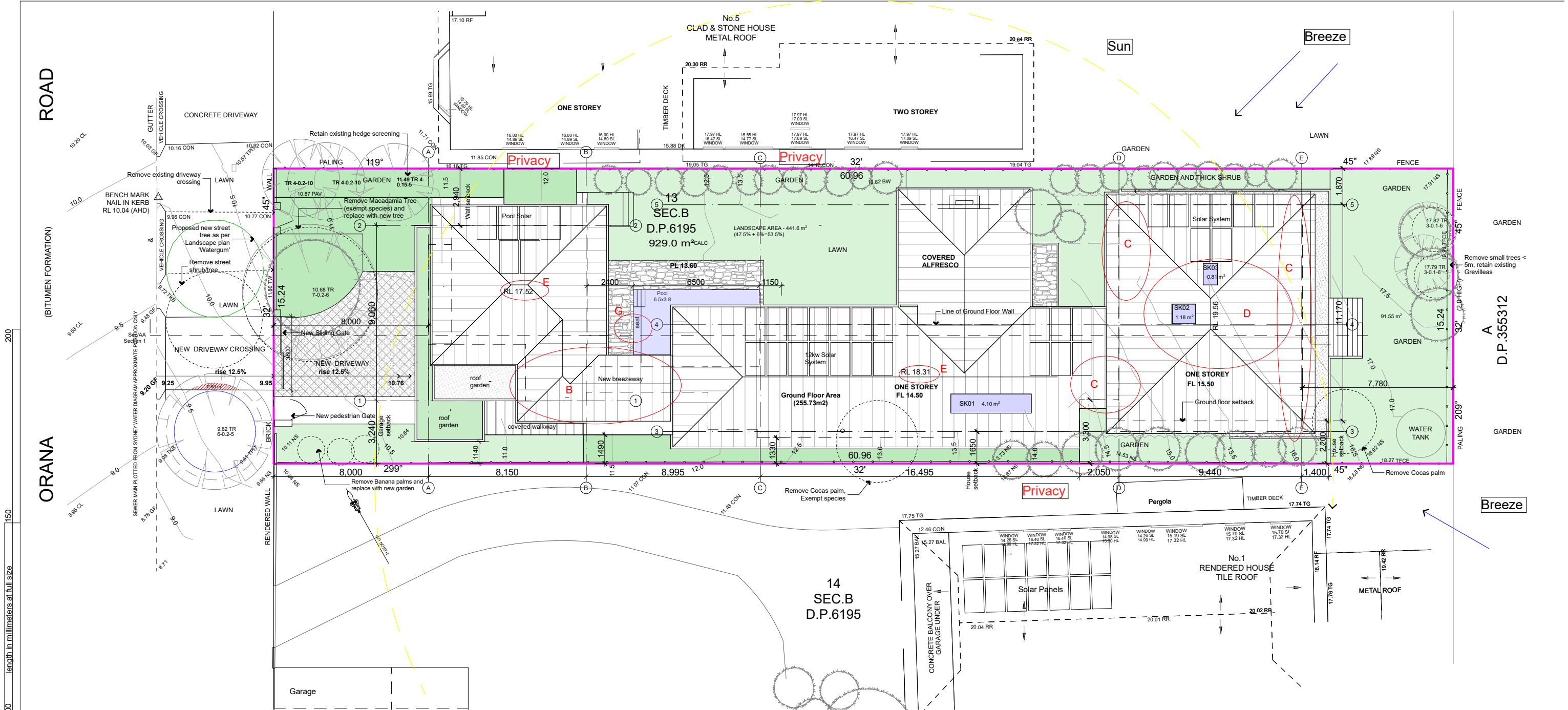




3

Site and Roof Plan 1:200



DA mod Streetfront - Picture1

List of Modifications

- A- Remove gym and add retaining walls to garage level
- B- Change Studio to Masterbedroom and connect with Breezeway
- C- Increase to ground floor area
- D- Remove approved first floor
- E- Modified roof height and shape
- F- Modified windows and doors
- G- Remove Spa

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THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2023/0320

