

Aspect Development and Survey Pty Ltd

CONSULTING REGISTERED SURVEYORS

ABN: 60 078 649 000

PO Box 161
Kingsgrove NSW 1480
Ph: (02) 9554 8388

DX: 11392
Hurstville
admin@aspectsurvey.com.au

Suite 1, 103 Vanessa St
Kingsgrove NSW 2208
Fax: (02) 9554 8588

4 July 2023

MCDONALD JONES HOMES
P O Box 7994
BAULKHAM HILLS NSW 2153

Our Ref: 21/1064772/373956
Your Ref: 606935

BOUNDARY IDENTIFICATION REPORT BY FIELD SURVEY

Dear Sirs

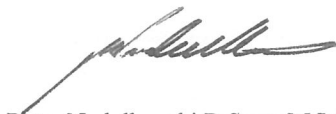
Acting in accordance with your instructions, I have surveyed for identification purposes only part of the land in Certificate of Title Folio Identifier 2568/752038, being Lot 2568 in Deposited Plan Number 752038, situated with a frontage to Wyatt Avenue at Belrose, in the Local Government Area of Northern Beaches, Parish of Manly Cove, County of Cumberland and report as follows:

1. The subject land is shown on the attached sketch - 21/1064772/373956.
2. The survey undertaken is based on Title details dated 3 May 2023, obtained from New South Wales Land Registry Services.
3. The boundaries of the subject land have been identified by a field survey and the relationship of the improvements surveyed to the boundaries are as shown on the attached sketch.
4. The property is known as number 24 Wyatt Avenue, Belrose.
5. The subject land is affected by:
Z223594 Restriction(s) on the use of land.

With regards to the improvements and subject land, I note that no investigation has been carried out by this office to verify any compliance with the above restriction(s) or covenant(s).

6. During the course of the survey no investigation has been undertaken to determine the existence of any possible subterranean services, structures or encroachments.
7. If further improvements are proposed the boundaries of the subject land should be marked.

Yours Sincerely



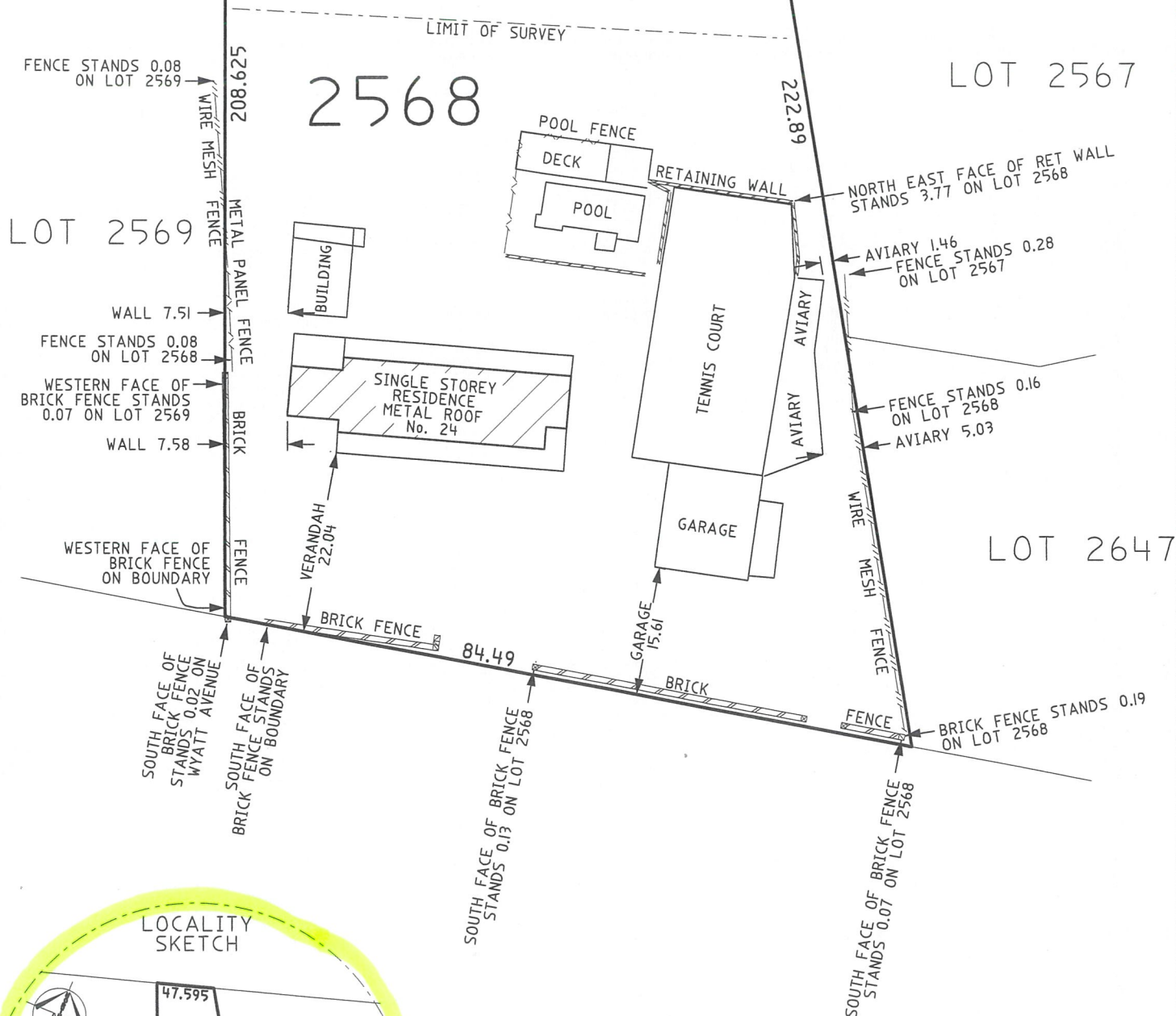
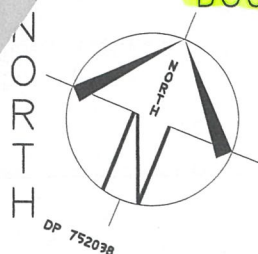
Peter Nedelkovski B.Surv. M.I.S.N.S.W.
Surveyor Registered under the Surveying
and Spatial Information Act, 2002.

