

4 August 2010
Manly Council
PO Box 82
MANLY NSW 2095



Dear Sir or Madam:

Re: Lodgement of Modified Construction Certificate No.2009/180 for DA202/09 S96

Please find attached all required documentation relied upon to issue Construction Certificate and Notice of Commencement for the above development:

- Part 4A Lodgement Fee \$30.00 payable to Council.
- 1 full set of Council approved plans/Construction Certificate Plans.

Yours faithfully

A handwritten signature in blue ink, appearing to read "C Formosa".

Craig Formosa


\$30.00
R/W 709623
9/8/2010

POSTED
04/08/10



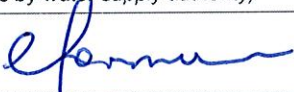
CONSTRUCTION CERTIFICATE # 2009/180 Stage 2-mod 1 Approved **04/08/10**

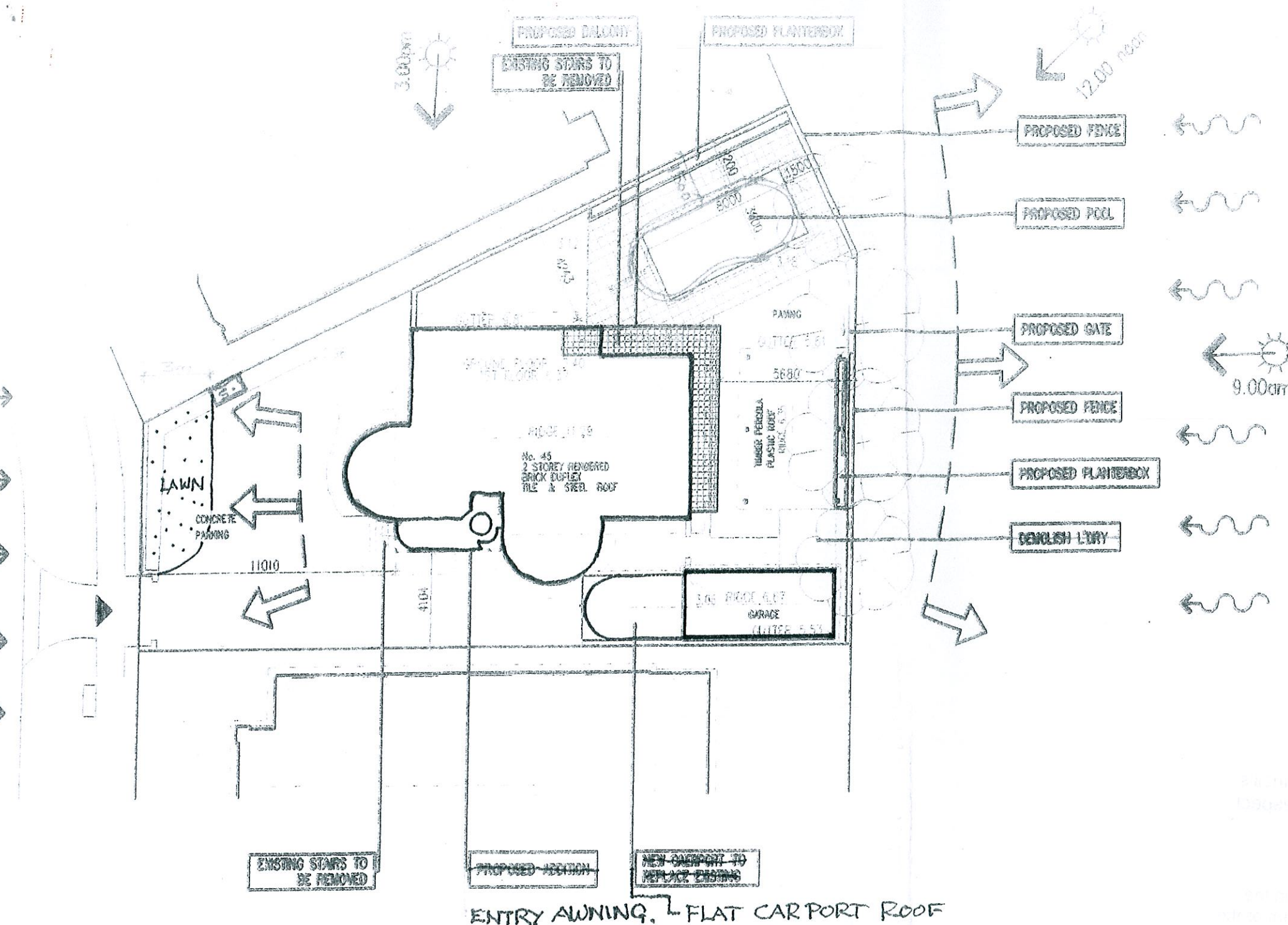
Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 109C(1)(b) and 109F

