

STATEMENT OF ENVIRONMENTAL EFFECTS

FOR

DEVELOPMENT APPLICATION

FOR

Alterations to Existing Dwelling & Addition of 60SQM (Internal) Attached Secondary Dwelling

REVISION 02

1 Reid Avenue, Narraweena

Prepared for

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This SEE is part of a Development Application which includes Architectural, Hydraulics and Landscaping drawings.

1.0 Introduction

This Statement of Environmental Effects (SEE) forms a part of Development Application for the development of an alteration to existing dwelling and addition of proposed 60 SQM (Internal) Attached Secondary Dwelling at 1 Reid Avenue, Narrabeena.

The property at 1 Reid Avenue, Narrabeena NSW is owned by Mr Zhong & Mrs Zhou. They have owned this property for over 1 year.

1.1 Proposed Development

The Development Application seeks consent for a proposed single storey brick veneer Class 1a secondary dwelling comprising of 2 bedrooms, 1 bathroom with laundry facilities, a living / dining room, kitchen, and alteration to the main dwelling including 1 toilet.

Private Open Space for to the Secondary Dwelling is above 24 sqm.

1.2 Application of the Planning Instruments

State Environmental Planning Policy (Affordable Rental Housing) 2009

The SEPP2009 – Affordable Rental Housing does apply to this site, as the proposed development is within a residential zone.

The following two planning instruments are also assessed further to SEPP 2009 (ARH)

Warringah Development Control Plan 2011

Warringah Local Environmental Plan 2011

1.3 Is Development Consent Required?

Development consent is required since the current proposed development does not fully comply with SEPP 2009 – Affordable Rental Housing under complying development. Refer to **Section 3.6 Summary of Development Compliance** in this report for details

1.4 Consent Authority

Northern Beaches council is the consent authority for the proposed development.

1.5 Structure of the report

This report is divided into 5 sections which are as follows:-

- | | |
|------------------|--|
| <i>Section 1</i> | Introduction |
| <i>Section 2</i> | Describes the site, its location, key issues, context to surrounding built form Vehicular access, local transportation |
| <i>Section 3</i> | Describes and evaluates the development proposal |
| <i>Section 4</i> | Describe the environmental impact for construction of proposed development |
| <i>Section 5</i> | Conclusion |

2.0 *The Site*

2.1 Site Description

The subject property address is 1 Reid Avenue, Narraweena.

The real property description is Lot 59 in DP 36192.

The site area is 595.8 m²

The site slightly slopes to the front.

The site has a frontage of 13.715 m and side boundaries of 30.48 & 24.385m. The rear boundary measurement is 19.81m.



Figure 1 –1 Reid Avenue, Narraweena – Single Dwelling – Existing Brick Cottage with Tiled Roof

2.2 Site Uses

The proposed development is within an existing residential area. The existing dwelling is a single storey brick cottage.

The dwelling has all site water, and electricity facilities running from the nearest power and council sewer lines through the property.

2.3 Neighborhood Context

The houses on Reid Avenue- near the dwelling also compromise of a mix of single and double storey brick dwellings.



