

10 March 2011

Pittwater Council
PO Box 882
Mona Vale NSW 1660

Dear Sir/Madam,

Re: Development Application No: N0564/09 & S96(1)
Our Construction Certificate No: CC138/2010
Premises: 11 Cynthea Road, Palm Beach

Please find attached a copy of the following:-

- Construction Certificate, stamped approved plans and relevant documentation.
- Notice to Commence Building Work.
- Appointment of a Principal Certifying Authority.

In accordance with the regulations we have enclosed a cheque for the sum of \$30.00 for the submission of the Part 4A certificate.

Should you have any further enquiries please do not hesitate to contact us and we will be pleased to assist you.

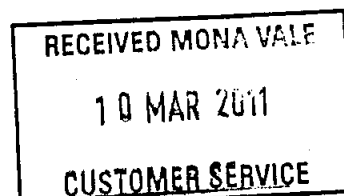
NB: Please forward receipt for the above \$30.00 fee to CERTGROUP Building Certifiers, PO Box 870 Narrabeen NSW 2101

Yours faithfully,



Mark Wysman
CERTGROUP Building Certifiers

\$30 REC(29872) 10/3/11



CONSTRUCTION CERTIFICATE DETERMINATION

Issued under the Environmental Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

CONSTRUCTION CERTIFICATE NO: 138/2010

DETERMINATION

Decision: **Approved**
Date of Decision: 10 March 2011

SUBJECT LAND

Address: 11 Cynthea Road, Palm Beach
Lot No, DP: Lot 83 DP 14630

DESCRIPTION OF DEVELOPMENT

Alterations and additions to the existing dwelling including a second floor addition.

APPLICANT

Name: G & P Corrie
Address: 11 Cynthea Rd, Palm Beach
Contact Number: (tel) tel: 0421 051 091

OWNER

Name: G & P Corrie
Address: 11 Cynthea Rd, Palm Beach
Contact Number: (tel) tel: 0421 051 091

BUILDER

Builder Lic No: MC Carry Homes Lic U36356

PLANS AND SPECIFICATIONS

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with "CERTGROUP Building Certifiers" stamp.

DRAWING NUMBER

DATE

Architectural Plan No's: CC-01, CC-02, CC-03, CC-04, CC-05, CC-06, CC-07, CC-08, CC-09, CC-10, CC-11, CC-12, all Revision 1 prepared by Nvisage Pty Ltd	07/06/10 &10/06/10
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ATTACHMENTS

Specification & schedule of finishes prepared by: Nvisage Pty Ltd.	Undated
Structural Details Plan No's. S1.00, S2.00, S2.01, S3.00, S3.01, S4.00, S4.01, S5.00, S5.01, S5.02, prepared by Barrenjoey Consulting Engineers	June 2010
Certificate of Existing Structural Adequacy, prepared by: Barrenjoey Consulting Engineers Pty Ltd	23/06/10
Stormwater Certificate, prepared by Barrenjoey Consulting Engineers Pty Ltd	18/06/10
Form 2 Part A & B Geotechnical Risk Management Policy, prepared by VDM Consulting Engineers Pty Ltd & Lucas Molloy	07/12/09 & 19/07/10
Bushfire Building specification –BAL 29 – AS3959 – 2009 requirements	03/03/11
Sydney Water Quick Check Stamp Property No. 3411376	02/06/10
LSL Receipts	21/06/10 & 03/03/11
Construction Certificate Application Form Received	14/07/10

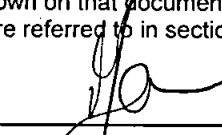
CERTIFICATE

I certify that work completed in accordance with documentation accompanying the application for this certificate (with such modifications as verified by the undersigned as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation, as are referred to in section 81A(5) of the Environmental Planning and Assessment Act, 1979"

SIGNATURE

DATE OF ENDORSEMENT

CERTIFICATE NO


10 March 2011

138/2010

CERTIFYING AUTHORITY

Name of Certifying Authority
Name of Accredited Certifier
Registration No
Contact No
Address

CERTGROUP BUILDING CERTIFIERS
Mark Wysman
BPB 0449 – NSW Building Professionals Board
PH (02) 9944 8222, FAX (02) 9944 6330
PO BOX 870 NARRABEEN NSW 2101

DEVELOPMENT CONSENT

Council
Development Consent No
Date of Determination

Pittwater
N0564/09 & S96(1)
10/2/10 & Modified 14/04/10

BUILDING CODE OF AUSTRALIA CLASSIFICATION

1a

RECORD OF SITE INSPECTION

Issued under clauses 143B & 143C EPAR 2000

☒ **SITE INSPECTION**

☒ **MEMORANDUM**

Project: Alterations & additions including a second floor addition **DA No:** N0564/09 & S96(1)

Address: 11 Cynthea Road, Palm Beach

Date: 14/07/10

Type of Inspection: Prior to issue of Construction Certificate

Result of Inspection

* The current fire safety measures in the existing building the subject of the inspection are satisfactory. ☐ Yes ☐ No ☒ N/a

Details: _____

* Whether or not the plans and specifications accompanying the application for the construction certificate adequately and accurately depict the condition of the existing building the subject of the inspection are satisfactory. ☒ Yes ☐ No ☐ N/a

Details: _____

* Whether or not any building work authorised by the relevant development consent has commenced on the site. ☐ Yes ☒ No ☐ N/a



Mark Wysman
Accredited Certifier:

NSW BPB 0449

**Home Warranty
Insurance
Certificate of Insurance**

Policy Number
BN-0023019-BWI-5



**Home Warranty
Insurance Fund**

Level3, 85 Harrington St
SYDNEY NSW 2000
Phone: 1300 790 723
Fax: 02 8275 9330
ABN: 78 003 191 035
AFS License No: 239545



GAIL & PETER CORRIE
11 CYNTHIA ROAD
PALM BEACH NSW 2108

Name of Intermediary
AON HIA (NSW/ACT)

Account Number
BN-0006684

Date Issued: 16/02/2011

Policy Schedule Details

Certificate in Respect of Insurance

Residential Building Work by Contractors

A contract of insurance complying with sections 92 and 96 of the Home Building Act 1989 has been issued by QBE Insurance (Australia) Limited as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650) who is responsible for management of the Home Warranty Insurance Fund.

In Respect of	ALTERATIONS AND ADDITIONS STRUCTURAL
At	11 CYNTHIA ROAD PALM BEACH NSW 2108
Carried Out By	BUILDER MC CARRY HOMES PTY LTD ABN: 56 002 821 150
Declared Contract Price	\$575,050.00
Contract Date	21/02/2011
Builders Registration No.	U 36356
Building Owner / Beneficiary	GAIL & PETER CORRIE

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract, cover will be provided to the Building Owner/Beneficiary named in the domestic building contract and to the successors in title to the Building Owner/Beneficiary or the immediate successor in title to the contractor or developer who did the work and subsequent successors in title.

Signed for and on behalf of NSW Self Insurance Corporation

IMPORTANT NOTICE:

This Certificate must be read in conjunction with the Policy Wording and kept in a safe place. These documents are very important and must be retained by you and any successive owners of the property for the duration of the statutory period of cover.

QM2771-0910

Schedule

of

Fittings, Fixtures & Finishes

for a Proposed Renovation Project

at: 11 Cynthea Road, Palm Beach Postcode: 2108

for: Gail and Peter Corrie

This project was designed by Nvisage.
PO Box 1668 Warriewood Square, 2102
Ph. (02) 9918 3710 Fax. (02) 9918 4518

Drawing Reference No: RES36

In the event that there is a difference(s) between item(s) noted on the Drawings, and a selection made in this Schedule, preference shall be in favour of: The Drawings

This Schedule forms part of the Building Contract.

No materials are to be substituted unless the builder advises the client and the designer in writing, and obtains written approval from the client.

CERTGROUP BUILDING CERTIFIERS
APPROVED CONSTRUCTION CERTIFICATE
PLAN / DOCUMENTATION

COUNCIL COPY

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SECTION 1.0 Termite Control

1.1	Termite Control	My Own Selections
1.1.1	Manufacturers Name	TMA Corporation Pty. Ltd.
1.1.3	Design Series Name	Termimesh
1.1.4	Other Optional Information	Ant caps on piers in basement

SECTION 3.0(A) Carpentry: Doors & Structure

3.1	Timber Wall Frame with Termite Protection Treatment	My Own Selections
3.1.1	Manufacturers Name	Woodlogic
3.1.3	Design Series Name	Framesure Blue
3.1.4	Other Optional Information	or similar for gym structure, Standard timber stud framing for second floor extension.
3.2	Front Entry Door(s) and Frame	My Own Selections
3.2.1	Is the Owner to supply this item/product ?	No
3.2.2	Manufacturers Name	hafele door hardware
3.2.4	Design Series Name	framless glass pivot door
3.2.6	Type of glass	toughened 10mm glass clear
3.2.7	Colour of door frame and architraves	refer to door schedule
3.2.8	Other Optional Information	Hefele door hardware for pivot and clamps or similar

3.3 Sidelight Panel(s) to Front Entry Door(s)		My Own Selections
3.3.1 Is the Owner to supply this item/product ? No		
3.3.2 Manufacturers Name aneeta windows		
3.3.4 Design Series Name sashless window code: 2PBF		
3.3.5 Sidelight Style Refer to Drawings		
3.3.6 Glass of Sidelight clear		
3.3.7 Colour of door frame and architraves refer to window /door schedule		
3.5 External Hinged Door(s) (not including the front entry door)		My Own Selections
3.5.1 Is the Owner to supply this item/product ? No		
3.5.2 Manufacturers Name TBA		
3.5.4 Design Series Name Vantage magnum frame		
3.5.5 Door Style French doors and sliding (refer to schedule)		
3.5.6 Glass Panel Clear		
3.5.7 Colour of door(s) Refer to schedule "white satin"		
3.5.8 Colour of door frame and architraves Refer to Schedule powder coat "white satin"		
3.5.9 Other Optional Information All new external doors are aluminum powder coated. Refer to schedule. Glass in rear facing french doors and sliding door to be bushfire resistant for zone 3.		
3.9 Internal Entrance Doors (stairwell, garage)		My Own Selections
3.9.1 Is the Owner to supply this item/product ? No		
3.9.2 Manufacturers Name TBA		
3.9.4 Design Series Name Internal Doors solid core		
3.9.8 Do you require Glass Insert Panel in your door. If available? Yes		
3.9.9 Glass Panel Insert Design Design of glass insert TBA with Client. Refer to door schedule (ID-01) Name		
3.9.10 Colour of doors TBA with Client		
3.9.11 Colour of door frames and architraves TBA with Client		
3.9.12 Other optional Information Door to garage, solid core.		
3.14 Internal Sliding Doors (walk-in robes & ensuite)		My Own Selections
3.14.1 Is the Owner to supply this No		

	item/product ?	
3.14.2	Manufacturers Name	Corinthian
3.14.4	Design Series Name	cavity sliding doors
3.14.5	Location (refer to Drawings	Refer to Drawings
3.14.10	Colour of doors	TBA with Client
3.14.11	Colour of door frame and architraves	TBA with Client
3.14.12	Other optional Information	Cavity slides, solid core doors to be painted. Refer to schedule

SECTION 3.0(C) Carpentery: Mouldings, Flooring, Stairs, etc

3.32	If Timber Skirtings are required, then they shall be:		My Own Selections
3.32.1	Is the Owner to supply this item/product ?	No	
3.32.2	Manufacturers Name	not specific	
3.32.4	Design Series Name and Size	Pencil Round 86 x 18	
3.32.5	Colour	TBA with Client	
3.32.6	Other Optional Information	replace all existing skirting. Profile TBA with Client	

3.34	If Timber Door and Window Architraves are required, then these shall be:		My Own Selections
3.34.1	Is the Owner to supply this item/product ?	No	
3.34.2	Manufacturers Name	Not specific	
3.34.4	Design Series Name	Same as Skirtings	
3.34.5	Colour	TBA with Client	
3.34.6	Other Optional Information	Profile TBA with Client.	

3.36	If Timber Door Jambs are required, then these shall be:		My Own Selections
3.36.1	Is the Owner to supply this item/product ?	No	
3.36.2	Manufacturers Name	not specific	
3.36.4	Species and Size	Timber species to match skirtings and architraves, Leave the size to the discretion of the Builder	
3.36.5	Colour	TBA with Client	
3.36.6	Other Optional Information	single rebate jambs.	

3.39	Internal Stairs and Balustrades		My Own Selections
3.39.1	Is the Owner to supply this	No	

	item/product ?	
3.39.2	Manufacturers Name	not specific
3.39.4	Design of Timber Hand Railing	Round single rail
3.39.9	If Design of Timber Feature Ends	Rounded off ends
3.39.13	Timber / MDF Treads	MDF (if treads and risers are to be carpeted)
3.39.15	Design of Stringers	Closed Stringer
3.39.16	Design of Winder (if shown on the working drawings)	Refer to Drawings
3.39.17	Colour	carpeted TBA with Client
3.39.18	Other Optional Information	Timber single hand rail on one side. Treads and risers to be covered in carpet, the underside of stringer to be lined with plasterboard.