Date Application Received	01/11/09		
Council	Manly		
Development Consent No.	202/09	Date Approved	31/3/10
Certifying Authority	Craig Formosa	Accredited Certifier	Craig Formosa - BPB0124
Accreditation Body	Building Professionals Board		
APPLICANT DETAILS			
Name	Rebecca Ann Cook	Ph No.	0409 977 697
Address	45 Eurobin Avenue, MANLY NSW 2095		
OWNER DETAILS			
Name	Rebecca Ann Cook		
Address	45 Eurobin Avenue, MANLY NSW 2095		
DEVELOPMENT DETAILS			
Subject Land	45 Eurobin Avenue, MANLY NSW 2095	Lot No.	71 DP 14521
Description of Development	Alterations and additions to an existing residential flat building including new front entry, rear first floor deck, pool and new carport roof – S96 (1A) Modification		
Class of Building	1a, 10a, 10b	Value of Work	\$80,000.00
BUILDER DETAILS			
Name	Michael Cesco		
Address	PO Box 757 NEUTRAL BAY NSW 2089		
Contact Number	9400 5300	License No.	196625C
APPROVED PLANS & DOCUMENTS			
Plans Prepared By	Patten Design		
Drawing Numbers	Drawings 1-6	Dated	December 09
CERTIFICATION			
I, Craig Formosa, as the certifying authority am satisfied that;			
(a) The requirements of the regulations referred to in s81A (5) have been complied with. That is, work completed in accordance with the documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as referred to in section 81A (5) of the Act, and			
(b) Long Service Levy has been paid where required under s34 of the Building & Construction Industry Long Service Payments Act 1986.			
Signed:			Date: 04/08/10

NOTICE OF COMMENCEMENT OF BUILDING WORK & APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY

Issued under the Environmental Planning & Assessment Act, 1979 - Sections 81A(2)(b)(ii) or (c), or (4)(b)(ii) or (c), 86(1) & (2)

CONSTRUCTION CERTIFICATE			
Certificate No.	2009/180 Stage 2-mod 1		
Date of Issue	04/08/10	Commencement Date	06/08/10
APPLICANT DETAILS			
Name	Rebecca Ann Cook	Ph No.	0409 977 697
Address	45 Eurobin Avenue, MANLY NSW 2095		
DEVELOPMENT DETAILS			
Subject Land	45 Eurobin Avenue, MANLY NSW 2095	Lot No.	71 DP 14521
Description of Development	Alterations and additions to an existing dwelling, including new flat roof and new garage roof.	DA Consent No.	202/09
Issued By	Manly Council	Determination Date	31/3/10
Class of Building	1a, 10a, 10b	Value of Work	\$80,000.00
BUILDER DETAILS			
Name	Michael Cesco		
Address	PO Box 757 NEUTRAL BAY NSW 2089		
Contact Number	9400 5300	License No.	196625C
PRINCIPAL CERTIFYING AUTHORITY			
Certifying Authority	Craig Formosa	ABN	76 134 030 710
Accredited Certifier	Craig Formosa	Accreditation No.	BPB0124
Address	PO Box 1824, Dee Why NSW 2099	Contact Number	0432 097 545
MANDATORY CRITICAL STAGE INSPECTIONS: Class 1 & 10 Buildings			
Prior to issue of construction certificate			20/10/09
Piers – prior to pour			NO
Footings/slab – prior to pouring of reinforced concrete			NO
Timber frame – floor frame- prior to lining			NO
Timber frame – wall & roof frame- prior to lining			YES
Waterproofing – wet areas			NO
Stormwater pipes – prior to backfilling			NO
Pool steel – prior to pouring of reinforced concrete			NO
Pool fence – prior to water in the pool			NO
Final inspection – issue of Occupation Certificate			YES
PCA to state any additional inspections: NO			
COMPLIANCE WITH DEVELOPMENT CONSENT/COMPLYING DEVELOPMENT CERTIFICATE			
Have all conditions required to be satisfied prior to commencement of work, been met? (Conditions may include payment of security, S94 contributions, endorsement of building work plans by water supply authority)		YES	<input checked="" type="checkbox"/>
		NO	<input type="checkbox"/>
Signed		Date	04/08/10