Figure 2 – 3 Reid Avenue, Narraweena - View Neighboring Property

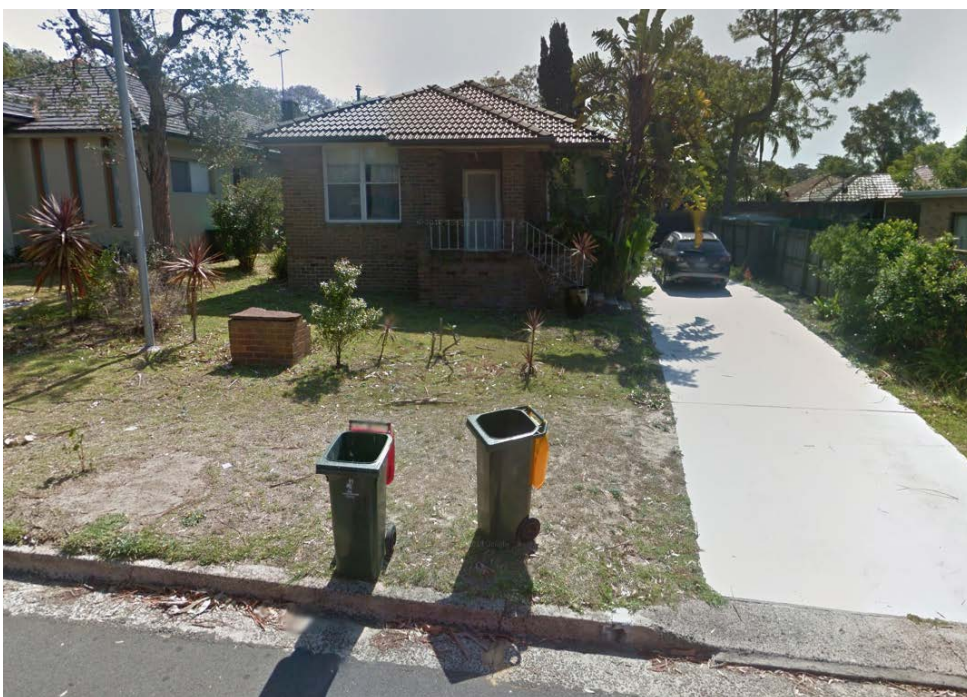


Figure 3 – 57 Oceana Street, Narraweena – View Neighboring Property

Access to Local Service

At present, Reid Avenue is a street that branches off Alfred Street. This street mainly services residential dwellings. The area is serviced by many local businesses, parks, places of worship, schools, and restaurants. With Alfred Street and Warringah Road being only a few hundred meters down the road, it is easily accessible by public transportation.

2.4 Site Analysis

A site plan, as required is attached to the DA application.

3.0 Description of Development

The proposed development is documented on architectural drawings forming part of this Development Application, including floor plans, elevations and sections.

Reference: Architectural Drawings

A Storm water – Hydraulics concept plan has also been attached to the DA outlining how and where all storm water pits and run-offs will be allocated and managed, it also proposes the design of all retaining walls with regards to the site and sediment control.

3.1 Design Guidelines and Considerations and Reason for Development Approval

Warringah Development Control Plan 2011

Warringah Local Environmental Plan 2011

The site at 1 Reid Avenue, Narraweena has a site area of 595.8m² which meets the 450m² minimum requirement.

3.2 Streetscape and Topography

The immediate existing neighboring properties adjacent to 1 Reid Avenue, consist of:

- 3 Reid Avenue, Narraweena – a single storey brick cottage
- 57 Oceana Street, Narraweena – a single story brick cottage

Bearing in mind the finished materials, cladding, tiling and landscape arrangements of all nearby properties beside and in front of the property, the proposal consists of materials and finishes to compliment the neighboring properties within Reid Avenue and Oceana Street.