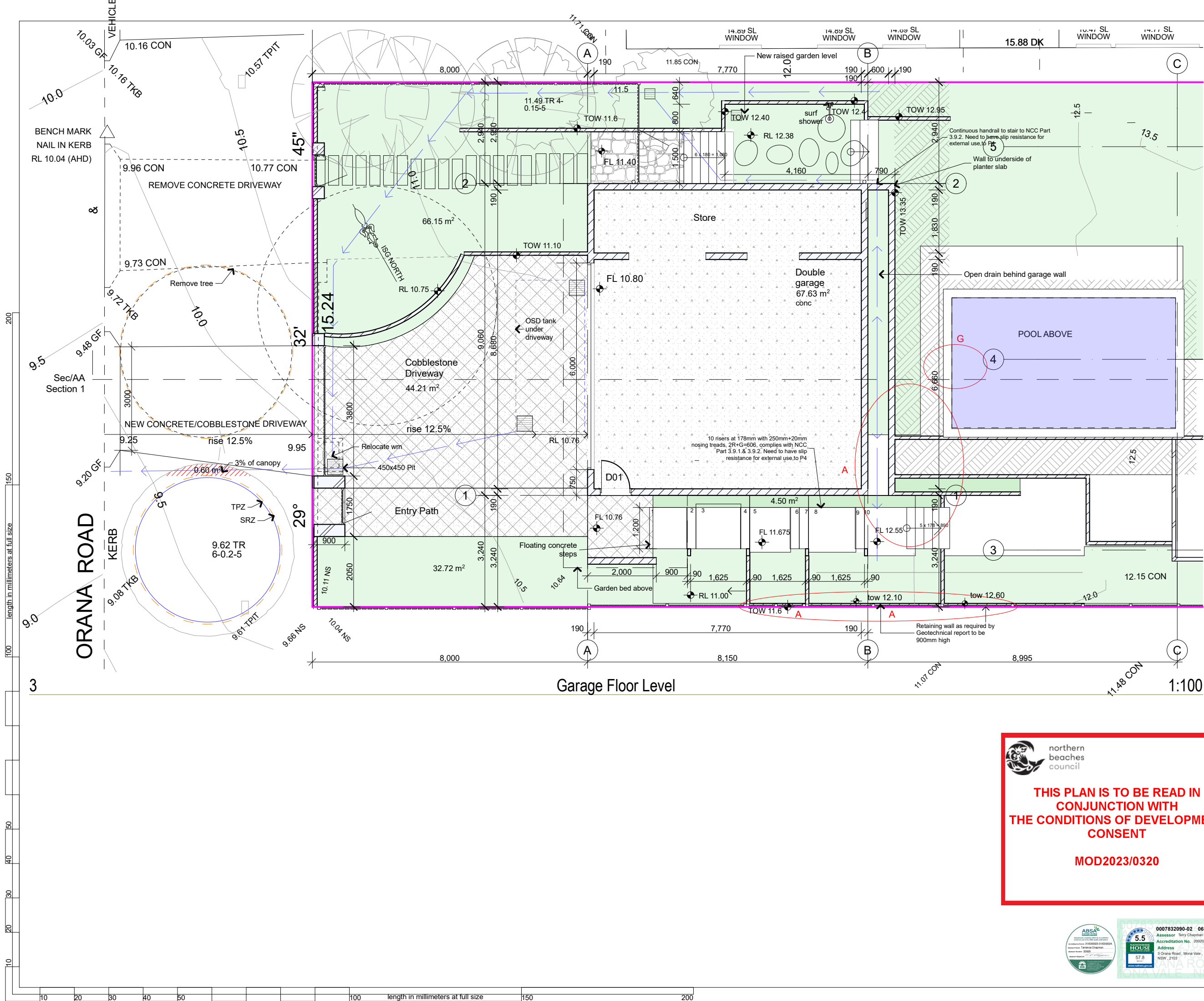


C-	DA Modification	25.05.23
B-	Construction Certificate	25.01.23
A-	DA Amendment	11.10.22

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client	S & J Halpin
Project Name	Halpin House and Pool
Address	3 Orana Rd Mona Vale 2103
SITE SPECIFIC DESIGNS	Sheralee Hogan B.Sc(Arch) B.(Arch) U Syd 0416 954 635 sheralee.ssd@bigpond.com
Drawing Title:	Plans Ground - Site and Roof Plan
Site and Roof Plan, DA mod Streetfront - Picture1	

Scale:	as noted	Date:	25.05.23
Status:	DA mod	Checked By:	SH
Project No:	2022 02	Drawing No.:	DA00
Plot Date:	26/05/2023		



List of Modifications

- A- Remove gym and add retaining walls to garage level
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C-	DA Modification	25.05.23
B-	Construction Certificate	25.01.23
A-	DA Amendment	11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

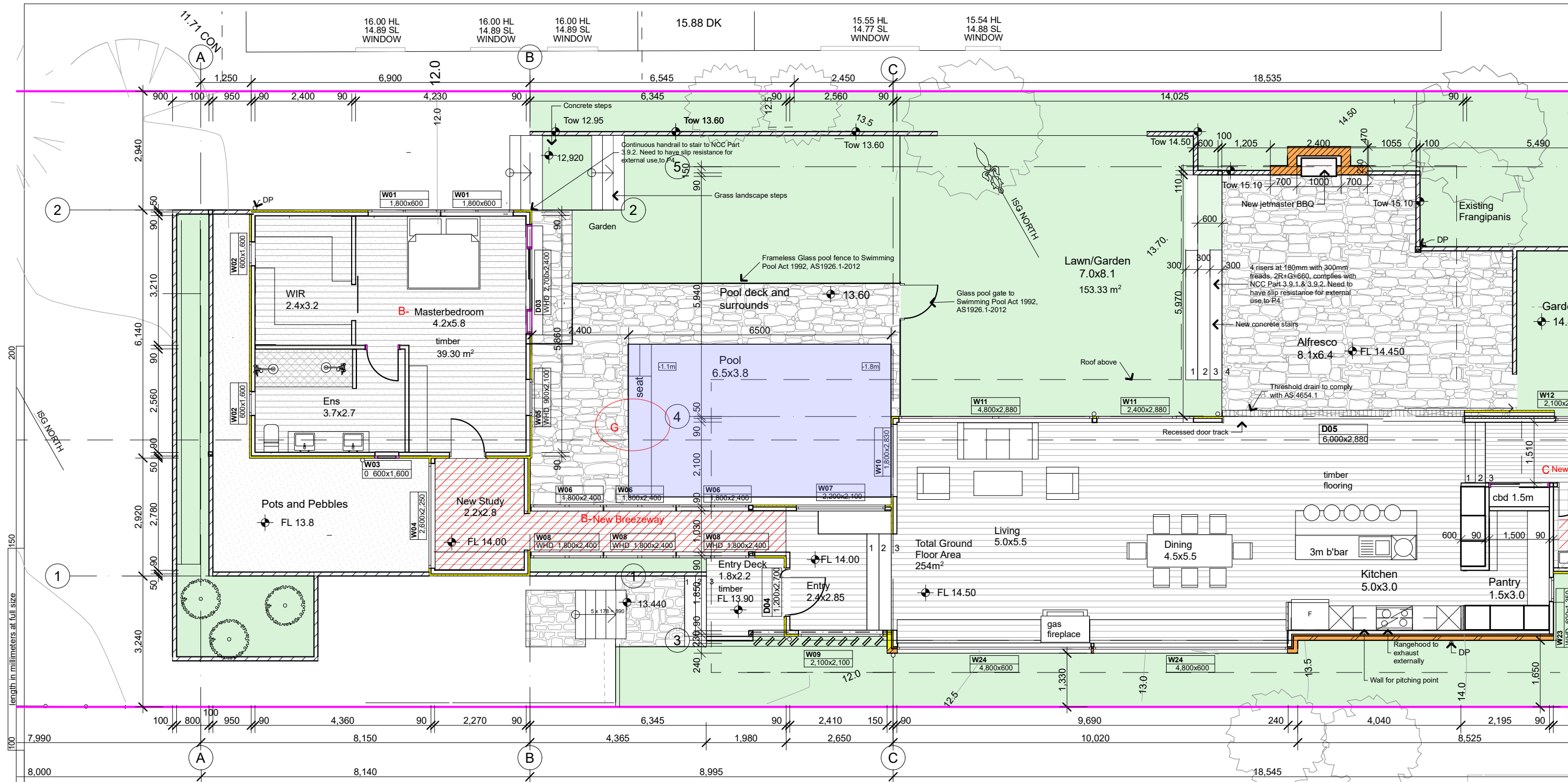
Drawing Title:
Plans Ground - Garage Floor
Garage Floor Level