3.42	External Timber Deck Flooring		My Own Selections
3.42.1	Is the Owner to supply this item/product ?	No	
3.42.2	Manufacturers Name	Warringah Timbers	
3.42.4	Size	86 x 19mm DAR	
3.42.5	Timber Species	Ironbark	
3.42.6	Other Optional Information		

3.43	Part Height Internal Walls to Display Ledges, Wall Recesses, Niches and Plinths		My Own Selections
3.43.1	Is the Owner to supply this item/product ?	No	
3.43.2	Top of Wall Finish	Other : specify your alternative choice in the "Other Optional Information" text box below	
3.43.3	Other Optional Information	Painted timber on top of balustrade wall at top of stairs to match wall colour. Blade wall in ensuite to have recess for shampoos etc. (tiled) Bedhead wall to have recess for books, light fittings and power points. Material TBA with Client	

SECTION 4.0 Metalwork

4.1	Metal Roof Sheetting : Refer to Section 5.1		
4.2	Gutters : Refer to Section 5.4		
4.3	Metal Fascias : Refer to Section 5.5		

4.5	Metal Ridge and Hip Cappings : Refer to Section 5.7
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4.6	Metal Down pipes : Refer to Section 5.8
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4.7	Garage Doors	My Own Selections
4.7.1	Is the Owner to supply this item/product ?	No
4.7.2	Manufacturers Name	Steel-Line Garage Doors or other
4.7.4	Design Series Name (door type)	Slim Line (sectional door)

4.7.6	Remote Control and motor to door	No
4.7.10	Colour,	Jasper
4.7.11	Other Optional Information	Replace existing garage doors, use existing motors and remotes. Refer to door schedule. Confirm colour with Client

4.10	If Expanded Aluminum Security Screens are required, then these will be:	My Own Selections
4.10.1	Is the Owner to supply this item/product ?	No
4.10.2	Manufacturers Name	not specific
4.10.5	Location(s)	All windows and external doors (hinged and sliding) to all floors
4.10.6	Flyscreens	Yes
4.10.7	Colour	To match window frames
4.10.8	Other Optional Information	All fly screens on windows facing south are to be metal mesh as required for Bushfire zone 3. All other windows standard fly screen mesh. Refer to window and door schedule for windows not to be screened.

SECTION 5.0 Roofing

5.1	If Metal Roof Sheetting are shown on the Drawings, it shall be:	My Own Selections
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5.1.1	Is the Owner to supply this item/product ?	No
5.1.2	Manufacturers Name	Iysaght Building Products
5.1.4	Design Profile Name (Minimum Roof Angle) * = suitable for curving.	Other : specify your alternative choice in the "Other Optional Information" text box below
5.1.5	Site Exposure Conditions (Coating type)	Moderate (Colorbond XRW)
5.1.6	Base Metal Thickness	Refer to the Drawings, 0.48mm

5.1.7	Colour (finish)	Other : specify your alternative choice in the "Other Optional Information" text box below
5.1.8	Other Optional Information	lysaght roof sheets - klip-lok 406 colourbond "Ironstone"

5.4	Metal Gutters	My Own Selections
5.4.1	Is the Owner to supply this item/product ?	No
5.4.2	Manufacturers Name	Stramit Building Products
5.4.4	Design Series Name, (capacity/cross sectional area sq.mm)	Stramit Quad 115 (5300 sq. mm)
5.4.5	Colour, (finish)	Other : specify your alternative choice in the "Other Optional Information" text box below
5.4.6	Other Optional Information	Refer to detail on drawings for concealed box gutters, colourbond 'Ironstone'. other exposed gutters off roof patio to be quad, colourbond 'surfmist'.

5.5	Metal Fascias	My Own Selections
5.5.1	Is the Owner to supply this item/product ?	No
5.5.2	Manufacturers Name	Stramit Building Products
5.5.4	Design Series Name	Refer to Drawings
5.5.5	Colour, (finish)	Surfmist (Colorbond)
5.5.6	Other Optional Information	refer to detail for fascia design.

5.7	Metal Roof Cappings (Ridges and Hips)	My Own Selections
5.7.1	Is the Owner to supply this item/product ?	No
5.7.2	Manufacturers Name	Stramit Building Products
5.7.4	Design Series Name	Refer to Drawings
5.7.5	Colour (finish)	Other : specify your alternative choice in the "Other Optional Information" text box below
5.7.6	Other Optional Information	All ridges and hips in colourbond "Ironstone".

5.8	If Metal Downpipes are required, then these shall be:	My Own Selections
5.8.1	Is the Owner to supply this item/product ?	No
5.8.2	Manufacturers Name	Stramit Building Products
5.8.4	Size, shape	150 x 100mm rectangular
5.8.5	Colour, (finish)	Other : specify your alternative choice in the "Other Optional Information" text box below
5.8.6	Other Optional Information	Down pipes to match the wall colour. Will need to be painted or in "jasper"

5.11	Your Other Specific Information	My Own Selections
5.11.1	Refer to drawing detail for gutter and fascia profiles.	

SECTION 6.0 Windows & Glazing

6.4	Glass Type to windows and external doors	My Own Selections
6.4.1	Is the Owner to supply this item/product ?	No
6.4.2	Manufacturers Name	Veridian Glass
6.4.4	Design Range Name	single clear
6.4.5	Glass Types, Glass Design Series - (% reduction in heat transmission as compared to 3mm clear glass) , Glass Colour Code	Refer to Drawings
6.4.6	Glass Colour Legend	CL = Clear Neutral
6.4.7	Other Optional Information	Refer to window schedule for other glass requirements.
6.5	If, Aluminium Windows and External Doors are required, then these shall be:	My Own Selections
6.5.1	Is the Owner to supply this item/product ?	No
6.5.2	Manufacturers Name	not specific
6.5.4	Design Series Name	Vantage or other TBA with Client
6.5.5	Are all the windows to be fitted with a key lock ? All locks to be to be keyed the same.	Yes
6.5.6	Are all the sliding doors to be fitted with a Dead Lock ? If "Yes" refer back to section 3.23	Yes
6.5.7	Frame Colour (powder coat)	Other : specify your alternative choice in the "Other Optional Information" text box below
6.5.8	Other Optional Information	Powder coat "White Satin" or "surfmist" confirm with Client
6.8	Louvers glass and aluminium	My Own Selections
6.8.1	Is the Owner to supply this item/product ?	No
6.8.2	Manufacturers Name	Breezway Louvre Windows

6.8.4	Altair Louvres	
6.8.5	Are all the louvres to be fitted with a key lock ? All locks to be to be keyed the same.	Yes
6.8.6	Colour of Louvre Blade Clip, (finish)	Architectural White
6.8.7	If louvres are shown on the Drawings, Clear Glass Blades to which Rooms/Spaces are they required ?	Laundry
6.8.11	If louvres are shown on the Drawings, Hollow Aluminium Blades to which Rooms/Spaces are they required ?	Garage
6.8.12	Other Optional Information	Refer to window schedule for glass louvres. Aluminum louvre shades infront of garage, to have a fixed blade set at 150 degrees. blades approx. 70mm. Manufacture of louvre sun shades - Delton Industries Pty Ltd Ph: (07) 3823 - 4722 Fax: (07) 3823 - 4711 Web: www.Delton@Delton.com.au

6.10	Mirrors	My Own Selections
6.10.1	Is the Owner to supply this item/product ?	No
6.10.2	Manufacturers Name	not specific
6.10.4	Beveled Edge Mirror, Nominate Room Locations	Bed 1 Ensuite
6.10.8	Width of mirror	870mm confirm width with Client
6.10.9	Bottom of mirror height (plus or minus 5 mm)	One Tile High
6.10.10	Top of mirror height and * measure from finished floor level (plus or minus 5mm)	1700mm
6.10.11	Other Optional Information	mirror, centred on vanity.

6.14	Your Other Specific Information	<u>My Own Selections</u>
6.14.1	Balustrades; frameless 10-12mm toughened glass, refer to drawings.	

SECTION 7.0(A) External Linings

7.14	If External Ceiling Lining (not eaves) is Fibre Cement , where shown on the drawings, or is now requested to be:		<u>My Own Selections</u>
7.14.1	Is the Owner to supply this item/product ?	No	
7.14.2	Manufacturers Name	James Hardie Australia	
7.14.4	Design Series Name and Joint Finishes	Villaboard with flush set joints	
7.14.5	Location	Entry Porch	
7.14.6	Colour	Fair Bianca	
7.14.7	Other Optional Information	add silicone in joints for expansion.	

7.16	If Roof Eaves/Soffit Sheeting is Fibre Cement where shown on the drawings, or is now requested to be:		<u>My Own Selections</u>
7.16.1	Is the Owner to supply this item/product ?	No	
7.16.2	Manufacturers Name	James Hardie Australia	
7.16.4	Design Series Name and Joint Finishes	Hardiflex with pvc jointing strips	
7.16.5	Are vented soffit panel required?	No	
7.16.7	Colour	Fair Bianca	
7.16.8	Other Optional Information	The underside of the roof patio eave is to be lined, and the underside of the first floor deck. All painted "Fair Bianca". Refer to roof sections for details on eaves.	

SECTION 7.0(B) Internal Linings

7.18	If Internal Wall Linings is Plasterboard to General Areas (not to wet areas) where shown on the drawings, or is now requested to be:		<u>My Own Selections</u>
7.18.1	Is the Owner to supply this item/product ?	No	
7.18.2	Manufacturers Name	CSR Gyprock	
7.18.4	Design Series Name	Plasterboard CD with ** No 5 Finish	
7.18.5	Colour	TBA with Client	
7.18.6	Other Optional Information	All square edges with ceiling.	

7.19	If Internal Wall Lining to Wet Areas is Fibre Cement where shown on the drawings, or is now requested to be:		<u>My Own Selections</u>
7.19.1	Is the Owner to supply this item/product ?	No	
7.19.2	Manufacturers Name	James Hardie Australia	
7.19.4	Design Series Name	Villaboard with Flush joints	
7.19.5	Colour	TBA with Client	
7.19.6	Other Optional Information		
7.22	If Internal # High Impact Wall Linings is Plasterboard where shown on the drawings, or is now requested to be:		<u>My Own Selections</u>
7.22.1	Is the Owner to supply this item/product ?	No	
7.22.2	Manufacturers Name	CSR Gyprock	
7.22.4	Design Series Name	Impactchek with ** No 5 Finish	
7.22.5	Location(s)	Staircase Area: - to the lower section (1.2 metres) of the wall	
7.22.6	Colour	TBA with Client	
7.22.7	Other Optional Information		
7.27	If Internal Ceiling Linings is Fibre Cement where shown on the drawings, or is now requested to be: Bathroom and ensuite		<u>My Own Selections</u>
7.27.1	Is the Owner to supply this item/product ?	No	
7.27.2	Manufacturers Name	James Hardie Australia	
7.27.4	Design Series Name	Versilux with flush set joints	
7.27.5	Colour	Ceiling white	
7.27.6	Other Optional Information in wet areas only		
7.28	If Internal Ceiling Linings is Plasterboard where shown on the drawings, or is now requested to be: all other ceilings		<u>My Own Selections</u>
7.28.1	Is the Owner to supply this item/product ?	No	
7.28.2	Manufacturers Name	CSR Gyprock	
7.28.4	Design Series Name	Plasterboard CD with ** No 5 Finish	
7.28.5	Colour	Ceiling white	
7.28.6	Other Optional Information		
7.31	Your Other Specific Information		<u>My Own Selections</u>
7.31.1	10mm plasterboard on walls, 13mm on ceilings.		

SECTION 9.0(D) Plumbing: Accessories, Hot Water Storage

9.45	Rain Water Tank		My Own Selections
9.45.1	Is the Owner to supply this item/product ?	No	
9.45.2	Manufacturers Name	slimlines	
9.45.4	Your Tank and Colour Selection	birch grey (confirm colour with Client) model ST3000SL 3000Lt 650 x 2900 x 2100h	
9.45.5	Other Optional Information	for garden use only	

SECTION 11.0 Electrical & Communications

11.13	Smoke Detectors		My Own Selections
11.13.1	Is the Owner to supply this item/product ?	No	
11.13.2	Manufacturers Name	not specific	
11.13.7	Other Optional Information	Refer to plans, all smoke detectors to be hard wired.	

SECTION 13.0 Cooling & Heating

13.1	Ducted Air Conditioning		My Own Selections
13.6.1	Is the Owner to supply this item/product ?	Yes	
13.6.6	Other Optional Information	Existing ducted AC to be re-used and added to with new vents in top floor.	

13.6	Ceiling Exhaust Fans		My Own Selections
13.6.1	Is the Owner to supply this item/product ?	No	
13.6.2	Manufacturers Name	Hellar or similar	
13.6.4	Design Name (capacity)	Other : specify your alternative choice in the "Other Optional Information" text box below	
13.6.5	Install to these rooms	All Wet Area Rooms, Main Bathroom, Bed 1 Ensuite	
13.6.6	Other Optional Information	3 in 1 bathroom light,fan and heater.	