SKETCH

CLIENT: McDONALD JONES HOMES

PAGE 2 OF 2.
NOTE: PAGE 1 FORMS AN INTEGRAL PART OF THIS SURVEY REPORT

IF FURTHER IMPROVEMENTS ARE PROPOSED THE BOUNDARIES OF THE SUBJECT LAND SHOULD BE MARKED.



ASPECT DEVELOPMENT & SURVEY PTY LTD

A.C.N. 078 649 000

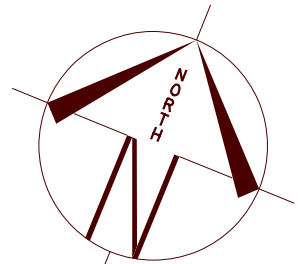
CONSULTING REGISTERED SURVEYORS

OUR REF: 21/1064772/373956
YOUR REF: 606935
LOT 2568 DP 752038
SUBURB: BELROSE

SUITE 1, 103 VANESSA STREET
KINGSGROVE NSW 2208
TELE (02) 9554 8388
FAX (02) 9554 8588

DX 11392
HURSTVILLE
P.O. BOX 161
KINGSGROVE NSW 1480

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DP 752038

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COPYRIGHT OF THIS PLAN AND THE ACCOMPANYING CAD FILE(S) WHERE APPLICABLE VESTS WITH ASPECT DEVELOPMENT & SURVEY Pty. Ltd.
THE PLAN AND CAD FILE SHALL ONLY BE USED BY THE ADDRESSED CLIENT FOR THE PURPOSE FOR WHICH THE SURVEY WAS CARRIED OUT.

LOT 2569

LIMIT OF SURVEY
FOR TENDER PURPOSES

LOT 2568

1.380 ha

148°38'20"
222.89

LOCALITY SKETCH

UBD AREA: SYD REVISION: 53

MAP: 156 REF: D9

S 33° 43' 26"

GPS
E 151° 12' 42"

Peter Nedelkovski B. Surv. M.I.S.N.S.W.

Surveyor Registered under the Surveying
And Spatial Information Act, 2002.

Identification No. 1722

LOT 2567

LOT 2647

ALL TREE HEIGHTS AND SPREAD ARE APPROXIMATE ONLY
AND ARE SHOWN FOR TENDER PURPOSES ONLY.
ALL TREE RELATED ISSUES TO BE REFERRED TO AN ARBORIST

NOTE: BUILDER TO CONFIRM WITH RELEVANT
ENERGY/TELECOMMUNICATIONS PROVIDER THAT
THE ZONE OF OVERHEAD LINES WILL NOT
AFFECT HOUSE DESIGN & CONSTRUCTION.
IF POSITION OF OVERHEAD LINES IS CRITICAL,
EXTRA SURVEY MAY BE REQUIRED.



HOW TO PROTECT SURVEY MARKS BEFORE WORKS COMMENCE

For details refer to -
[https://www.spatial.nsw.gov.au/data/assets/pdf/file/0003/221736/Protecting Survey Marks June2018 Final.pdf](https://www.spatial.nsw.gov.au/data/assets/pdf/file/0003/221736/Protecting%20Survey%20Marks%20June2018%20Final.pdf)
Find out if there are survey marks located in the area of interest by:

1. Viewing the Permanent survey mark layer on SIX Maps -
maps.six.nsw.gov.au and print the map showing location
of survey marks.
2. Download the Permanent Survey Mark Locality Sketches.
3. Inspecting the site, paying particular attention to survey marks
located in the footpath, kerb or gutter.