Scale: as noted Date: 25.05.23

Status: DA mod Checked By: SH

Project No:
2022 02
Drawing No.:
DA01

Plot Date: 26/05/2023



Ground Floor
1:100

List of Modifications

- A- Remove gym and add retaining walls to garage level
- B- Change Studio to Masterbedroom and connect with Breezeway
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- D- Remove approved first floor
- E- Modified roof height and shape
- F- Modified windows and doors
- G- Remove spa



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MOD2023/0320



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B-	Construction Certificate	25.01.23
A-	DA Amendment	11.10.22

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S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

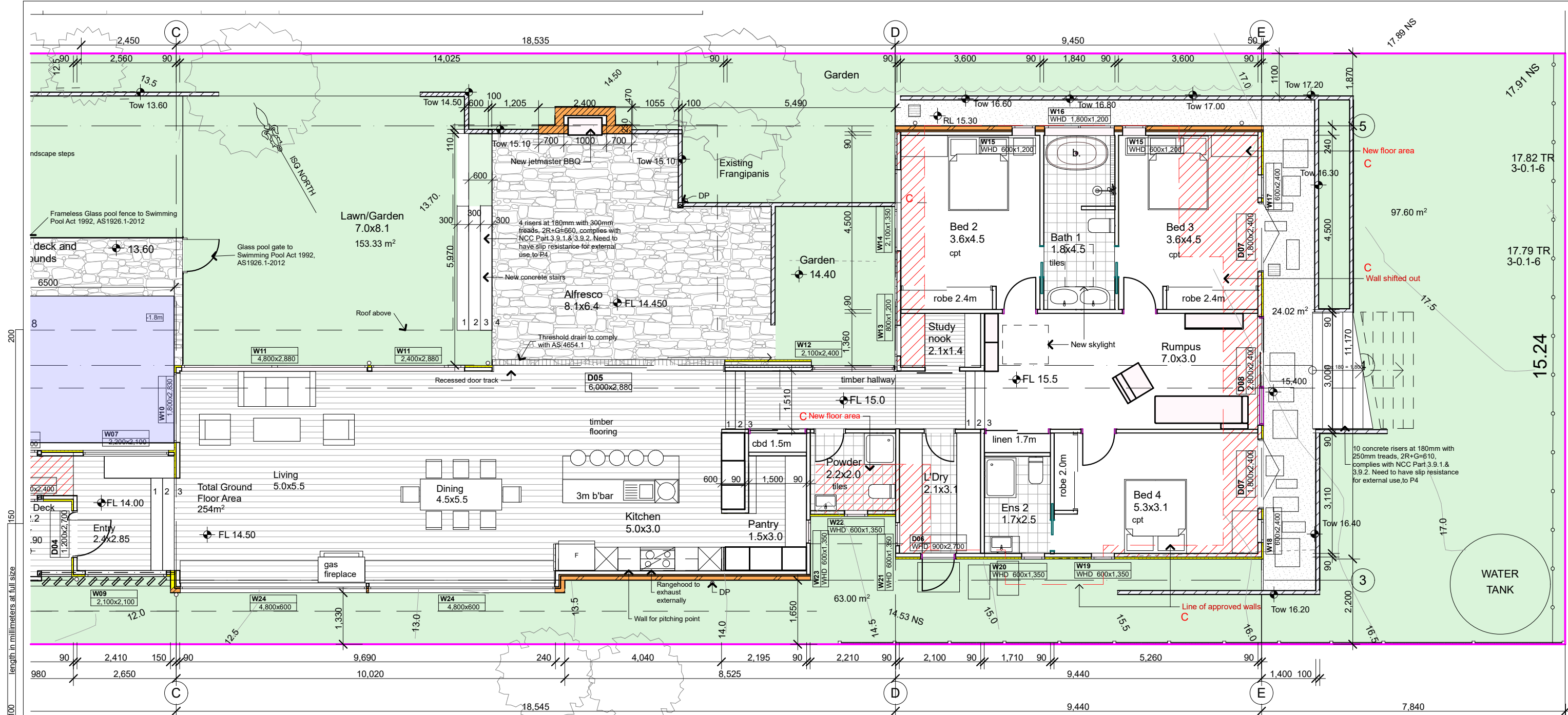
SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - Ground Floor Plan
Ground Floor

Scale: as noted Date: 25.05.23
Status: DA mod Checked By: SH

Project No:
2022 02
Drawing No.:
DA02

Plot Date: 26/05/2023



Ground Floor
1:100

List of Modifications

- A- Remove gym and add retaining walls to garage level
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- D- Remove approved first floor
- E- Modified roof height and shape
- F- Modified windows and doors
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MOD2023/0320