SECTION 14.0(A) Floor & Wall Finishes

14.1 Floor Tiles for this Rooms Location – Ensuite & Bathroom		My Own Selections
14.1.1	Is the Owner to supply this item/product ?	Yes
14.1.4	Rooms with the Same Floor Tile and Laying Pattern.	Refer to Drawings, Ensuite to Bed 1
14.1.5	Tile Description : Tile Colour / Name and or Code No. / Size	Owner to supply ensuite floor tiles
14.1.6	Tile Supplier	
14.1.8	Other Optional Information	Builder to arrange tiling
14.2 Floor Tiles for this Rooms Location - Laundry		My Own Selections
14.2.1	Is the Owner to supply this item/product ?	Yes
14.2.4	Rooms with the Same Floor Tile and Laying Pattern.	Refer to Drawings, Laundry
14.2.5	Tile Description : Tile Colour / Name and or Code No. / Size	Owner to supply floor tiles in Laundry
14.2.6	Tile Supplier	
14.2.8	Other Optional Information	Builder to arrange tiling.
14.3 Floor Tiles for this Rooms Location - Patios		My Own Selections
14.3.1	Is the Owner to supply this item/product ?	Yes
14.3.4	Rooms with the Same Floor Tile and Laying Pattern.	Refer to Drawings, Other : specify your alternative choice in the "Other Optional Information" text box below
14.3.5	Tile Description : Tile Colour / Name and or Code No. / Size	Roof Patios, both to be tiled, Owner to supply tiles or stone.
14.3.6	Tile Supplier	
14.3.8	Other Optional Information	Builder to arrange tiling and waterproofing
14.9 Carpet for this Rooms Location -		My Own Selections
14.9.1	Is the Owner to supply this item/product ?	Yes
14.9.2	Carpet Supplier's Name	TBA

14.9.4	Rooms with the same floor Carpet	Refer to Drawings
14.9.5	Carpet Description : Carpet Brand, Fabric/Belnd Type, Colour	Owner to supply carpet and arrange for fitting.
14.9.6	Underlay	Solid Rubber
14.9.7	Other Optional Information	Owner to arrange this.

SECTION 14.0(B) Floor & Wall Finishes

14.14	Extent of Wall Tiles - Bathroom (generally = minimum extent throughout the room)	<u>My Own Selections</u>
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14.14.1 Is the Owner to supply this item/product ? Yes

14.14.3 Tile Description : Tile Colour / Name and or Code TBA with Owner to supply No. / Size

14.14.4 Tile Supplier
14.14.6 Other Optional Information
Owner to decide on height of wall coverage in bathroom. Builder to arrange tiling and waterproofing

14.15	Extent of Wall Tiles - Laundry (generally = minimum extent throughout the room)	<u>My Own Selections</u>
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14.15.1 Is the Owner to supply this item/product ? Yes

14.15.2 Extent of Wall Tiles 1 tile high skirting generally, 2 tile high above laundry tub and washing machine

14.15.3 Tile Description : Tile Colour / Name and or Code TBA with Owner to supply No. / Size

14.15.4 Tile Supplier
14.15.6 Other Optional Information
Owner to supply tiles, Builder to arrange tiling and waterproofing

14.17	Extent of Wall Tiles - Bed 1 Ensuite (generally = minimum extent throughout the room)	<u>My Own Selections</u>
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14.17.1 Is the Owner to supply this item/product ? Yes

14.17.3 Tile Description : Tile Colour / Name and or Code TBA with Owner to supply

No. / Size	
14.17.4	Tile Supplier
14.17.6	Other Optional Information
Owner to supply tiles. Builder to arrange tiling and waterproofing. Details confirm with Owner as to height.	
14.22	Your Other Specific Information
14.22.1	
Owner to supply tiles or stone. Builder to arrange tiling and waterproofing.	

SECTION 17.0 Insulation

17.1	Foil Insulation	My Own Selections	
17.1.1	Is the Owner to supply the item/ product,and the Builder to fit and or fix it in place?	No	
17.1.2	Manufacturers Name	aircell	
17.1.4	Wall Insulation and Sarking	Other : Specify your alternative choice in the "Other Optional Information" text box below	
17.1.5	Ceiling Insulation	Retroshield = R _t 3.4 (summer) and R _t 1.5 (winter)	
17.1.6	Roof Insulation and Sarking	Metal Roof (Raked Ceiling) use Glareshield = R _t 2.6 (summer) and R _t 1.4 (winter)	
17.1.7	Under Floor Insulation	Not Required	
17.1.8	Other Optional Information	Polly Batts R1.5 may be required as extra insulation to the external walls, mainly the north and west facing walls. Sound insulation to be added to the internal wall between the ensuite and bedroom 1.	

SECTION 18.0 Exterior Cladding & Finishes

18.1	Exterior wall cladding	My Own Selections	
18.1.1	Is the Owner to supply the item/ product,and the Builder to fit and or fix it in place?	No	
18.1.2	Manufacturers Name	Not specific, recommend Quick'n tuff.	
18.1.3	Type	75mm Polystyrene sheets or quick'n tuff 50mm plus 25mm batten	
18.1.4	"R" value	R2	
18.1.5	Other Optional Information	Must be fire rated min. FLR 30.	

18.2 Exterior wall Rendering**My Own Selections**

18.2.1 Is the Owner to supply the item/ product, and the Builder to fit and or fix it in place? Yes

18.2.2 Manufacturers Name Rockcote

18.2.3 Type Sandcote

18.2.4 Colour Dulux "Namibia" in final cote

18.2.5 Other Optional Information Applied as per manufactures specifications (attached)

Notes:

1. Always refer to the manufactures installation and product specifications.
2. Confirm all finished and materials with either the Designer or Owners.
3. All materials and installation is to be within the BCA requirements.
4. Bathroom fittings will be supplied by the Owners, and to be installed by the Builder.
5. Light fittings will be supplied by the Owner, and installed by the Builder.
6. Paint finishes other then noted are to be confirmed with the Owners.
7. Kitchen cabinetry and appliances will be arranged by the Owners.
8. External materials are to be in compliance with bush fire zone 3.

Barrenjoey Consulting Engineers pty ltd
Stormwater Structural Civil
abn 13124694917 acn 124694917

COUNCIL COPY

23rd June 2010
G. Corrie
11 Cynthea Rd
Palm Beach
NSW 2108

CERTGROUP BUILDING CERTIFIERS
APPROVED CONSTRUCTION CERTIFICATE
PLAN / DOCUMENTATION

11 CYNTHEA RD PALM BEACH EXISTING STRUCTURAL ADEQUACY CERTIFICATE Job No 100402

Barrenjoey Consulting Engineers p/l inspected the above residence in respect to the proposed alterations and additions to the existing structure as detailed in the approved architectural plans.

The inspection was a non invasive visual inspection only (and does not include a detailed pest infestation review) and was carried out to determine the adequacy of the existing structure to support the additional loading only.

The existing structure is a two storey mixed construction (ie, full masonry and masonry veneer walls with timber framed floors and roof structure) residence located on a sloping site off the low / southern side of Cynthea Rd Palm Beach. The residence is in a good condition as can be expected for a structure of such age.

Issues to be noted -

- Some minor movement may occur as the structure adjusts to the new load distribution and that this movement may result in minor cracking etc to finishes.

In summary it is our opinion that the existing structure is sound and capable of supporting the additional loading provided the plans issued by Barrenjoey Consulting Engineers p/l are adhered to and sound building practises are engaged during construction.

Should further information regarding this certificate be required please contact our office as outlined below.

Regards
BARRENJOEY CONSULTING ENGINEERS pty ltd

Per
Lucas Molloy (Director)
BE CPEng NPER

PO Box 672
Avalon NSW 2107
P: 9918 6264 F: 9918 5841
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E: lucasbce@bigpond.com

18th June 2010
G. Corrie
11 Cynthea Rd
Palm Beach
NSW 2108

CERTGROUP BUILDING CERTIFIERS
APPROVED CONSTRUCTION CERTIFICATE
PLAN / DOCUMENTATION

**EXISTING STORMWATER ADEQUACEY
11 CYNTHEA RD PALM BEACH
Job No 100402**

On the 18th June 2010 Barrenjoey Consulting Engineers Pty Ltd visually inspected the above property address in respect to its existing stormwater management system.

The system consists of conventional roof guttering (with 5 dps) a small surface grate across the drive (at the property boundary), and other small surface collection grates. The system disposes of the collected flows into the adjacent drainage channel that also services Cynthea Rd run-off (noting this channel is significantly eroded and will continue to deteriorate).

Although not in accordance with current Australian Standards it is our opinion that the existing stormwater system will perform satisfactorily in respect to its capacity to service the proposed additions provided the system is regularly cleaned and maintained. Although it is recommend that a grated drain be installed across the entry of the garage to prevent storm water ingress to the garage during storm events.

Should further information regarding this matter be required please contact our office as outlined below.

Regards
BARRENJOEY CONSULTING ENGINEERS Pty Ltd

Per
Lucas Molloy (Director)
BE CPEng NPER

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PITTWATER COUNCIL

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER FORM NO. 2 – PART A – To be submitted with detailed design for Construction Certificate

Development Application for	<u>Gail Susan Corrie</u>
	Name of Applicant
Address of site	<u>11 Cynthia Rd Palm Beach</u>

PART A: Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I, Lucas Molloy (insert name) on behalf of Barrenjoey Consulting Engineers P/L (trading or company name)
on this the 19th July 2010 (date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009. I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development and that

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto.
☒ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy.

Geotechnical Report Details:

Report Title:	<u>Geotechnical Assessment 11 Cynthia Rd Palm Beach R-2009-64 SD09/11-002</u>
Report Date:	<u>7 December 2009</u>
Author:	<u>Dr Manfred Haysmann</u>
Author's Company/Organisation:	<u>VDM Consulting Engineers</u>

Structural Documents list:

<u>Plans by Barrenjoey Consulting Engineers P/L signed + dated Jun '10</u>
<u>S1.00, S2.00, S2.01, S3.00, S3.01, S4.00, S4.01, S5.00, S5.01</u>
<u>S5.02.</u>

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Signature
Name LUCAS MOLLOY
Chartered Professional Status CPEng NPER
Membership No. 785184
Company Barrenjoey Consulting Engineers P/L

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 – PART B – To be submitted with detailed design for Construction Certificate

PART B Declaration made by Geotechnical Engineer or ~~Engineering Geologist and/or Coastal Engineer (where applicable)~~ in relation to the incorporation of the Geotechnical issues into the project design

I, Manfred Hausmann on behalf of VDM Consulting Engineers Pty Ltd
 (insert name) (trading or company name)

on this the Wednesday, 30 June 2010
 (date)

CERTGROUP BUILDING CERTIFIERS
 APPROVED CONSTRUCTION CERTIFICATE
 PLAN / DOCUMENTATION

certify that I am a Geotechnical Engineer or ~~Engineering Geologist and/or Coastal Engineer~~ as defined by the Geotechnical Risk Management Policy for Pittwater - 2009 and I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I also certify that I have reviewed the design plans and structural design plans for the Construction Certificate Stage and that I am satisfied that:

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto.
☒ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy.

Geotechnical Report Details:

Report Title: **GEOTECHNICAL ASSESSMENT** (in accordance with Pittwater Council policies)
 Report Date: 7th December 2009
 Author: **VDM Consulting Engineers Pty Ltd**

Documentation which relates to or is relied upon in report preparation:

Structural engineering drawings prepared by – Barrenjoey Consulting Engineers Pty Ltd

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Signature



Name **Dr. Manfred Hausmann**

Chartered Professional Status *Dipl.Ing., M.Sc., PhD, CPEng., MIEAust*

Membership No. **339258**

Company **VDM Consulting Engineers Pty Ltd**

Planning For Bushfire Protection Pty Ltd



ABN: 52 136 652 296

Ron Coffey

20 Lake Park Road

North Narrabeen

Sydney NSW

(02) 99137907-0408220443

Email: roncoffey@optusnet.com.au

Web: www.bushfireconsultants.com.au

Reference: 143-1

3/03/2011

Subject:

Construction requirements for the approved development DA No NO564/09 at No 11 Cynthea Road Palm Beach

Reference:

Development Application No: NO 564/09

Consent Date 10th February 2010

Bushfire risk assessment provided by R Coffey of Planning for Bushfire Protection Pty Ltd, Reference No 143, dated 8th June 2009

Bushfire risk assessment Reference No 143 included a recommendation that the proposed development shall be constructed to a minimum standard of Level 3 AS3959, 1999 with the exception that glazing on the southern elevation shall be capable of withstanding a minimum radiant heat level of 40kw/m2.

The bushfire construction requirements are appropriate under the new Australian Standard AS3959, 2009 and align with the following bushfire attack levels:

Level 3 AS3959 aligns with BAL 29 AS3959, 2009, and

40kw/m2 aligns with BAL 40 AS3959, 2009.

Summary

The construction standard for the approved development is BAL 29 AS3959, 2009 with the exception that glazing and window components on the southern elevation shall be constructed to the minimum standard of BAL 40 AS3959, 2009.

BAL 29

SECTION 7 CONSTRUCTION FOR BUSHFIRE

ATTACK LEVEL 29 (BAL — 29)

7.1 GENERAL

A building assessed in Section 2 as being BAL—29 shall comply with Section 3 and Clauses 7.2 to 7.8.

NOTE: There are a number of Standards that specify requirements for construction; however, where this Standard does not provide construction requirements for a particular element, the other Standards apply.

Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 7.2 to 7.8 (see Clause 3.8).

NOTE: BAL—29 is primarily concerned with protection from ember attack and radiant heat greater than 19 kW/m² up to and including 29 kW/m².