KEY

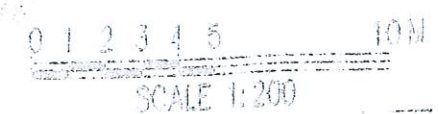
These plans relate to Development
 Consent No. 202/09
 The plans are NOT for construction.

SECTION 96 ITEMS

- Modify Pool shape
- Keep existing L'DRY
- Delete Proposed Addition and provide Entry Awning
- New Flat Car Port Roof to replace existing
- Provide Min 12 sqm landscape to South West Edge
- Gas & Elec. Service Box addition

SITE ANALYSIS PLAN 1:200

This is the plan/spec. referred to in Form Building Certifiers Certificate
 Certificate No. 2009/180 Stage 2 Mod 1
 Plan No. 2/1-6 Date 04/08/10
 Craig Formosa BPB0124



PATTEN DESIGN
 11/11/09
 0423 780 880

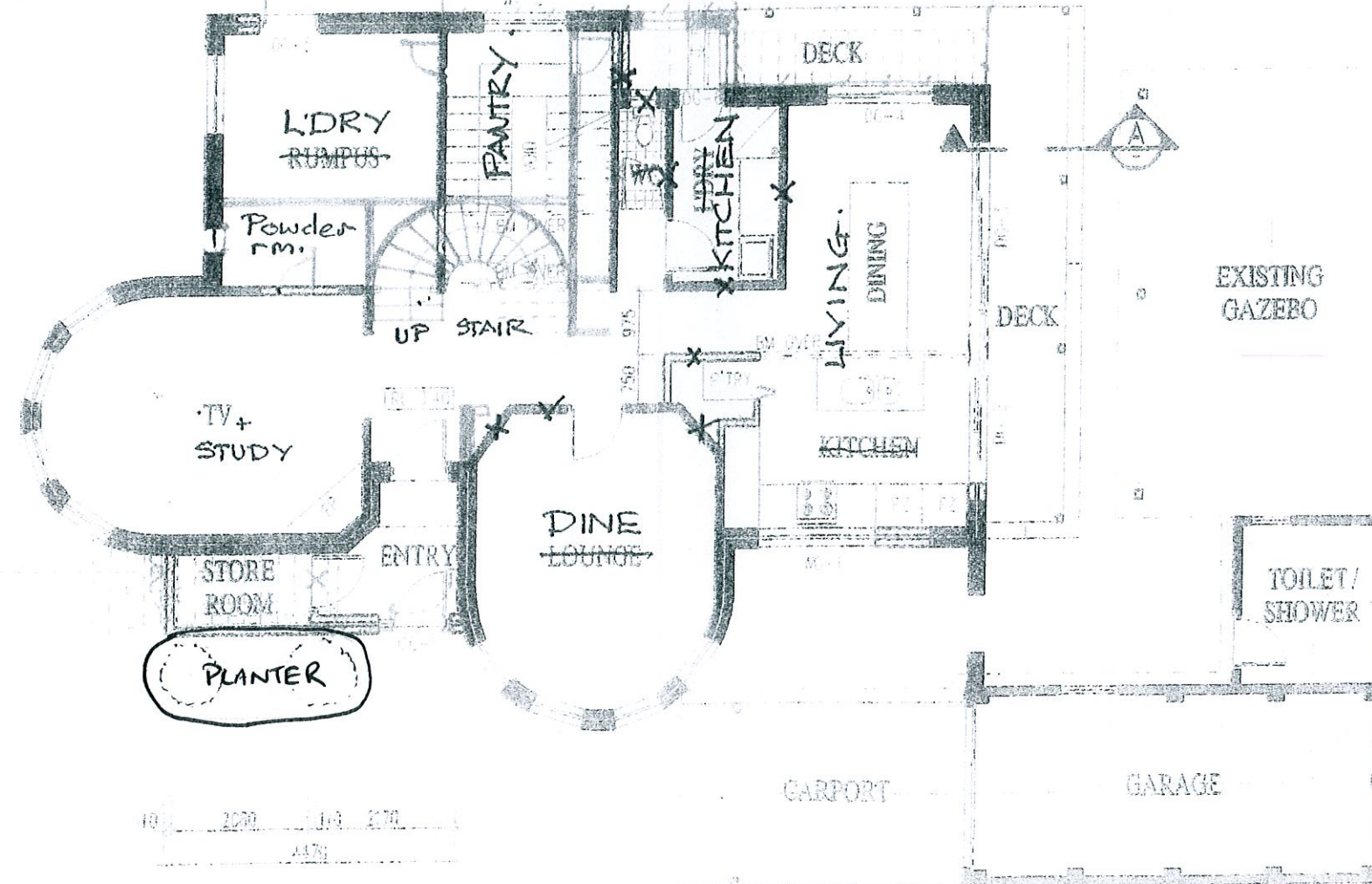
ISSUED FOR SECTION 96 13 DEC 2009

PROJECT
 PROPOSED ADDITIONS AND ALTERATIONS
 15 ROBIN AVENUE
 SEAFORD VIC 3198
 11/11/09

DATE: 11/11/09
 DRAWN BY: [signature]
 CHECKED BY: [signature]
 SCALE: 1:200

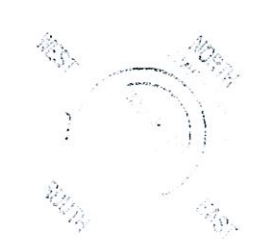
SECTION 96 ITEMS

- Modify Pool Shape
- Relocate Stairs
- Amend Wall doors and windows in Shown Locations.
- Delete proposed Store Room
- Provide entry Awning
- Provide entry Planter



These plans relate to Development
Consent No. 202/09
The plans are NOT for construction.

THIS PLAN / DOCUMENT FORMS
PART OF FORM BUILDING
CERTIFIERS CC / CDC



PROPOSED GROUND FLOOR PLAN 1:100

0 1 2 3 4 5 10M
SCALE 1:100

PATTERN DESIGN

1:100 (1:100) (1:100) (1:100) (1:100)