C-1	DA Modification	25.05.23
B-	Construction Certificate	25.01.23
A-	DA Amendment	11.10.22

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3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - Ground Floor Plan
Ground Floor

Scale: as noted Date: 25.05.23

Status: DA mod Checked By: SH

Project No: 2022 02 Drawing No.: DA03

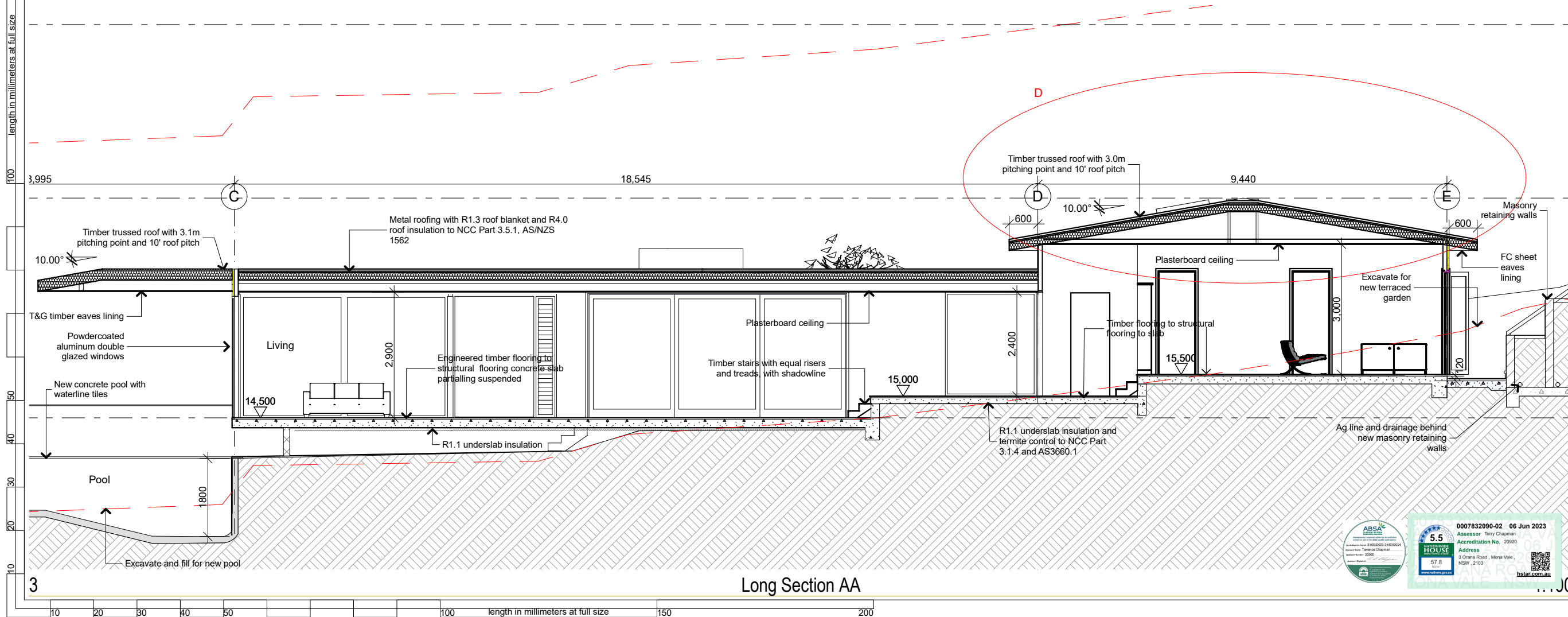
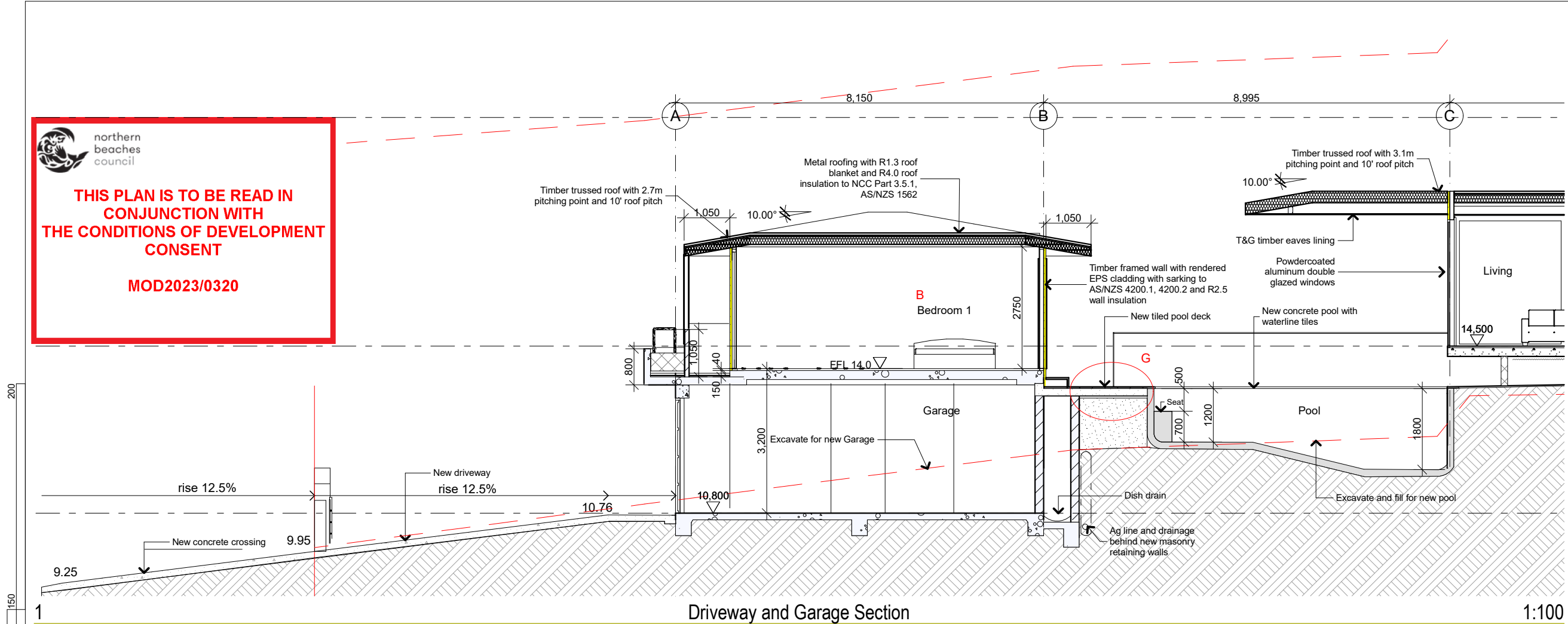
Plot Date: 26/05/2023