7.2 SUBFLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with—

- a) a wall that complies with Clause 7.4; or
- b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze or aluminium; or
- c) a combination of Items (a) and (b) above.
- d) Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be—

- (i) of non-combustible material; or
- (ii) of bushfire-resisting timber (see Appendix F); or
- (iii) a combination of Items (i) and (ii) above.

NOTE: This requirement applies to the principal building only and not to verandas, decks, steps, ramps and landings (see Clause 7.7).

C7.2 Combustible materials stored in the subfloor space may be ignited by embers and cause an impact to the building.

7.3 FLOORS

7.3.1 Concrete slabs on ground

This Standard does not provide construction requirements for concrete slabs on ground.

7.3.2 Elevated floors

7.3.2.1 Enclosed subfloor space

This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with—

- a) a wall that complies with Clause 7.4; or
- b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze or aluminium; or
- c) a combination of Items (a) and (b) above.

7.3.2.2 Unenclosed subfloor space

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400mm above finished ground level, shall be one of the following:

(a) Materials that comply with the following:

(i) Bearers and joists shall be—

- (A) non-combustible; or
- (B) bushfire-resisting timber (see Appendix F); or
- (C) a combination of Items (A) and (B) above.

(ii) Flooring shall be—

- (A) non-combustible; or
- (B) bushfire-resisting timber (see Appendix F); or
- (C) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; or
- (D) a combination of any of Items (A), (B) or (C) above. or

(b) A system complying with AS 1530.8.1

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

7.4 EXTERNAL WALLS

7.4.1 Walls

Walls shall be one of the following:

- a) Made of non-combustible material (e.g., full masonry, brick veneer, mud brick, concrete, aerated concrete). or
- b) Made of timber-framed or steel-framed walls that are sarked on the outside of the frame and clad with—
 - (i) fibre-cement external cladding, a minimum of 6 mm in thickness; or
 - (ii) steel sheet; or
 - (iii) bushfire-resisting timber (see Appendix F); or
 - (iv) a combination of any of Items (i), (ii) or (iii) above. or
- c) A combination of Items (a) and (b) above.

7.4.2 Joints

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3 mm.

Alternatively, sarking-type material can be applied over the frame prior to fixing any external cladding.

7.4.3 Vents and weepholes

Vents and weepholes in external walls shall be screened with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where they are less than 3 mm (see Clause 3.6).

7.5 EXTERNAL GLAZED ELEMENTS AND ASSEMBLIES AND EXTERNAL DOORS

7.5.1 Bushfire shutters

Where fitted, bushfire shutters shall comply with Clause 3.7 and be made from—

- a) non-combustible material; or
- b) bushfire-resisting timber (see Appendix F); or
- c) a combination of Items (a) and (b) above.

7.5.1A Screens for windows and doors

Where fitted, screens for windows and doors shall have a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

Gaps between the perimeter of the screen assembly and the building element to which it is fitted shall not exceed 3 mm.

The frame supporting the mesh or perforated sheet shall be made from—

- a) metal; or
- b) bushfire-resisting timber (see Appendix F).

7.5.2 Windows

Windows shall comply with one of the following:

- a) They shall be completely protected by a bushfire shutter that complies with Clause 7.5.1. or
- b) They shall comply with the following:
 - (i) Window frames and window joinery shall be made from one of the following:
 - (A) Bushfire-resisting timber (see Appendix F). or
 - (B) Metal. or
 - (C) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel, and the frame and the sash shall satisfy the design load, performance and structural strength of the member.
 - (ii) Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal.
 - (iii) Glazing shall be toughened glass minimum 5 mm.
 - (iv) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window

frame (see Figure D3, Appendix D), that portion shall be screened externally with a screen that complies with Clause 7.5.1A.

(v) The openable portions of windows shall be screened internally or externally with screens that comply with Clause 7.5.1A.

7.5.3 Doors—Side-hung external doors (including French doors, panel fold and bi-fold doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall comply with one of the following:

- a) They shall be protected by a bushfire shutter that complies with Clause 7.5.1. or
- b) They shall be completely protected externally by screens that comply with Clause 7.5.1A. or
- c) They shall comply with the following:

(i) Doors shall be—

- (A) non-combustible; or
- (B) a solid timber door, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or
- (C) a door, including a hollow core door, protected externally by a screen that complies with Clause 7.5.1A; or
- (D) a fully framed glazed door, where the framing is made from noncombustible materials or from bushfire-resisting timber (see Appendix F).

(ii) Externally fitted hardware that supports the panel in its functions of opening and closing shall be metal.

(iii) Where doors incorporate glazing, the glazing shall be toughened glass minimum 6 mm.

(iv) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the door (see Figure D3, Appendix D), that portion shall be screened externally with screens that comply with Clause 7.5.1A.

(v) Door frames shall be made from one of the following:

(A) Bushfire-resisting timber (see Appendix F). or

(B) Metal. or

(C) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the door assembly shall satisfy the design load, performance and structural strength of the member.

(vi) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.

(vii) Weather strips, draught excluders or draught seals shall be installed at the base of side-hung external doors.

7.5.4 Doors—Sliding doors

Sliding doors shall comply with one of the following:

- a) They shall be protected by a bushfire shutter that complies with Clause 7.5.1. or
- b) They shall be completely protected externally by screens that comply with Clause 7.5.1A. or
- c) They shall comply with the following:

(i) Both the door frame supporting the sliding door and the framing surrounding any glazing shall be one of the following:

(A) Bushfire-resisting timber (see Appendix F); or

(B) Metal; or

(C) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the door assembly shall satisfy the design load, performance and structural strength of the member.

(ii) Externally fitted hardware that supports the panel in its functions of opening and closing shall be metal.

(iii) Where sliding doors incorporate glazing, the glazing shall be toughened glass minimum 6 mm, except where both the fixed and openable portions of doors are screened externally with screens that comply with Clause 7.5.1A.

(iv) Sliding doors shall be tight-fitting in the frames.

7.5.5 Doors—Vehicle access doors (garage doors)

The following apply to vehicle access doors:

- a) Vehicle access doors shall be made from—
 - (i) non-combustible material; or
 - (ii) bushfire-resisting timber (see Appendix F); or
 - (iii) fibre-cement sheet, a minimum of 6 mm in thickness; or
 - (iv) a combination of any of Items (i), (ii) or (iii) above.
- b) (b) Panel lift, tilt doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm.
- c) (c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with a nylon brush that is in contact with the door (see Figure D4, Appendix D).
- d) (d) Vehicle access doors shall not include ventilation slots.

7.6 ROOFS (INCLUDING VERANDA AND ATTACHED CARPORT ROOFS, PENETRATIONS, EAVES, FASCIAS, GABLES, GUTTERS AND DOWNPIPES)

7.6.1 General

The following apply to all types of roofs and roofing systems:

- a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.
- b) The roof/wall junction shall be sealed, to prevent openings greater than 3 mm, either by the use of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof and between the rafters at the line of the wall.
- c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- d) A pipe or conduit that penetrates the roof covering shall be non-combustible.

7.6.2 Tiled roofs

Tiled roofs shall be fully sarked. The sarking shall—

- a) have a flammability index of not more than 5, when tested to AS 1530.2;
- b) be located directly below the roof battens;

- c) cover the entire roof area including the ridge; and
- d) extend into gutters and valleys.

7.6.3 Sheet roofs

Sheet roofs shall—

- a) be fully sarked in accordance with Clause 7.6.2, except that foil-backed insulation blankets may be installed over the battens; or
- b) have any gaps greater than 3 mm under corrugations or ribs of sheet roofing and between roof components sealed at the fascia or wall line and at valleys, hips and ridges by—
 - (i) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
 - (ii) mineral wool; or
 - (iii) other non-combustible material; or
 - (iv) a combination of any of Items (i), (ii) or (iii) above.

7.6.4 Veranda, carport and awning roofs

The following apply to veranda, carport and awning roofs:

- a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 7.6.1, 7.6.2, 7.6.3, 7.6.5 and 7.6.6.
- b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 7.4 shall have a non-combustible roof covering and the support structure shall be—
 - (i) of non-combustible material; or
 - (ii) bushfire-resisting timber (see Appendix F); or
 - (iii) timber rafters lined on the underside with fibre-cement sheeting a minimum of 6 mm in thickness, or with material complying with AS 1530.8.1; or
 - (iv) a combination of any of Items (i), (ii) or (iii) above.

7.6.5 Roof penetrations

The following apply to roof penetrations:

- a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, arials, vent pipes and supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3 mm. The material used to flash the penetration shall be non-combustible.
- b) Openings in vented roof lights, roof ventilators or vent pipes shall be fitted with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- c) All overhead glazing shall be Grade A safety glass complying with AS 1288.
- d) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass minimum 4 mm, shall be used in the outer pane of the IGU.
- e) Where roof lights are installed in roofs having a pitch of less than 18 degrees to the horizontal, the glazing shall be protected with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- f) Evaporative cooling units shall be fitted with butterfly closers at or near the ceiling level, or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- g) External single pane glazed elements of roof lights and skylights, where the pitch of the glazed element is 18 degrees or less to the horizontal, shall be protected with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

7.6.6 Eaves linings, fascias and gables

The following apply to eaves linings, fascias and gables:

- a) Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.
- b) Gables shall comply with Clause 7.4.
- c) Fascias and bargeboards shall—
 - (i) where timber is used, be made from bushfire-resisting timber (see Appendix F); or
 - (ii) where made from metal, be fixed at 450 mm centres; or
 - (iii) be a combination of Items (i) and (ii) above.
- d) (d) Eaves linings shall be—
 - (i) fibre-cement sheet, a minimum 4.5 mm in thickness; or
 - (ii) bushfire-resisting timber (see Appendix F); or
 - (iii) a combination of Items (i) and (ii) above.
- e) (e) Eaves penetrations shall be protected the same as for roof penetrations (see Clause 7.6.5).
- f) (f) Eaves ventilation openings greater than 3 mm shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

7.6.7 Gutters and downpipes

This Standard does not provide construction-specific material requirements for downpipes.

If installed, gutter and valley leaf guards shall be non-combustible.

With the exception of box gutters, gutters shall be metal or PVC-U.

Box gutters shall be non-combustible and flashed at the junction with the roof, with non-combustible materials.

7.7 VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

7.7.1 General

Decking may be spaced.

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

C7.7.1 Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0–5 mm during service. The preferred dimension for gaps is 3 mm (which is in line with other ‘permissible gaps’) in other parts of this Standard. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacing of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.

7.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings

7.7.2.1 Materials to enclose a subfloor space

The subfloor spaces of verandas, decks, steps, ramps and landings are considered to be ‘enclosed’ when—

- a) the material used to enclose the subfloor space complies with Clause 7.4; and
- b) all openings greater than 3 mm are screened with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

7.7.2.2 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

7.7.2.3 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

7.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings

Decking, stair treads and the trafficable surfaces of ramps and landings shall be—

- a) of non-combustible material; or
- b) of bushfire-resisting timber (see Appendix F); or

- c) a combination of Items (a) and (b) above.

7.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings

7.7.3.1 Supports

Support posts, columns, stumps, stringers, piers and poles shall be—

- a) of non-combustible material; or
- b) of bushfire-resisting timber (see Appendix F); or
- c) a combination of Items (a) and (b) above.

7.7.3.2 Framing

Framing of verandas, decks, ramps or landings (i.e., bearers and joists) shall be—

- a) of non-combustible material; or
- b) of bushfire-resisting timber (see Appendix F); or
- c) a combination of Items (a) and (b) above.

7.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings

Decking, stair treads and the trafficable surfaces of ramps and landings shall be—

- a) of non-combustible material; or
- b) of bushfire-resisting timber (see Appendix F); or
- c) a combination of Items (a) and (b) above.

7.7.4 Balustrades, handrails or other barriers

Those parts of the handrails and balustrades less than 125 mm from any glazing or any combustible wall shall be—

- a) of non-combustible material; or
- b) bushfire-resisting timber (see Appendix F); or
- c) a combination of Items (i) and (ii) above.

Those parts of the handrails and balustrades that are 125 mm or more from the building have no requirements.

7.8 WATER AND GAS SUPPLY PIPES

Above-ground, exposed water and gas supply pipes shall be metal.

Abridged and formatted version of Appendix 3 Addendum

A3.7 Additional Construction

Requirements

Planning for Bush Fire Protection is designed to provide for improved bush fire protection outcomes through the planning system, whereas the construction requirements are established through the operation of the BCA. However, based on a review of AS3959-2009 and recent developments through the interim findings from the Victorian Royal Commission, the RFS has concerns over the levels of safety for ember protection at lower BAL levels (BAL 12.5 and 19) provided by AS3959-2009. The RFS is concerned that by adopting the new Standard there would be a reduction in safety created from that afforded by the previous NSW application of AS3959-1999 in relation to ember protection. In this regard, the RFS will aim to maintain the safety levels previously provided by AS3959-1999. In particular, the areas of concern arise from requirements for:

- Sarking
- Sub floor screening
- Floors
- Verandas, Decks, Steps, Ramps and Landings

In addition, in order to provide a suitable combination of bushfire protection measures the NSW Rural Fire Service will, as part of the planning assessment process, recommend / require additional construction requirements beyond those prescribed in AS3959-2009 as deemed appropriate.

Planning requirements for grasslands are contained within the main body of PBP.