3.3 Local Context

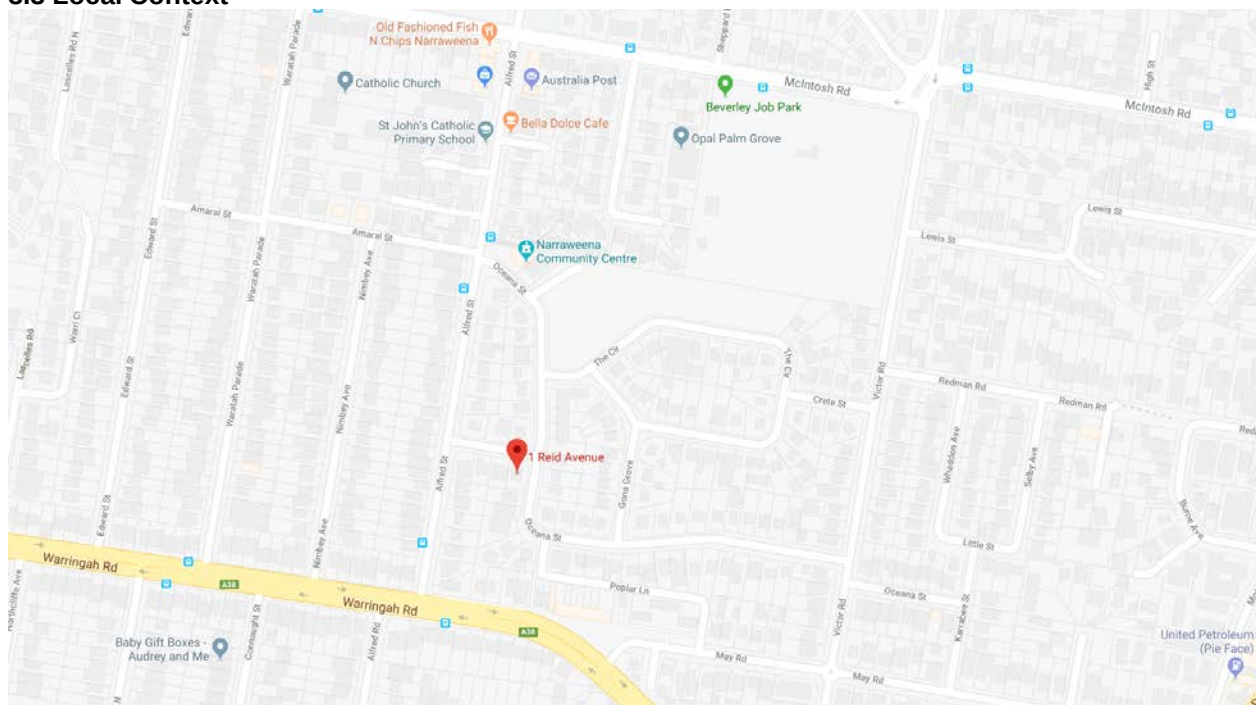


Figure 4 – 1 Reid Avenue, Narraweena – Local Context Aerial Map

3.4 Setbacks, Building Envelope and Urban Design

The rear setback to the secondary dwelling is 0.9 m. The side setbacks are also 2.915 m and 6.095m.

The private open space is 24m².

The total area to the secondary dwelling is 60m² (measured from internal wall).

The secondary dwelling is brick veneer construction on concrete slab with concrete roof.

The method of construction to the secondary dwelling is compatible with acid sulfate class 5 contamination to the site and flood affectations.

The ceiling height to the dwelling is 2.67 meters.

3.5 Balconies, Windows, Materials and Decorative Elements

Windows and material selection and have been located in places to bring about more harmony. Sun penetration, ventilation, and privacy to the dwelling, making the overall development of the dwelling consistent with existing developments on Reid Avenue and Oceana Street, and giving balance and uniqueness to the design of the secondary dwelling.

All external walls of the proposal will be face brick, and the roof will be tiled as per BASIX requirements.

The application contains a finished schedule in which contains the color, finish and texture of all external materials.

3.6 Summary of Development Compliance

The following table summarizes development control compliance in relation to **Warringah DCP 2011** and **Warringah LEP 2011** for further consideration.

DEVELOPMENT APPLICATION TABLE (WARRINGAH DCP 2011)

CLAUSE	REQUIRED	PROPOSED	COMPLIES
B1 WALL HEIGHT	- Walls not to exceed 7.2m from existing ground level to underside of the ceiling	-3.185m Max. Proposed Wall Height from NGL to U/S of Eaves	Y
B3 SIDE BOUNDARY ENVELOPE	- 0.9m Side Setback	2.915m Min. Side Setback Proposed	Y
B4 SITE COVERAGE	- 33.3% Total Building Footprint Allowed	- 60m ² (Internal) Proposed Secondary Dwelling Incl. Porch - 34.7m ² (Internal) Existing Extension To Be Slightly Altered - 89.24m ² Existing Primary Dwelling To Remain Unaltered TOTAL: 183.94m ² / 595.8m ² 30.87% Footprint Proposed	Y
B9 REAR BOUNDARY SETBACK	- On corner allotments for R2 Low Density Residential zoned lots where the minimum rear setback is 6 metres, the rear building setback does not apply.	- 0.9m	Y
D2 PRIVATE OPEN SPACE	- Attached dwellings with 2 bedrooms requires a total of 35m ² P.O.S with a minimum dimension of 3m	- 35m ² P.O.S with a minimum dimension of 5.8m	Y

4.0 Environmental Impact

The method of construction to the secondary dwelling is compatible with acid sulfate class 5 contamination to the site and flood affectations.

The development of the dwelling will cause no impact to the surrounding environment. Certain procedures are in place during the construction phase to ensure this. These include how the site is run by the project manager as well as the way the material waste is managed and disposed of.

These procedures have been outlined throughout the waste management plan which has been attached to this application. They involve the steps taken whilst the materials are being used on site and how they are disposed of.

5.0 Conclusion

This proposal for a secondary dwelling at 1 Reid Avenue, Narraweena is a significant addition to the property and the owner.

It draws in positive rental income and boosts the price of the property.

We hope to be working with Northern Beaches Council for this outcome and hope this outcome will be positive for the both of us.

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