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MOD2023/0320

- List of Modifications**
- A- Remove gym and add retaining walls to garage level
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DA Modification	25.05.23
B - Construction Certificate	25.01.23
A - DA Amendment	11.10.22

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Project Name
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2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Elevations - Sections
Driveway and Garage Section, Long Section AA

Scale: as noted Date: 25.05.23
Status: DA mod Checked By: SH

Project No: Drawing No.:
2022 02 DA04

Plot Date: 25/05/2023

List of Modifications

- A- Remove gym and add retaining walls to garage level
- B- Change Studio to Masterbedroom and connect with Breezeway
- C- Increase to ground floor area
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- E- Modified roof height and shape
- F- Modified windows and doors
- G - Remove Spa

Steve Halpin 3 Orana Road Mona Vale		NSW 2103		Basic Requirements Summary Single Dwelling Prepared by Chapman Environmental Services www.basiscertificates.com.au 1300 004 914				CES CHAPMAN											
Water Target		40		Water Score		41													
Energy Target		50		Energy Score		88													
Max. Heating Load is (MJ/m²)		42		Actual Heating Load		31.7													
Max. Cooling Load is (MJ/m²)		26.1		Actual Cooling Load		26.1													
Basic Commitments																			
Landscaping		Total area of garden & lawn (m²)			400			Area of indigenous/low water use plants (m²)		0									
Fixtures		Shower heads			4 star (> 6 but <= 7.5 L/min)			Toilets			4 star			All taps			4 star		
Alternative Water (House only)		Minimum Rainwater tank size (L)			5000			Collect run off from roof area of at least (m²)									148		
		Toilet connection		Yes		Laundry connection		Yes		Landscape connection		Yes		Pool top up		Yes		Spa top up	
Pool and Spa		Max pool volume (kL)			34			Pool does not require a cover			Pool pump must have a timer								
		Pool heating			Solar (gas boosted)														
Energy		Hot water system			Gas instantaneous			Rating			6 star								
		Bathroom ventilation			Individual fan, ducted to facade or roof			with			Manual switch on/off								
		Kitchen ventilation			Individual fan, ducted to facade or roof			with			Manual switch on/off								
		Laundry ventilation			Natural ventilation only, or no laundry														
		Cooling - living areas			Ceiling fans + 3-phase airconditioning			Rating			EER 3.0 - 3.5								
		Cooling - bedrooms			Ceiling fans + 3-phase airconditioning			Rating			EER 3.0 - 3.5								
		Heating - living areas			1-phase airconditioning			Rating			EER 3.0 - 3.5			n/a					
		Heating - bedrooms			1-phase airconditioning			Rating			EER 3.0 - 3.5								
Alternate Energy		Photovoltaic system able to generate at least			12kw			peak kilowatts of electricity											
		Gas cooktop & electric oven			Outdoor clothesline required			No indoor clothesline required											
Thermal Performance Assessment Based on the Following Requirements																			
Floor Types		Concrete slab on ground			with			R1.1 under slab insulation											
		Suspended concrete slab			with			R1.1 underslab insulation											
Floor Coverings		Tiles			Wet areas			Timber			Living								
		Carpet			Bedrooms / Rumpus			Concrete			House living								
External Walls		Brick veneer			with			Sarking and R2.5 bulk insulation			Colour			Light					
		Timber framed Polystyrene clad			with			Sarking and R2.5 bulk insulation			Colour			Light					
Internal Walls		Plasterboard			with			R2.5 bulk insulation to bath and laundry walls only											
Ceiling (floor over)		Rendered concrete			with			R1.1 underslab insulation to garage ceiling only											
Ceilings (roof over)		Timber above plasterboard			with			R6.0 bulk insulation											
Roof		Metal (ventilated)			with			R1.3 roof blanket			Colour			Dark					
Windows and Doors		AF double glazed LowE Grey			Fixed Glass			AWS-067-16 U-Value 2.33 or less SHGC 0.35 +/- 5%											
		to all windows and glazed doors unless noted otherwise			Sliding Doors			AWS-089-73 U-Value 2.63 or less SHGC 0.41 +/- 5%											
					Hinged Door			AWS-018-20 U-Value 4.42 or less SHGC 0.34 +/- 5%											
		Louvers, Sliding windows & D-Hung windows single glazed			Double Hung Windows			VAN-002-18 U-Value 5.01 or less SHGC 0.35 +/- 5%											
					Louvers			VAN-004-07 U-Value 6.14 or less SHGC 0.45 +/- 5%											
					Bifold Doors			AWS-016-20 U-Value 4.63 or less SHGC 0.35 +/- 5%											
					Sliding Windows			AWS-001-21 U-Value 4.53 or less SHGC 0.43 +/- 5%											
		AF = Aluminium Framed			TB = Thermally Broken Aluminium Framed			TF = Timber Framed											
If the Universal Certificate indicates downlights, then these are to be non-ventilated LED / fluorescent																			
Any exhaust fans noted are to be fitted with self-closing dampers or be otherwise sealed																			
All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA																			
If there is a discrepancy between this document and the Natethers Certificate, then the Natethers Certificate shall take precedence																			
Notes																			