IF NO SURVEY MARKS ARE AFFECTED COMMENCE WORKS
IF SURVEY MARKS ARE IN THE AREA & COULD BE AFFECTED
BY THE WORKS, eg. disturbed or removed

1. Apply for Surveyor General Approval - Survey Mark(s) Removal.
2. Where required contact a Registered Surveyor to assist with the
conditions of approval.

PENALTIES FOR DISTURBING SURVEY MARKS

The unauthorised removal, disturbance or destruction of survey marks
is costly to the community. Section 24(1) of the Surveying and Spatial
Information Act 2002 states a person must not remove, damage,
destroy, displace, obliterate or deface any survey mark unless authorised
to do so by the Surveyor-General.

Penalties such as \$10,000 towards the cost of reinstatement
and up to \$10,000 towards loss or damage may apply.

NOTE:
THIS CONTOUR & DETAIL SURVEY IS FOR TENDER PURPOSES ONLY
& IS CARRIED OUT UNDER CLAUSE 9 OF THE SURVEYING & SPATIAL
INFORMATION REGULATION 2017.
IT MAY NOT FULFIL ALL THE REQUIREMENTS OF A DEVELOPMENT
APPLICATION (DA) OR A COMPLYING DEVELOPMENT CONSENT (CDC).
THE POSITION OF STRUCTURES & IMPROVEMENTS SHOWN ARE
APPROXIMATE ONLY. IF A DA OR CDC IS TO BE LODGED, IT IS
RECOMMENDED THE BOUNDARIES BE SURVEYED MORE ACCURATELY
& THE CONTOUR & DETAIL SURVEY BE UPDATED TO REFLECT THIS
ACCURACY. IF THE POSITION OF THE PROPOSED RESIDENCE IS
CRITICAL TO EXISTING STRUCTURES, ADDITIONAL SURVEY WORK
MAY BE REQUIRED TO ENSURE FINAL DESIGN SATISFIES THE CLIENT.
FOR ANY PROPOSED STRUCTURES IN RELATION TO A BOUNDARY,
A REGISTERED SURVEYOR MUST CARRY OUT A BOUNDARY SURVEY,
SETOUT SURVEY OR IDENTIFICATION SURVEY FOR THE PROPOSED WORKS.



SCALE 1:400

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES
OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION
SHOWN IS APPROXIMATE ONLY.
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.
- C) PITS AND SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE
APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL
BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES
PRIOR TO DA & THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
WORKS.
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT
LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON
PARTICULAR FEATURES.
- E) THIS SURVEY HAS BEEN CARRIED OUT UNDER CLAUSE 9 OF THE SURVEYING
AND SPATIAL INFORMATION REGULATION 2017.
- F) THIS SURVEY MAY NOT FULFIL ALL THE REQUIREMENTS OF A DEVELOPMENT
APPLICATION (DA) OR A COMPLYING DEVELOPMENT CONSENT (CDC).

SYMBOLS & ABBREVIATIONS:

GP	GULLY PIT	-E-	OVERHEAD ELEC LINE	TK	TOP OF KERB
SIP	SURFACE INLET PIT	-S-	SEWER LINE	RTK	ROLL TOP KERB
SIC	SEWER INSPECTION COVER	PP	POWER POLE	/	VC VEHICLE CROSSING
MH	SEWER MANHOLE	LP	LIGHT POLE	INV	INVERT
SWMH	STORMWATER MANHOLE	EC	ELECTRICITY CONDUIT	KO	KERB OUTLET
WM	WATER METER	ECT	ELEC & TELE CONDUIT	TTT	TOB TOP OF BANK
EL	ELECTRICITY BOX	TC	TELECOM CONDUIT	BOB	BOTTOM OF BANK
TP	TELECOMMUNICATIONS PIT	WC	WATER CONDUIT	OPSP	PRESSURE SEWER PUMP PIT
TD	TELECOMMUNICATIONS DOME	G	GAS CONDUIT	OPSPV	PRESSURE SEWER VALVE PIT
HYD	WATER HYDRANT	GM	GAS METER	FP	FLUSHING POINT
R/W	RECYCLED WATER HYDRANT	GD	GAS DISC	OL	OVERHEAD LINE
SV	STOP VALVE				

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PROJECT

OUR REFERENCE 21/1064772/370030
LOT 2568 DP 752038 SECTION
DATUM A.H.D. SOURCE SCMS 03/05/23
ORIGIN OF LEVELS PM 3405 REDUCED LEVEL 178.777
SURVEYED MS DATE 04/05/23
DRAWN FD DATE 11/05/23
SCALE 1: 400 A3 SHEET

CLIENT: McDONALD JONES HOMES

REF: 606935

REF:

ADDRESS: 24 WYATT AVENUE

SUBURB: BELROSE