0.125 0.125 0.125

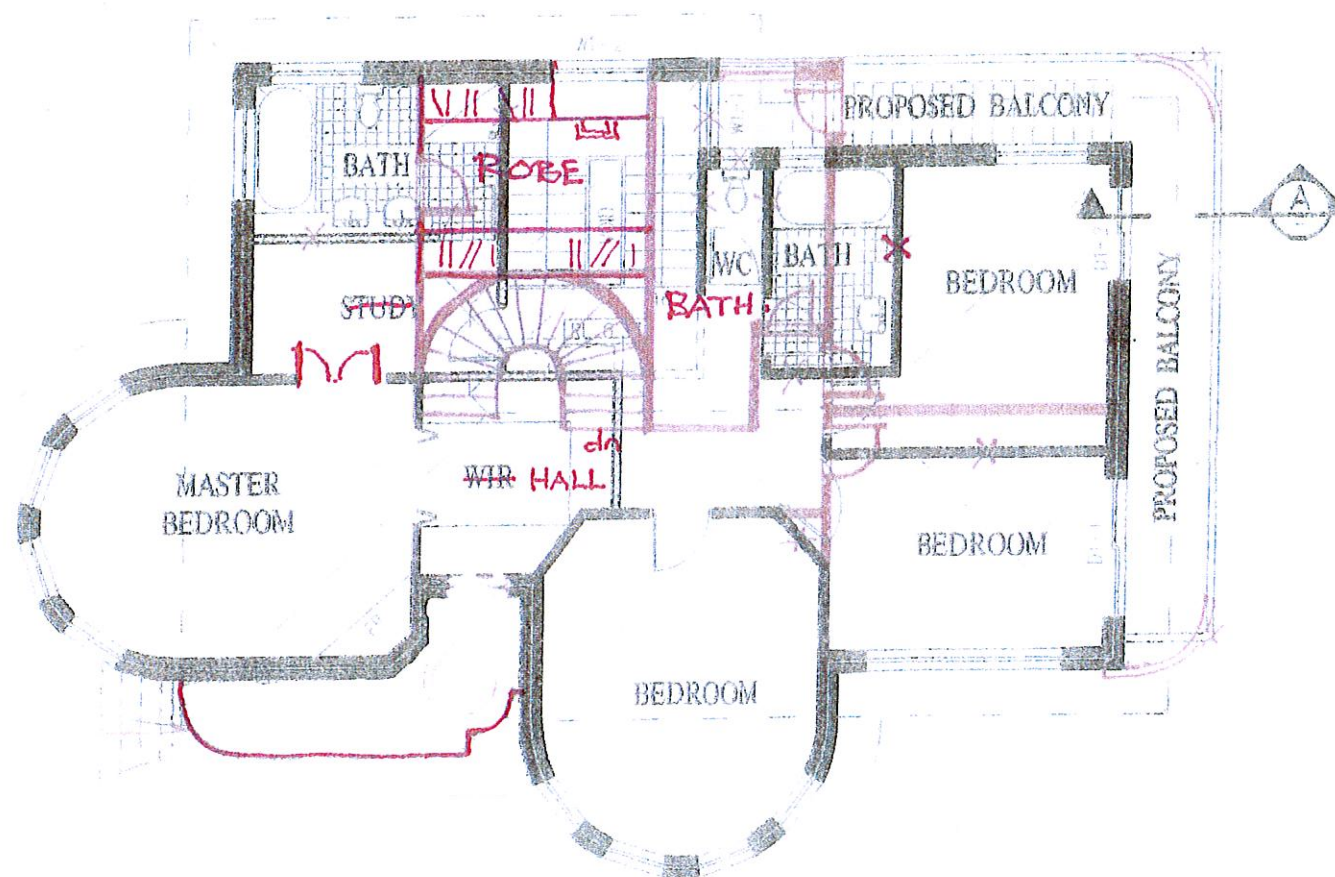
ISSUED FOR SECTION 96 15 DEC 2009

PROJECT
PROPOSED ADDITIONS AND ALTERATIONS
15 DEC 2009
15 DEC 2009
15 DEC 2009

SCALE 1:100
SCALE 1:100
SCALE 1:100
SCALE 1:100

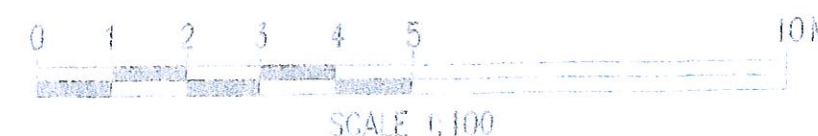
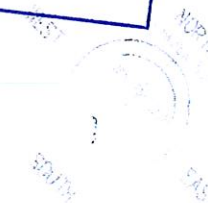
- SECTION 96 ITEMS.
- Relocate Stairs
 - Amend Walls, doors and windows in shown Locations
 - Chamfer Balcony as shown.

Entry Awning



These plans relate to Development
Consent No. 202109
The plans are NOT for construction.