As part of the planning requirements, the following will create part of the suite of protection measures required to form compliance with *Planning for Bush Fire Protection*.

SARKING

Any sarking used for BAL-12.5, BAL-19, BAL-29 or BAL-40 shall be:

- a) Non-combustible; or
- b) Breather-type sarking complying with AS/NZS 4200.1 and with a flammability index of not more than 5 (see AS1530.2) and sarked on the outside of the frame; or
- c) An insulation material conforming to the appropriate Australian Standard for that material.

SUBFLOOR SUPPORTS

For BA 12.5 and BAL 19, Clause 5.2 and 6.2 shall be replaced by the provisions of Clause 7.2.

In this regard, Clause 7.2 states:

“7.2 SUBFLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with—

- a) a wall that complies with (Clause 5.4 or 6.4 as appropriate); or*
- b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze or aluminium; or*
- c) a combination of Items (a) and (b) above.*

Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be—

- (i) of non-combustible material; or*
- (ii) of bushfire-resisting timber (see Appendix F); or*
- (iii) a combination of Items (i) and (ii) above.*

NOTE: This requirement applies to the principal building only and not to verandas, decks, steps, ramps and landings (see Clause 7.7).”

ELEVATED FLOORS

For BAL 12.5 and BAL 19, Clause 5.3 and 6.3 shall be replaced by the provisions of clause 7.3.

In this regard, clause 7.3.2 states:

“7.3.2 Elevated floors

7.3.2.1 Enclosed subfloor space

This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with—

- a) a wall that complies with (Clause 5.4 or 6.4 as appropriate); or*
- b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze or aluminium; or*
- c) a combination of Items (a) and (b) above.*

7.3.2.2 Unenclosed subfloor space

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400mm above finished ground level, shall be one of the following:

a. Materials that comply with the following:

(i) Bearers and joists shall be—

- A. non-combustible; or*
- B. bushfire-resisting timber (see Appendix F); or*
- C. a combination of Items (A) and (B) above*

(ii) Flooring shall be—

- A. non-combustible; or*
- B. bushfire-resisting timber (see Appendix F); or*
- C. timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; or*
- D. a combination of any of Items (A), (B) or (C) above or*

b. A system complying with AS 1530.8.1

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.”

VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

For BAL 12.5 and BAL 19, Clause 5.2 and 6.2 shall be replaced by the provisions of clause 7.2.

In this regard, clause 7.2 states:

“7.7 VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

7.7.1 General

Decking may be spaced.

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

7.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings

7.7.2.1 Materials to enclose a subfloor space

The subfloor spaces of verandas, decks, steps, ramps and landings are considered to be ‘enclosed’ when —

- a) the material used to enclose the subfloor space complies with (Clause 5.4 or 6.4 as appropriate); and*
- b) all openings greater than 3 mm are screened with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.*

7.7.2.2 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

7.7.2.3 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

7.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings

Decking, stair treads and the trafficable surfaces of ramps and landings shall be—

- a) of non-combustible material; or*
- b) of bushfire-resisting timber (see Appendix F); or*
- c) a combination of Items (a) and (b) above.*

7.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings

7.7.3.1 Supports

Support posts, columns, stumps, stringers, piers and poles shall be—

- a) of non-combustible material; or*
- b) of bushfire-resisting timber (see Appendix F); or*
- c) a combination of Items (a) and (b) above.*

7.7.3.2 Framing

Framing of verandas, decks, ramps or landings (i.e., bearers and joists) shall be—

- a) of non-combustible material; or*
- b) of bushfire-resisting timber (see Appendix F); or*
- c) a combination of Items (a) and (b) above.*

7.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings

Decking, stair treads and the trafficable surfaces of ramps and landings shall be—

- a) of non-combustible material; or*
- b) of bushfire-resisting timber (see Appendix F); or*
- c) a combination of Items (a) and (b) above.*

7.7.4 Balustrades, handrails or other barriers

Those parts of the handrails and balustrades less than 125 mm from any glazing or any combustible wall shall be—

- a) of non-combustible material; or*
- b) bushfire-resisting timber (see Appendix F); or*
- c) a combination of Items (i) and (ii) above.*

Those parts of the handrails and balustrades that are 125 mm or more from the building have no requirements."

Pittwater Council

OFFICIAL RECEIPT

21/06/2010 Receipt No: 281935

To P Corrie

11 Cynthea Rd
PB

Applic. Reference	Amount
GL Recei OLSL-Builders 11 Cynthea	\$976.00
Total:	\$976.00
Amounts Tendered	
Cash	\$0.00
Cheque	\$976.00
Db/Cr Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$976.00
Rounding	\$0.00
Change	\$0.00
Nett	\$976.00

Printed 21/06/2010 3:24:57 PM

Cashier: RCrawsh

Pittwater Council

OFFICIAL RECEIPT

3/03/2011 Receipt No 298384

To G Corrie

11 Cynthea Rd
Palm Beach 2108

Applic Reference	Amount
GL Re OLSL-Buil N0564/09	\$1,036.00
Total:	\$1,036.00
Amounts Tendered	
Cash	\$0.00
Cheque	\$1,036.00
Db/Cr Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$1,036.00
Rounding	\$0.00
Change	\$0.00
Nett	\$1,036.00

Printed 3/03/2011 3:43:17 P

Cashier RDraws

APPLICATION FORM

Made under the Environmental Planning and Assessment Act 1979, Sections 81A(2), 84A, 85A, & 109C, Environmental Planning and Assessment Regulation 2000, clauses 126, 139.

To complete this form, please place a cross in the boxes and complete sections as appropriate.
No Faxed applications please.

APPLICATION SOUGHT

- ☒ Construction Certificate
☒ Principal Certifying Authority
☐ Complying Development Certificate
- ☐ NSW Housing Code
 (SEPP Exempt & Complying Development Code)
☐ Council existing Exempt & Complying Development Policy

Office Use Only

CC: 138/2010

Job: WNV 121:10

SUBJECT LAND

Address 11 CYNTHIA Rd. PALM BEACH 2108

Lot No, DP, SP, vol/fol. Etc LOT 83 DP 14630

DETAILS OF THE APPLICANT

Name / Company CORRIE G & P Contact Person Gail CORRIE

Mailing Address AS ABOVE Postcode _____ State _____

E-mail gscc@internode.on.net

Daytime telephone _____ Fax _____ Mobile 0421 051 091

Applicant Signature G. I. Corrie Date 8/6/2010

CONSENT OF OWNER(S)

I/ We as the owner/s of the above property authorise for Mark Wysman to provide Construction Certification and to act as the Principal Certifying Authority for the subject building works, including site inspections and to lodge the Notice of Commencement/Appointment of the Principal Certifying Authority with the relevant Council.

Name / Company CORRIE Contact Person Gail CORRIE

Owner's Address AS ABOVE Postcode _____ State _____

Mailing Address AS ABOVE Postcode _____ State _____

E-mail AS ABOVE

Daytime telephone _____ Fax _____ Mobile 0421 051 091

Owner/s Signature/s G. I. Corrie Date 8/6/2010

[Signature] Date 8/6/2010

DESCRIPTION OF WORK

Type of work proposed:

☐ New Building ☒ Additions / AlterationsClass of Building under Building Code of Australia CLASS 1A.Description of the work Alterations and additions to the existing dwelling including a second floor additionConstruction Cost of Works \$ 575,000.**DETAILS OF THE RELEVANT CONSENTS**Consent No. DA N0564/09 + S961 Date issued: 10/2/2010 + 14.4.10Construction Certificate No. 138/2010 Date issued: 10/3/11.

Complying Development Certificate No. _____ Date issued: _____

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the site area of land?

In square metres 1,052m²

Gross floor area of existing building? NIL if building does not exist.

In square metres 276.7m²

What is the existing building or site used for at present?

Main Uses RESIDENTIAL

Other Uses _____

Does the site contain dual occupancy?

☐ Yes ☒ No

Gross floor area of proposed building?

In square metres 353.5m²

What will the proposed building be used for?

Main Uses RESIDENTIAL

Other Uses _____

HOW MANY DWELLINGS:-Are pre-existing at this property? 1 Are proposed to be demolished? —Are proposed to be constructed? 1 Are attached to an existing building? —Are attached to a new building? — How many storeys will the building consist of? 3**WHAT ARE THE MAIN BUILDING MATERIALS (PLEASE TICK APPROPRIATE BOXES)****WALLS**

- ☒ Full Brick
☒ Brick Veneer
☐ Concrete or Stone
☐ Steel
☐ Fibrous Cement
☐ Timber/weatherboard
☐ Cladding- aluminium
☒ Other

ROOF

- ☐ Aluminium
☐ Concrete of Slate
☐ Tile
☐ Fibrous Cement
☒ Steel
☐ Other

FLOOR

- ☐ Concrete or slate
☒ Timber
☐ Other
☐ Unknown

FRAME

- ☒ Timber
☐ Steel
☐ Aluminium
☐ Other

PRIVATE POLICY & TERMS

All information provided by the owner / applicant on this form will be taken to be accurate & correct. The Certification Group does not accept any responsibility for any intentional or unintentional error or omission made by the owner / applicant on this form. The information you provide in this notice is required under the Environmental Planning and Assessment Act 1979 if you erect a building. The information will be held by the consent authority and by the council (if the council is not the consent authority). Please contact The Certification Group if the information you have provided in this notice is incorrect or changes.

DATE OF RECEIPT (TO BE COMPLETED BY CERTIFYING AUTHORITY)Date 14/7/10.

CERTGROUP Building Certifiers ■ tel 9944 8222 ■ fax 99446330

info@certgroup.com.au ■ www.certgroup.com.au ■ PO Box 870 Narrabeen NSW 2101 ■ abn 47 121 229 166

Construction Certificates ■ Complying Development Certificates ■ Building Code & Planning Consultants

BASIX COMMITMENTS – Certificate number A70206

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Insulation requirements

Floor above existing dwelling or building. nil

external wall: external insulated façade system (EIFS)

(façade panel: 75 mm) nil

raked ceiling, pitched/skillion roof: framed ceiling: R2.04 (up), roof: thermocellular reflective medium (solar absorptance 0.475 - 0.70)

flat ceiling, flat roof: framed ceiling: nil (up), roof: 50 mm foil backed

polystyrene board light (solar absorptance < 0.475)

Windows and glazed doors glazing requirements

W1 eave/verandah/ pergola/ balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

W2 eave/verandah/ pergola/ balcony >=600 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

W3 eave/verandah/ pergola/ balcony improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

W4 W 1.35 1.2 1 none

W5 eave/verandah/ pergola/ balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

W6 eave/verandah/ pergola/ balcony >=450 mm improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)

W7 eave/verandah/ pergola/ balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

W8 eave/verandah/ pergola/ balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

W9 eave/verandah/ pergola/ balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

W10 eave/verandah/ pergola/ balcony >=600 mm improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)

W11 eave/verandah/ pergola/ balcony >=600 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

W12 eave/verandah/ pergola/ balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

W13 eave/verandah/ pergola/ balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

W14 eave/verandah/ pergola/ balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

D1 eave/verandah/ pergola/ balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

D2 eave/verandah/ pergola/ balcony improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

D3 S 4.3 0 0

eave/verandah/ pergola/ balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

D4 eave/verandah/ pergola/ balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

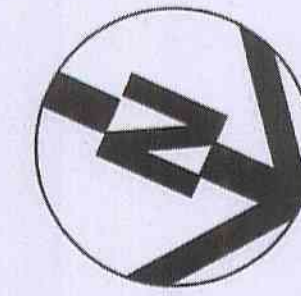
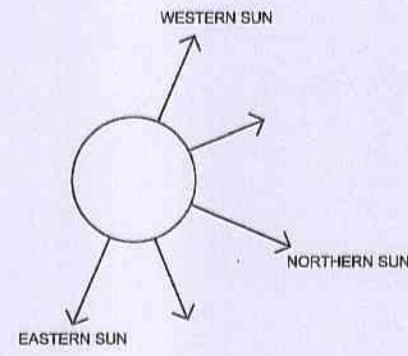
D5 pergola (adjustable shade) >=900mm

improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

D6 eave/verandah/ pergola/ balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

W15 eave/verandah/ pergola/ balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

CERTGROUP BUILDING CERTIFIERS
APPROVED CONSTRUCTION CERTIFICATE
PLAN / DOCUMENTATION



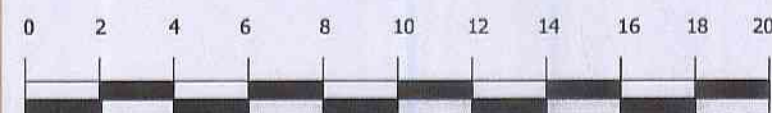
SITE AREA = 1,052sqm
60% LANDSCAPE= 631.2sqm
40% SITE COVERAGE = 420.8sqm

EXISTING SITE COVERAGE = 290.96sqm (27%)
PROPOSED SITE COVERAGE = 296.93sqm (28%)

EXISTING LANDSCAPE AREA = 761.04sqm (72%)
PROPOSED LANDSCAPE AREA = 755.07sqm (71%)

SITE NOTES:

1. ALL WORK TO BE WITHIN THE BOUNDARIES OF THE SITE.
2. ALL WORK TO BE IN ACCORDANCE WITH THE BCA, PITTWATER COUNCIL AND SYDNEY WATER.
3. ALL DOWN PIPES TO BE CONNECTED TO EXISTING STORMWATER DRAINS, EXCEPT WHERE INDICATED TO BE CONNECTED TO A WATER TANK.
4. ALL EXISTING LANDSCAPING AND DRIVEWAY TO REMAIN.
5. CHECK ALL DIMENSIONS ON SITE.
6. ALL NEW CONSTRUCTION IS TO COMPLY WITH THE AUSTRALIAN STANDARD AS3859-1999 "CONSTRUCTION OF BUILDINGS IN BUSH FIRE-PRONE AREAS".
7. ANY NEW MATERIALS USED SHALL BE TESTED FOR FLAMMABILITY WITHIN THE 'FLAME ZONE' AS NOTED WITHIN THE BUSH FIRE REPORT AND CONDITION B4 OF THE DA CONSENT.