This document to be read in conjunction with the Basis Certificate and Natethers Universal Certificate



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MOD2023/0320



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0416 954 635 sheralee.ssd@bigpond.com

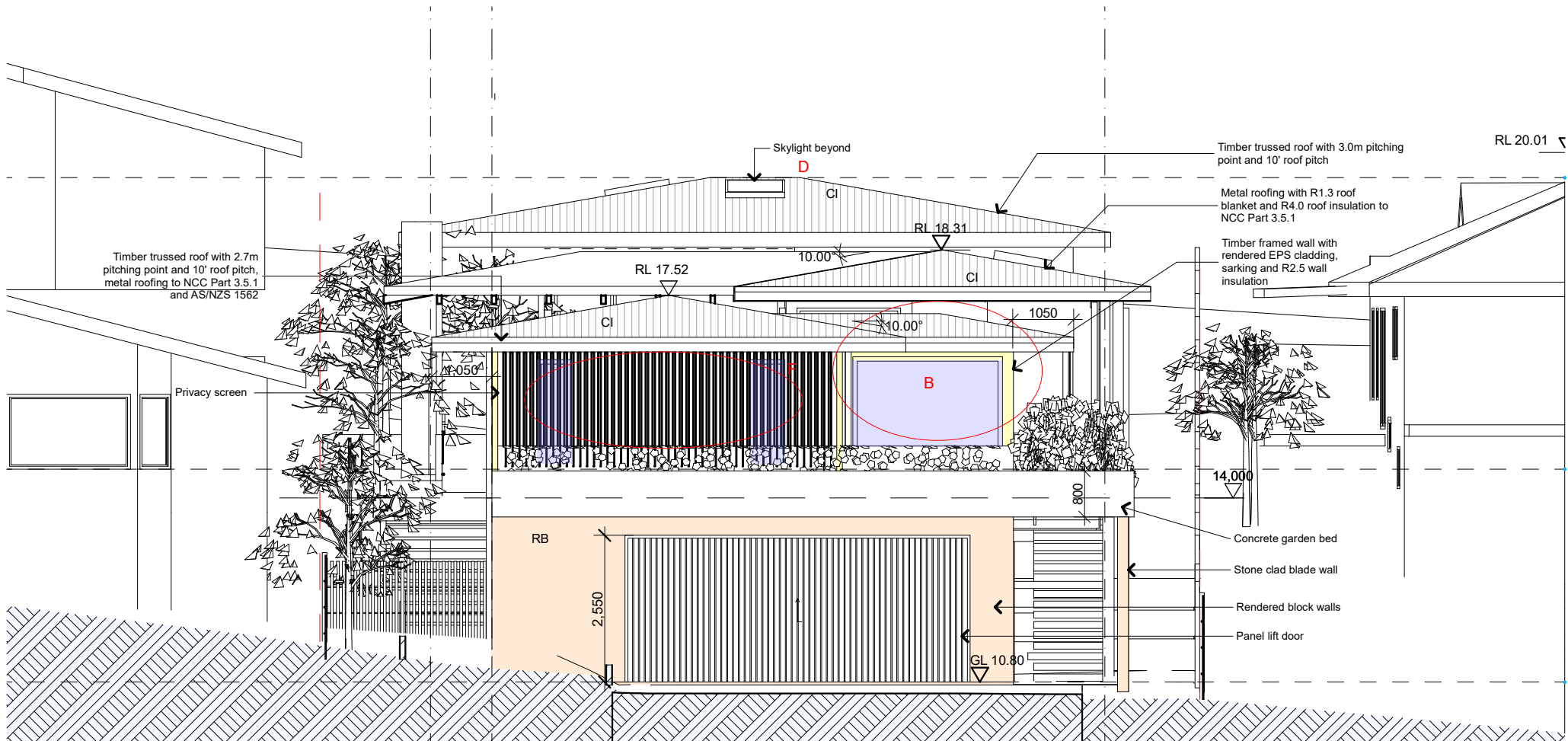
Drawing Title:
Elevations - Elevations
West (Street) Elevation, East Elevation