THIS PLAN / DOCUMENT FORMS
PART OF FORM BUILDING
CERTIFIERS CC / CDC



PROPOSED FIRST FLOOR PLAN 1:100

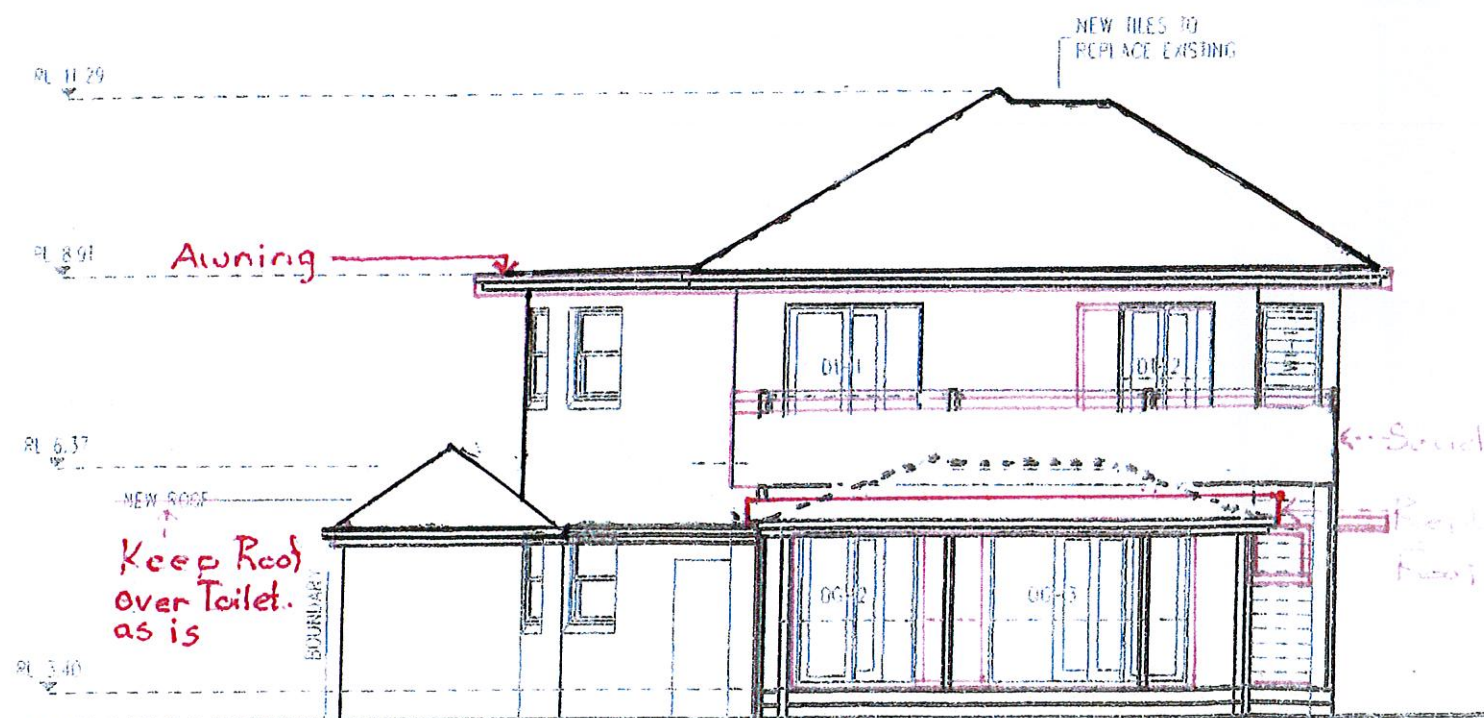
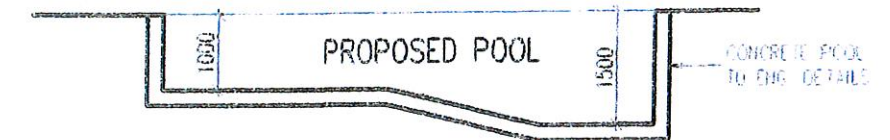
<p>PATTEN DESIGN</p> <p>1117 Ridge Rd, Roseville, NSW 2058</p> <p>0428 780 880</p>	<p>ISSUED FOR SECTION 96 1A DEC 2009</p>	<p>PROJECT</p> <p>PROPOSED ADDITIONS AND ALTERATIONS</p> <p>45 FORBIN AVENUE</p> <p>83 VALLEY NSW 2095</p> <p>CLIENT</p> <p>THOR COOK</p>	<p>DATE DEC 09</p> <p>SCALE AS NOTED</p> <p>DESIGN APPROVAL</p> <p>SEAL OF PATTEN</p> <p>DRAWING NO. 3.</p> <p>SHEET</p>
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SECTION 96 ITEMS