SITE PLAN

*Construction shall comply with AS3959 - 1999 BAL 29 & section A3.7 of addendum Appendix 3 "Construction of Buildings in bushfire prone areas".

Any materials used shall be a Flammability Index of no greater than 5 when tested in accordance with Australian Standard AS 1530 2-1993 'Methods for Fire Tests in Building Materials, Components and Structures - Test for Flammability of Materials'. Development is determined as being within the "Flame Zone".

There is to be no exposed timber to the Southern Eastern and Western elevations of the proposed additions. In accordance with Development Control Services 'Fast Facts 4/08 - Glazing in the Flame Zone' all windows/door systems facing the hazard (southern elevation only) shall be capable of withstanding radiant heat loads of between 28W/m² - 40W/m².

Any new external doors (bifolds, stackers, french doors) shall comply to RFS Practice Noted 3/06 for External Doors.

KEY:	
	CONTOUR LINES
	COLOURBOND "IRONSTONE" KLIP LOK ROOF SHEETTING
	EXISTING ROOF TO BE REMOVED
	EXISTING TREES
	EXISTING CONCRETE DRIVE
	HYDRANT
	POWER POLE
	PROPOSED ADDITION
	SEWER LINE
	TILED PATIO
	WATER METRE
	VIEWS

CERTGROUP BUILDING CERTIFIERS
APPROVED CONSTRUCTION CERTIFICATE
PLAN / DOCUMENTATION

COUNCIL COPY

NVISAGE PTY LTD.
PO BOX 1066
WARREWOOD SQUARE
NSW 2102

ACN: 107 496 935
MOBILE: 0413 489 994

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CLIENT DETAILS:
Gail & Peter CORRIE
11 CYNTHIA ROAD
PALM BEACH
NSW 2108

PROPERTY:
LOT 83 DP 14630

DRAWING TITLE:
CC PLANS

DRAWN BY:
TRINA ROWSTON

DATE:	REVISION:
7-6-2010	1
JOB No. RES36	DWG. No. CC-01
ALL MEASUREMENTS ARE IN MM UNLESS NOTED OTHERWISE PLOT DATE: 7/6/2010	

1:200

SYDNEY WATER APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licenced plumber/drainier.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of practice.
5. Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 3411376

Reece, Brookvale,
 Quick Check Agent on behalf of
 SYDNEY WATER

Per: *Reece* 2.16.10

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CERTGROUP BUILDING CERTIFIERS
 APPROVED CONSTRUCTION CERTIFICATE
 PLAN / DOCUMENTATION

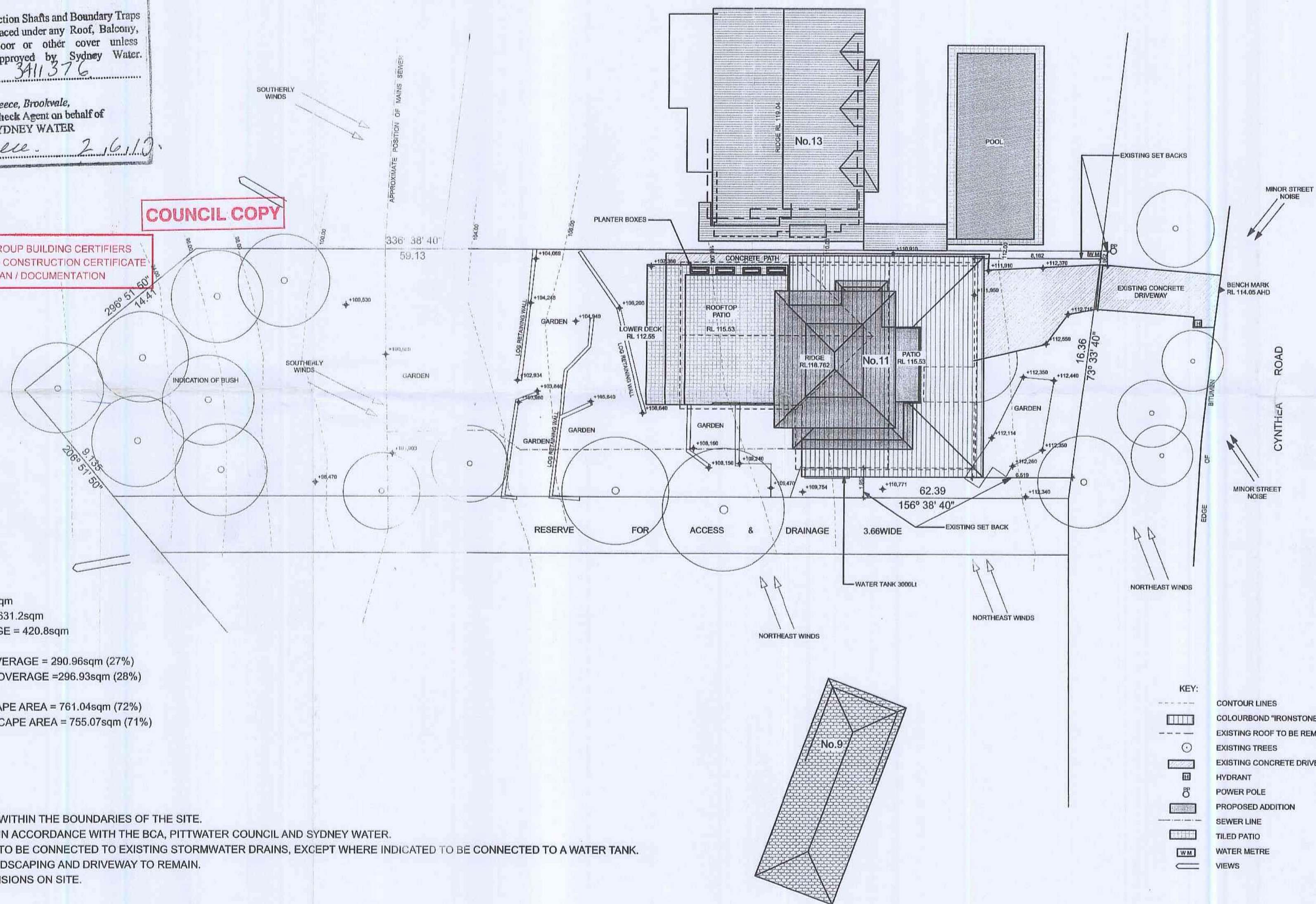
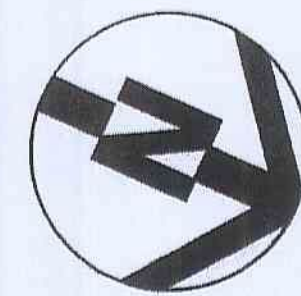
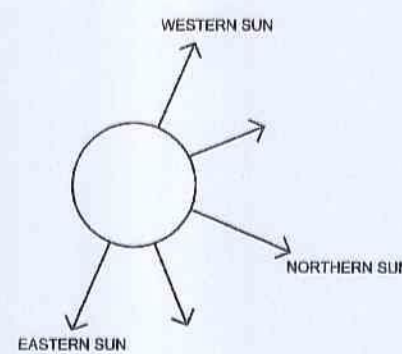
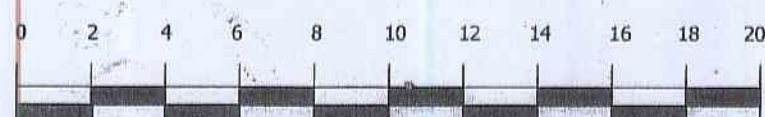
SITE AREA = 1,052sqm
 60% LANDSCAPE = 631.2sqm
 40% SITE COVERAGE = 420.8sqm

EXISTING SITE COVERAGE = 290.96sqm (27%)
 PROPOSED SITE COVERAGE = 296.93sqm (28%)

EXISTING LANDSCAPE AREA = 761.04sqm (72%)
 PROPOSED LANDSCAPE AREA = 755.07sqm (71%)

SITE NOTES:

1. ALL WORK TO BE WITHIN THE BOUNDARIES OF THE SITE.
2. ALL WORK TO BE IN ACCORDANCE WITH THE BCA, PITTWATER COUNCIL AND SYDNEY WATER.
3. ALL DOWN PIPES TO BE CONNECTED TO EXISTING STORMWATER DRAINS, EXCEPT WHERE INDICATED TO BE CONNECTED TO A WATER TANK.
4. ALL EXISTING LANDSCAPING AND DRIVEWAY TO REMAIN.
5. CHECK ALL DIMENSIONS ON SITE.



- KEY:**
- CONTOUR LINES
 - COLOURBOND "IRONSTONE" KLIP LOK ROOF SHEETING
 - EXISTING ROOF TO BE REMOVED
 - EXISTING TREES
 - EXISTING CONCRETE DRIVE
 - HYDRANT
 - ⊕ POWER POLE
 - PROPOSED ADDITION
 - SEWER LINE
 - TILED PATIO
 - WM WATER METRE
 - VIEWS

SITE PLAN

1:200



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 WARREWOOD SQUARE
 NSW 2102

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CLIENT DETAILS:

Gail & Peter CORRIE
 11 CYNTHIA ROAD
 PALM BEACH
 NSW 2109

PROPERTY:

LOT 83 DP 14630

DRAWING TITLE:

CC PLANS

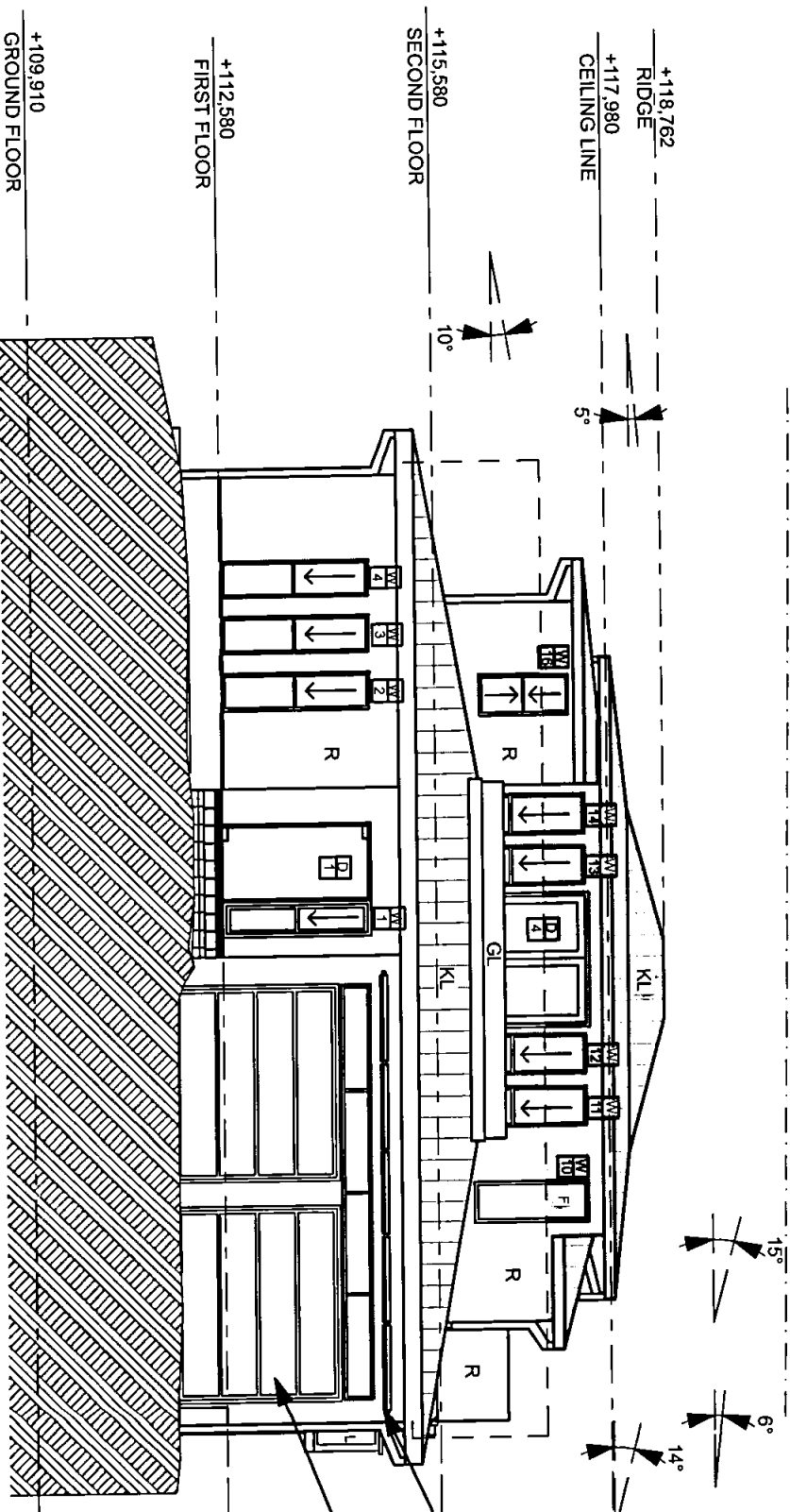
DRAWN BY:

TRINA ROWSTON

DATE:	REVISION:
11-5-2010	1
JOB No.	DWG. No.
RES36	CC-01

ALL MEASUREMENTS ARE IN MM
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 11/05/2010

8.5M HEIGHT LIMIT



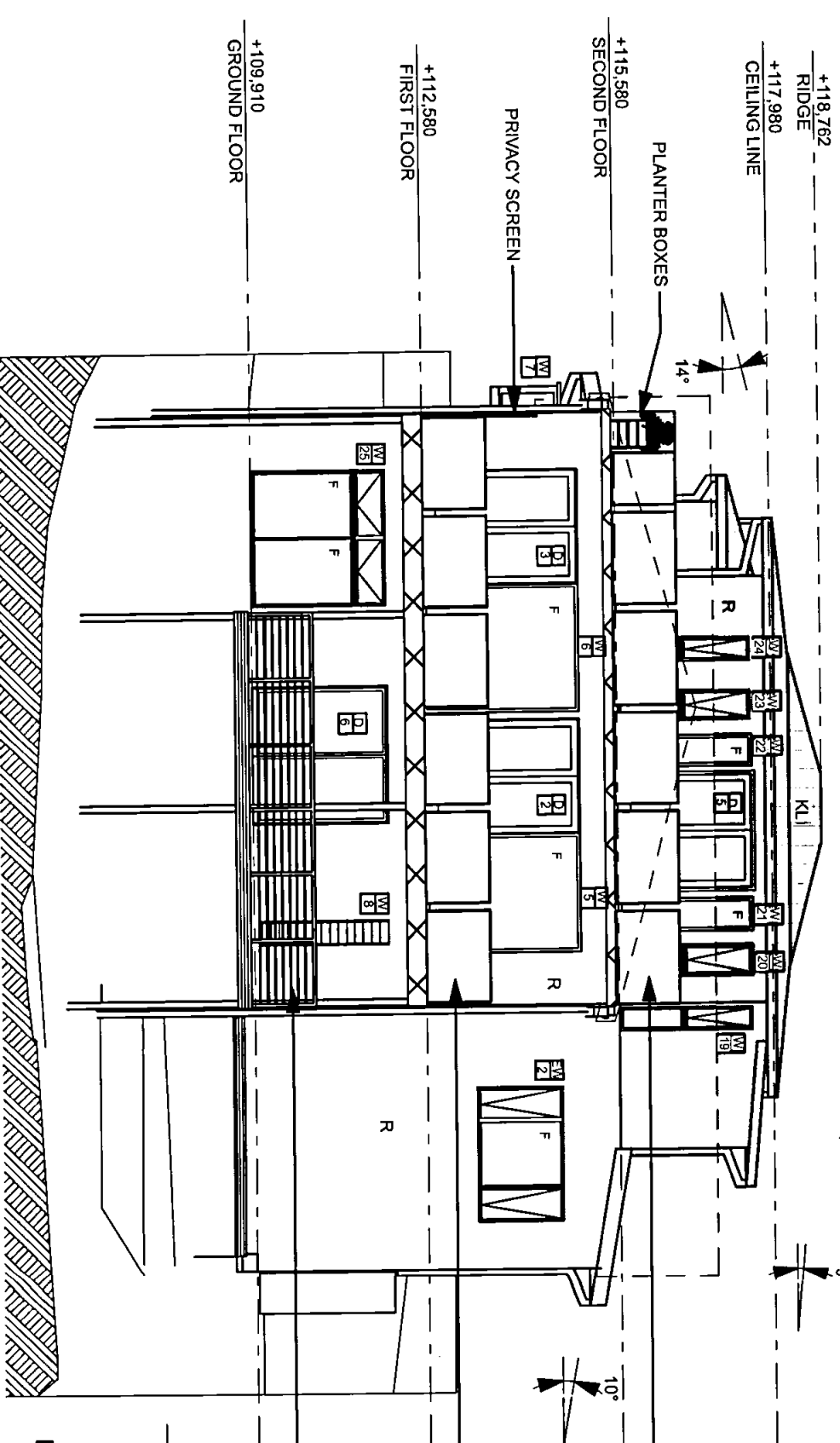
NORTH ELEVATION

1:100

- * Glazed assemblies are to comply with AS 2047 and AS 1288.
- * Waterproofing of all wet areas are to comply with AS 3740-2004 'Waterproofing of Wet Areas in Residential Buildings.'
- * Smoke alarms are to be installed in the dwelling in accordance with Part 3.7.2 of the Building Code of Australia and AS 3786 – 1993 "Smoke Alarms".
- * Timber framing and connections are to be installed in accordance with Part 3.4.3 of the Building Code of Australia and AS 1684.2 & 4 – 2006 "Residential timber framed construction."

- FIXED LOUVRE SHADES
REFER TO SPECIFICATIONS
- REPLACE EXISTING GARAGE DOORS
REFER TO DOOR SCHEDULE
- KEY:
 - F EXISTING ROOFLINE TO BE REMOVED
 - GL FIXED WINDOW
 - L LOUVRE WINDOW
 - R RENDERED WALLS - DULUX "NAMIBIA"
 - KL TRIMDEK ROOF SHEETS - "IRONSTONE"
 - PROPOSED ADDITION

*The balustrade to the second floor balcony to be a minimum height of 1 metre above the finished floor level with no openings greater than 125mm. Where the floor is more than 4 metres above the surface beneath, any horizontal elements within the balustrade between 150mm and 760mm above the floor must not facilitate climbing to comply with part "3.9.2.3 Balustrades" of the Building Code of Australia (BCA) Housing Provisions.



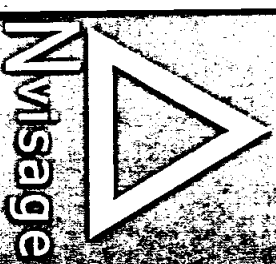
SOUTH ELEVATION

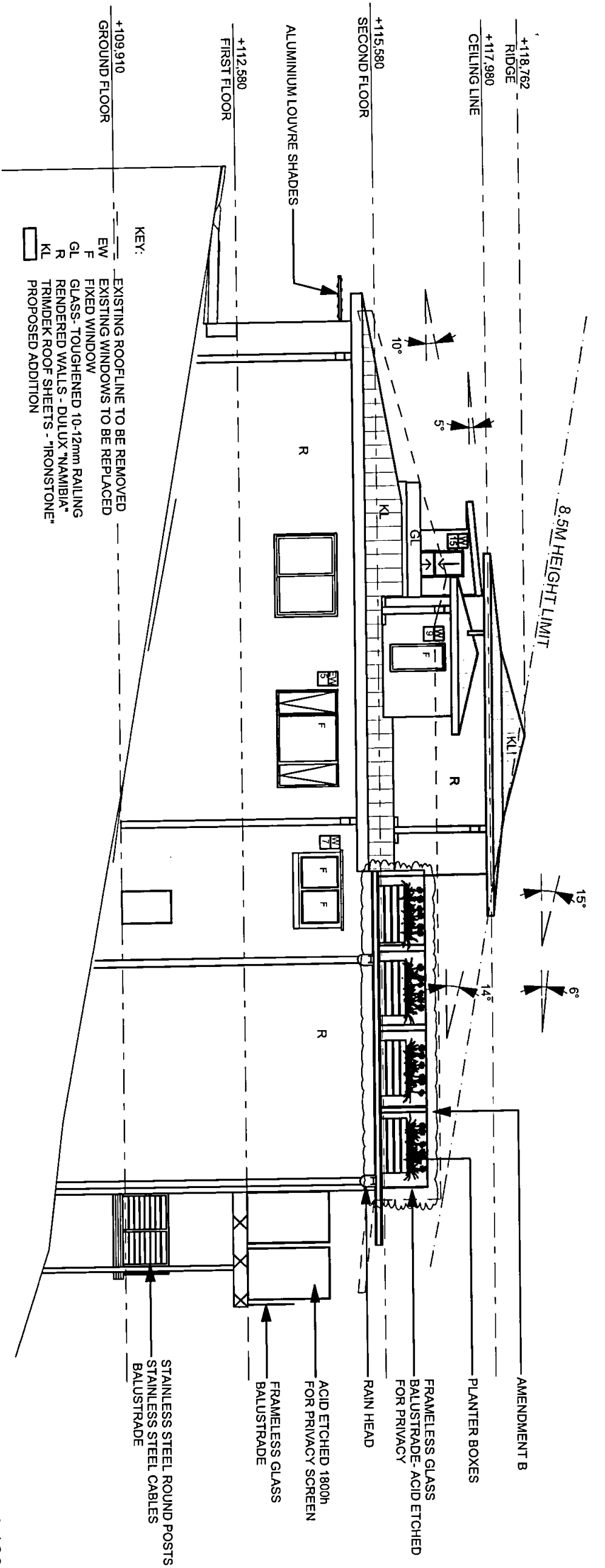
1:100

- KEY:
 - EW EXISTING ROOFLINE TO BE REMOVED
 - F EXISTING WINDOWS TO BE REPLACED.
 - L LOUVRE WINDOW
 - R RENDERED WALLS - DULUX "NAMIBIA"
 - KL TRIMDEK ROOF SHEETS - "IRONSTONE"
 - PROPOSED ADDITION
- FRAMELESS GLASS BALUSTRADE
- STAINLESS STEEL ROUND POSTS
- STAINLESS STEEL CABLES BALUSTRADE

CERTGROUP BUILDING CERTIFIERS
APPROVED CONSTRUCTION CERTIFICATE
PLAN / DOCUMENTATION

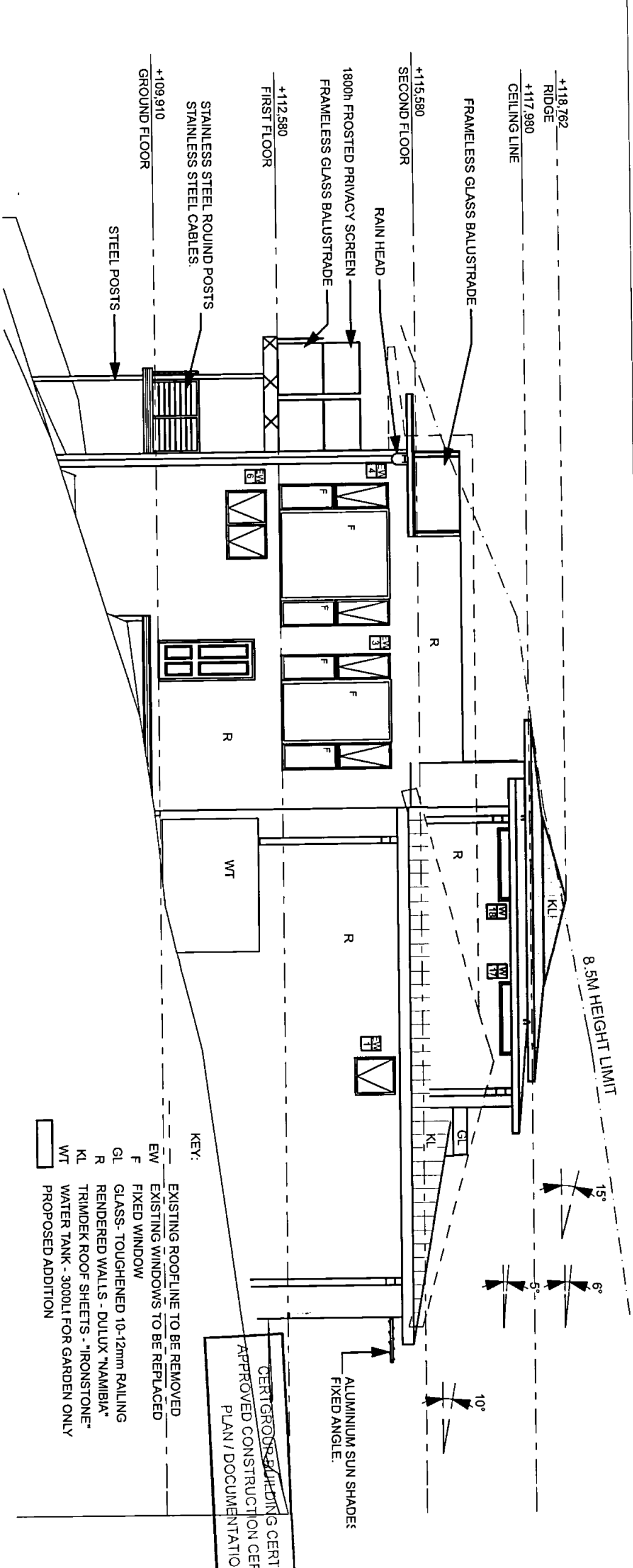
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CLIENT DETAILS:	
Gail & Peter CORRIE 11 CYNTHIA ROAD PALM BEACH NSW 2108	
PROPERTY:	
LOT 83 DP 14630	
DRAWING TITLE:	
CC PLANS	
DRAWN BY:	
TRINA ROWSTON	
DATE:	REVISION:
7-6-2010	1
JOB No.	DWG. No.
RES36	CC-06
ALL MEASUREMENTS ARE IN MM UNLESS NOTED OTHERWISE	
PLOT DATE 10/06/2010	