Scale: as noted Date: 25.05.23

Status: DA mod Checked By: SH

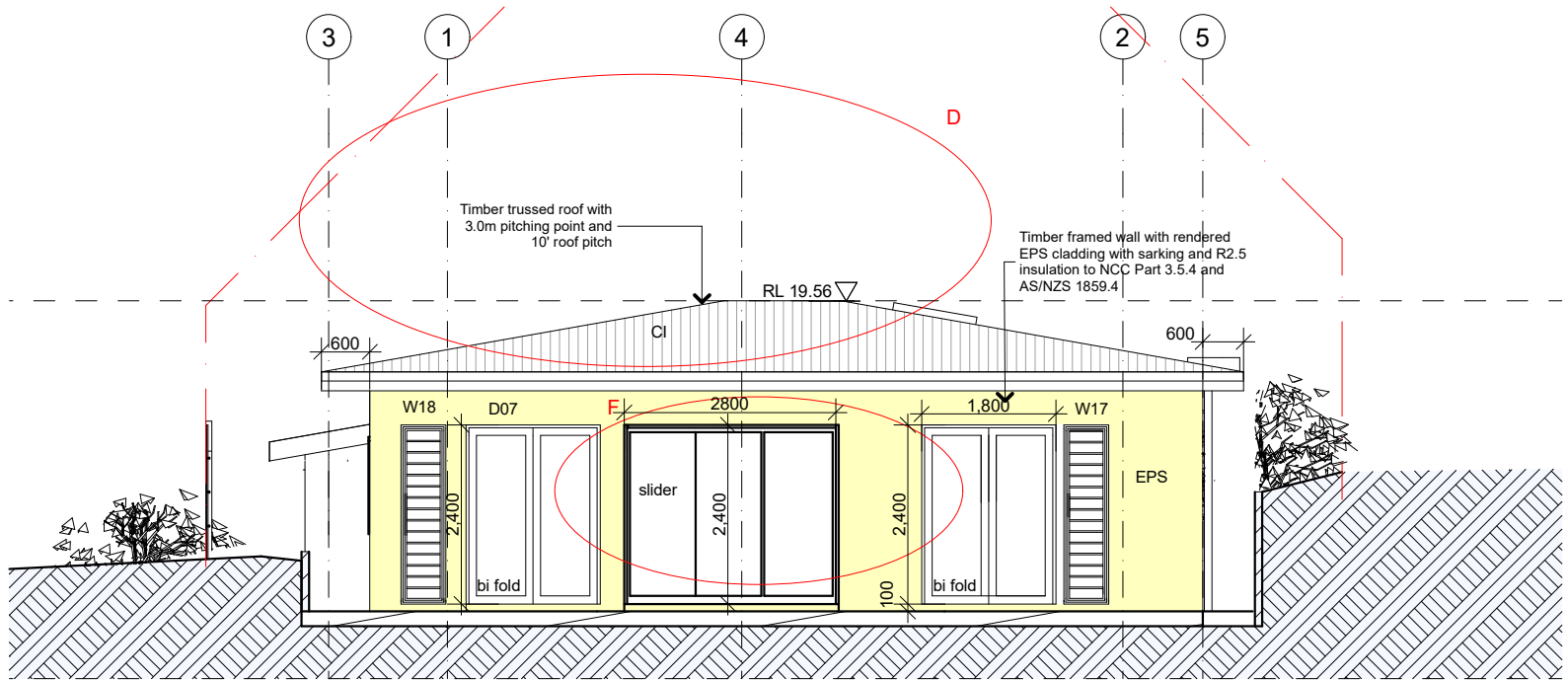
Project No: 2022 02 Drawing No.: DA05

Plot Date: 25/05/2023



West (Street) Elevation

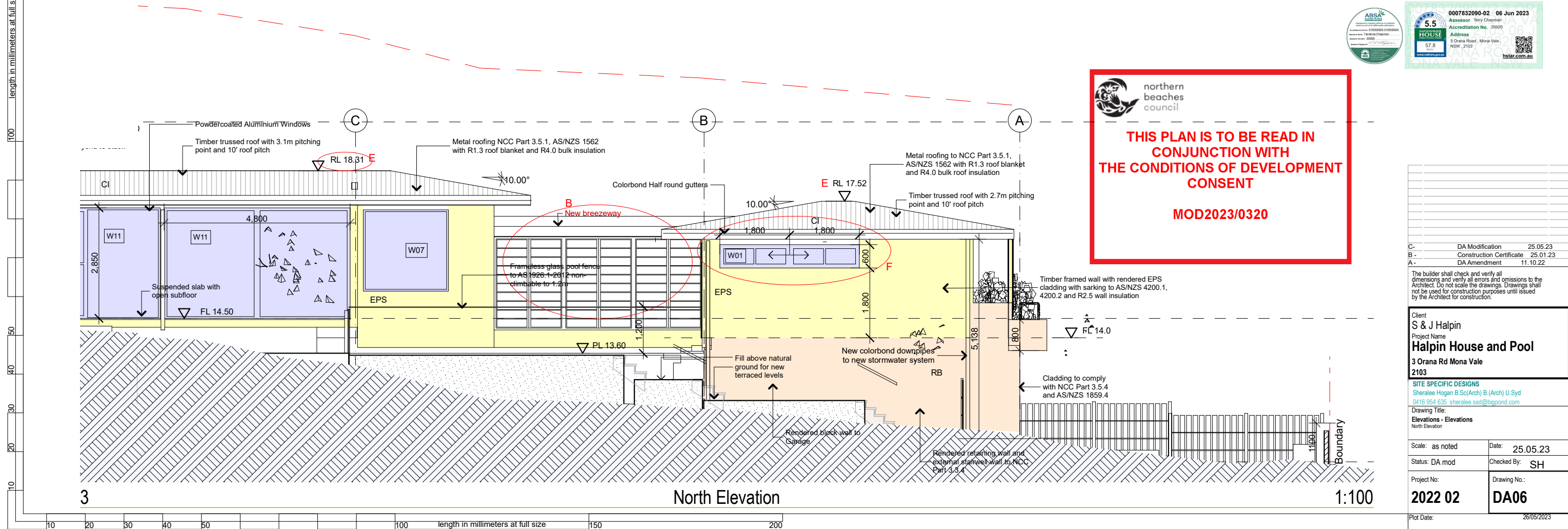
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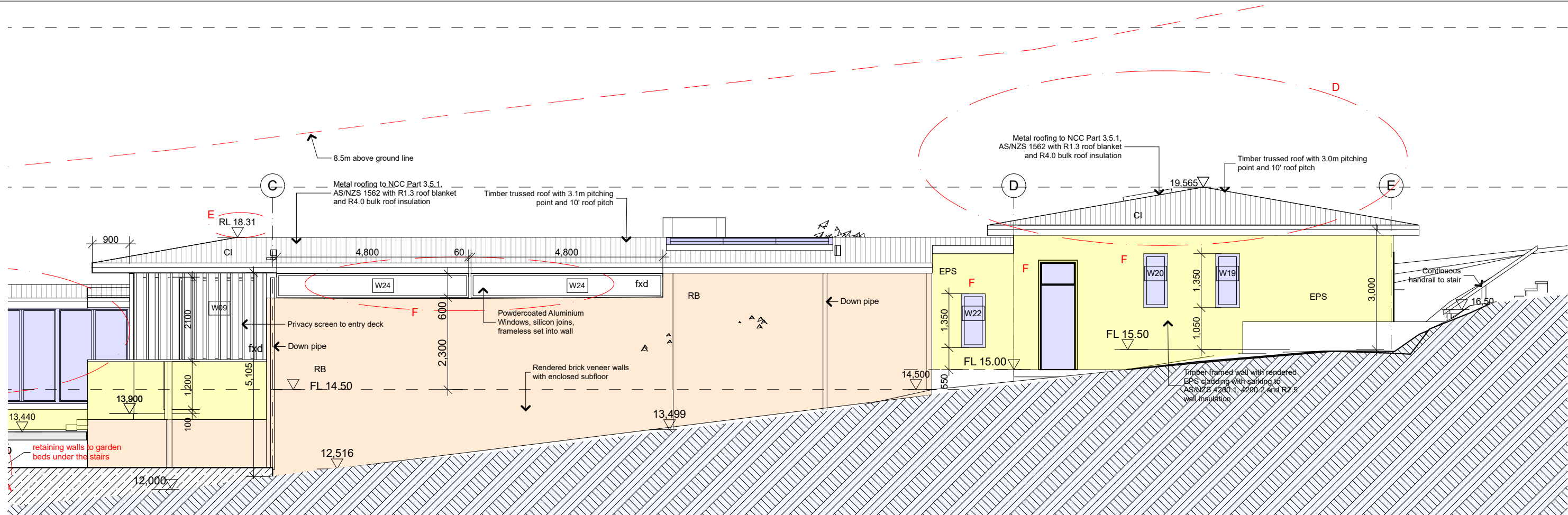