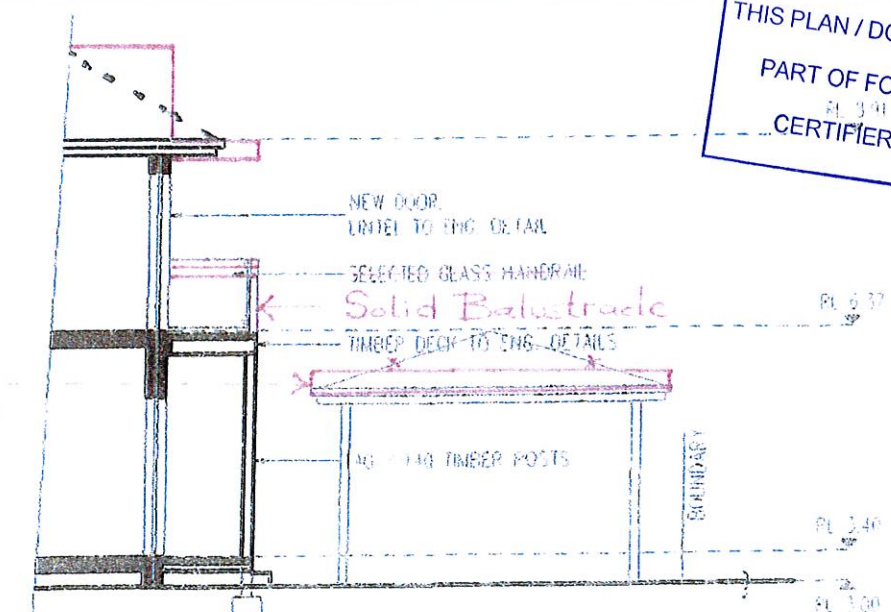
PROPOSED NORTH - WEST ELEVATION 1:100

- Extend existing Awning
- Keep Existing Windows.
- Delete New Roof to toilet/shower retain existing
- Replace Roof over Existing Gazebo with flat Roof
- Provide Solid Balustrade
- Modify Doors and Windows as Shown.



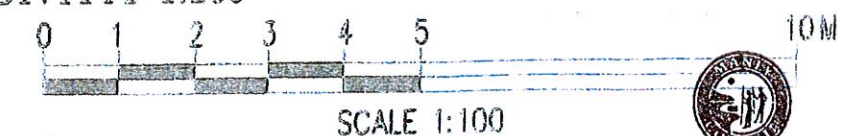
PROPOSED NORTH - EAST ELEVATION 1:100

SECTION B-B 1:100



THIS PLAN / DOCUMENT FORMS
PART OF FORM BUILDING
CERTIFIERS CC / CDC

SECTION A-A 1:100



<p>PATTEN DESIGN</p> <p>14/17 Balgowlah Road Manly 2095 ABN 0428 780 880</p>	<p>ISSUED FOR SECTION 96 1A DEC 2009</p>	<p>PROJECT PROPOSED ADDITIONS AND ALTERATIONS 45 EUROBIN AVENUE MANLY NSW 2095 CLIENT M & R COOK</p>	<p>DATE: DEC 09 SCALE: AS NOTED</p> <p>DESIGN MODIFICATION: MAURICE PATTEN</p> <p>DRAWING NO: 5. SHEET</p>	<p>These plans relate to Development</p> <p>Consent No. 202/09</p> <p>The plans are NOT for construction.</p>
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