East Elevation

1:100

- A- Remove gym and add retaining walls to garage level
- B- Change Studio to Masterbedroom and connect with Breezeway
- C-Increase to ground-floor area
- D-Remove approved first floor
- E- Modified roof height and shape
- F- Modified windows and doors
- G- Remove Spa





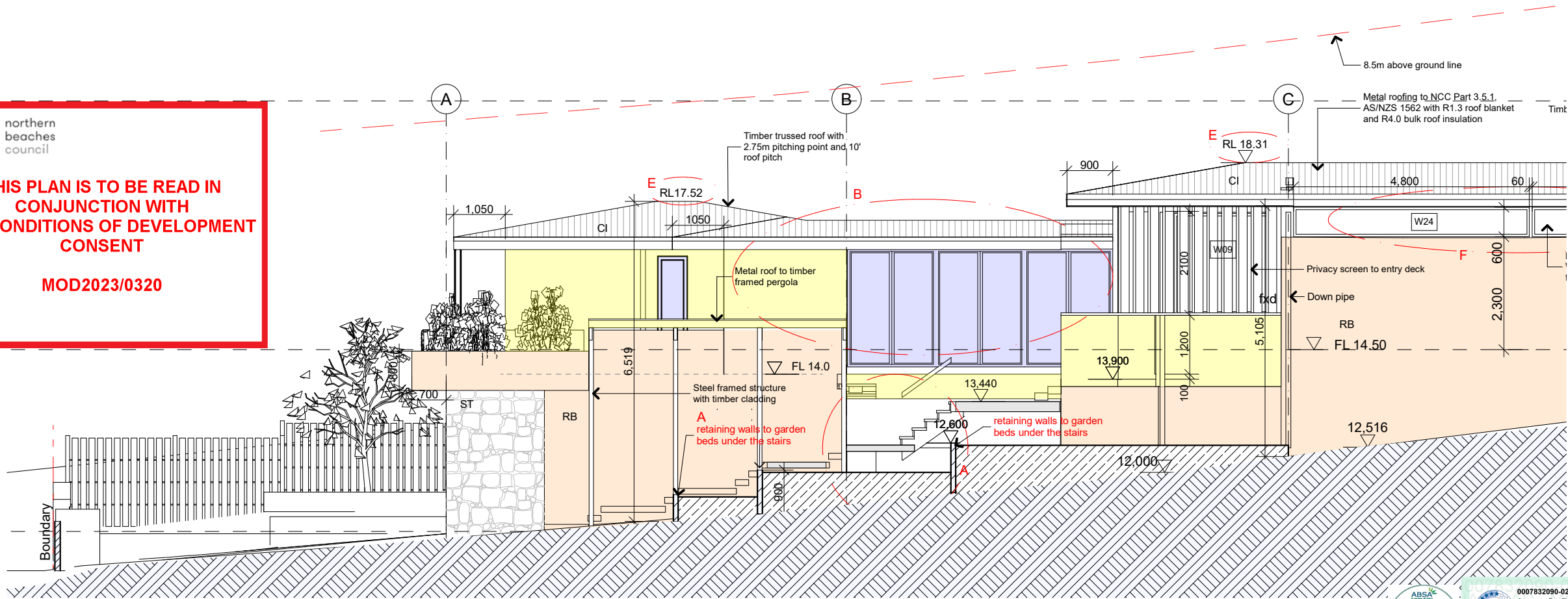
South Elevation

- List of Modifications**
- A- Remove gym and add retaining walls to garage level
 - B- Change Studio to Masterbedroom and connect with Breezeway
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 - F- Modified windows and doors
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MOD2023/0320



South Elevation

C-	DA Modification	25.05.23
B -	Construction Certificate	25.01.23
A -	DA Amendment	11.10.22

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2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Elevations - Elevations
South Elevation

Scale: as noted Date: 25.05.23

Status: DA mod Checked By: SH

Project No: **2022 02** Drawing No.: **DA07**

Plot Date: 26/05/2023