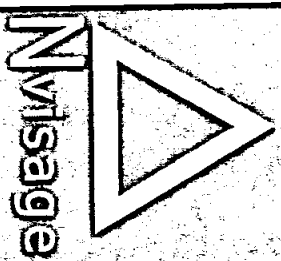
WEST ELEVATION

1:100



EAST ELEVATION

1:100



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11 CYNTHIA ROAD
PALM BEACH
NSW 2108

PROPERTY:

LOT 83 DP 14630

DRAWING TITLE:

CC PLANS

DRAWN BY:

TRINA ROWSTON

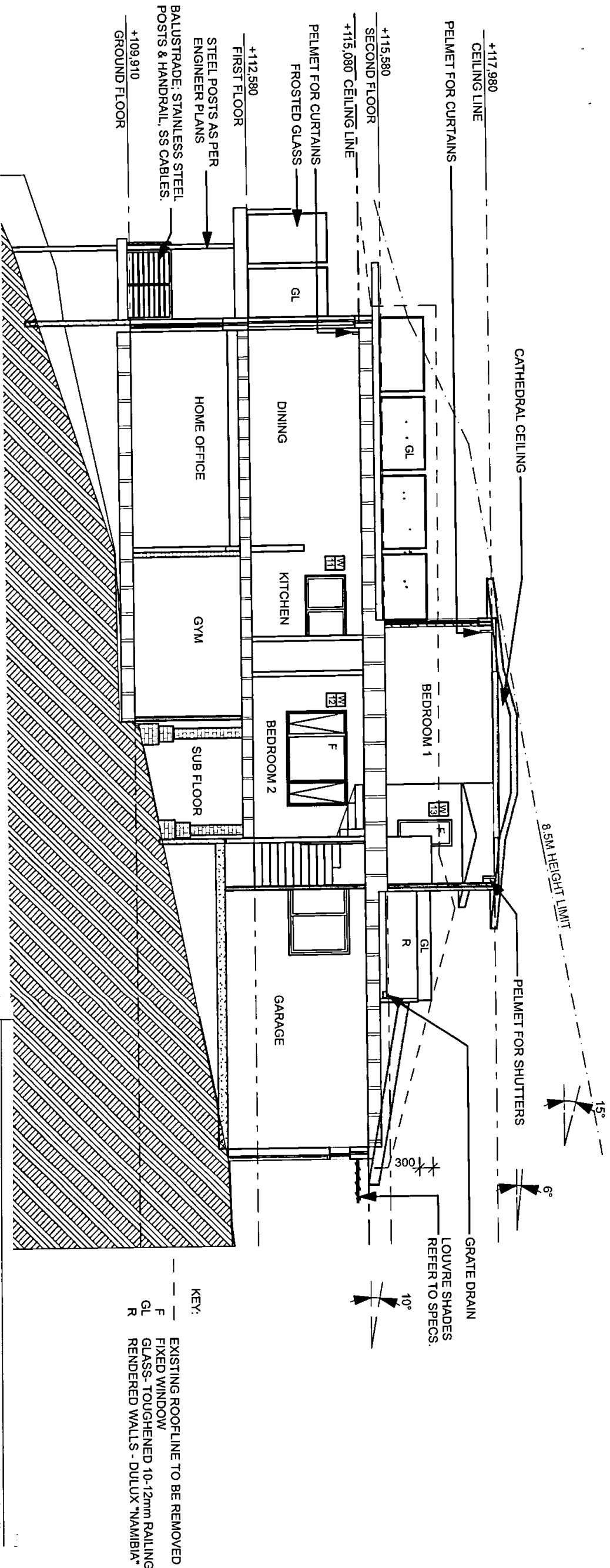
DATE:

7-6-2010

JOB NO.

RES36

ALL MEASUREMENTS ARE IN MM
UNLESS NOTED OTHERWISE.
PLOT DATE: 10/06/2010

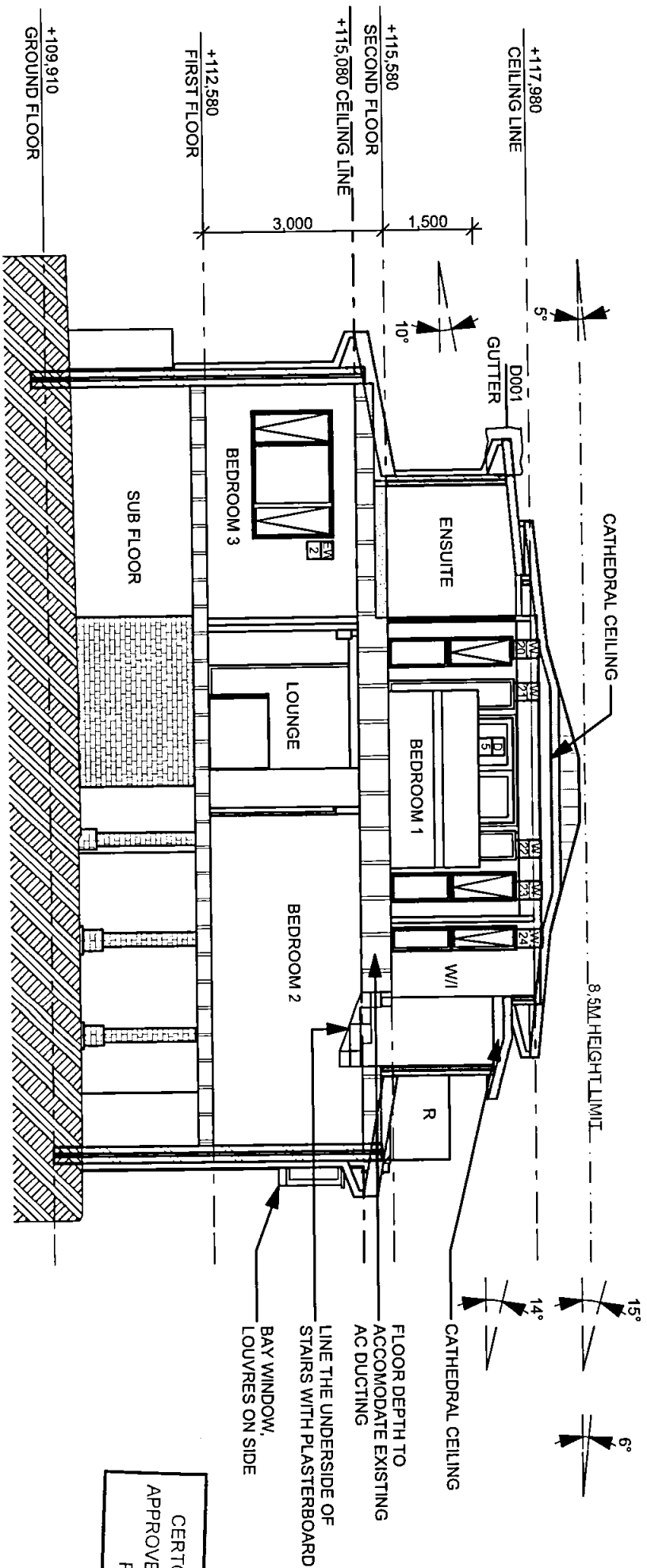


A/1

SECTION

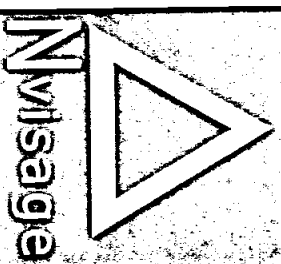
*Ceiling height in stairway is to a minimum 2.0 metres measured vertically above the nosing line complying with part 3.8.2.2 Ceiling Heights of the Building Code of Australia Housing provisions 2010.

:100



SECTION

1:100



NVISAGE PTY LTD.
PO BOX 1668
WARRIEWOOD SQUARE
NSW 2102

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Gail & Peter CORRIE
11 CYNTHIA ROAD
PALM BEACH
NSW 2108

PROPERTY:

LOT 83 DP 14630

DRAWING TITLE:

CC PLANS

DRAWN BY:
TRINA ROWSTON

DATE: 7-6-2010

REVISION: 1

JOB NO. RES36

DWG. No. CC-08

ALL MEASUREMENTS ARE IN MM
UNLESS NOTED OTHERWISE.
PLOT DATE: 10/06/2010

CERTGROUP BUILDING CERTIFIERS
APPROVED CONSTRUCTION CERTIFICATE
PLAN / DOCUMENTATION

A/2

GENERAL NOTES

- G1 - These drawings are to be read in conjunction with all architectural and other consultants drawings and specifications. Any discrepancies are to be referred to all parties and rectified before proceeding with the works.
- G2 - Dimensions shall not be obtained by scaling from these drawings.
- G3 - During construction the structure shall be kept in a stable condition and no part shall be over stressed.
- G4 - All materials and workmanship are to be in accordance with the current Australian Standards, CH&S requirements, and the by-laws and ordinances of any relevant statutory authority.

FOUNDATIONS

- F1 - The foundation material is to be **SOUND ROCK** of min **1000 KPa** bearing capacity.
- F2 -The foundation material is to be **inspected, verified and approved** by a **Geotechnical Consultant** as being in accordance with the above assumption and that it is sound and consistent with minimal possibility of differential settlement across the development.
- F3 - Should variable foundation material be encountered the engineer is to be contacted and it is likely all foundations are to be piers to similar material of the greatest bearing capacity and that additional detailing of the foundation reinforcement will be required.
- F4 - Any excavation works are to include measures to ensure the temporary and long term stability of any existing structure within its vicinity.
- F5 - All foundations shall be a minimum 300mm into the approved material unless otherwise noted.
- F6 - Foundation depth dimensions are a minimum only and final depth will be dependent on the adequacy of the bearing material.
- F7 - All organic matter and top soil shall be removed from the underside of all slabs and foundations.
- F8 - Any soft or questionable excavated areas are to be brought to the attention of the Geotechnical Consultant and may require controlled filling.
- F9 - Any filling shall be to the approval of the Geotechnical Consultant and will generally be granular material compacted in not more than 150mm layers to a minimum dry density ratio of 98%.

CONCRETE

- C1 - All workmanship and materials shall be in accordance with AS3600.
- C2 - Concrete quality shall be verified by tests.
- C3 - All concrete shall have a slump of 80mm and maximum aggregate size of 20mm.
- C4 - Concrete strength and cover shall be as detailed on the plans.
- C5 - Size of concrete members do not include thickness of applied finishes.
- C6 - Beam depths are written first and include slab thickness if any.
- C7 - No penetrations are to be made to the concrete members without the written approval of the engineer.
- C8 - No water is to be added to the concrete prior to placement.
- C9 - All construction joints shall be located to the approval of the engineer.
- C10 - Fire rating requirements and adequacy is to be reviewed and specified by others.
- C11 - All concrete members are to be cured by keeping the surfaces continuously wet for a period of 3 days followed by the prevention of loss of moisture for a further 7 days.

- C12 - All concrete elements shall be compacted to form a dense homogenous mass using mechanical vibrators.
- C13 - All formwork shall be installed and stripped in accordance with AS3610.
- C14 - All formwork is to be free of debris prior to pouring of concrete.

REINFORCEMENT

- R1 - All reinforcement shall be Grade D500.
- R2 - Top reinforcement is to be continuous over supporting elements and lapped between supporting elements only.
- R3 - Bottom reinforcement is to be continuous between supporting elements and lapped at supporting elements only.
- R4 - Reinforcement is represented diagrammatically only and is not necessarily shown in its true projection.
- R5 - Welding of reinforcement is not permitted.
- R6 - All reinforcement shall be supported on bar chairs at max 750mm spacing.
- R7 - Reinforcement shall be tied at alternate intersections.
- R8 - Reinforcement bars are to lap a minimum length equal to 40 times the bar diameter (ie min 480mm for N12 bars, 640mm for N16 bars).
- R9 - Reinforcement fabric is to lap 1 complete square plus 25mm.

MASONRY

- M1 - All workmanship and materials shall be in accordance with AS3700.
- M2 - An approved slip joint material is to be placed over all load bearing masonry supporting a concrete slab and laid on smooth brick work or a trowed mortar finish, this material may constitute two layers of greased metal.
- M3 - Masonry shall be constructed on suspended concrete structures only after all propping has been removed and the concrete has achieved its specified strength.
- M4 - Control joints are to be placed in all walls at a maximum of 8m centres or closer as deemed necessary by the engineer. The joints are to be 10mm wide and sealed with an approved flexible sealant, with ties at 600mm centres vertical.
- M5 - Concrete blocks shall have a minimum compressive strength of 15 MPa.
- M6 - Core filling shall be 20 MPa concrete with 10mm aggregate, 230mm slump and compacted adequately.
- M7 - Concrete blocks used in retaining wall construction are to be Double Web H blocks.
- M8 - Maximum pour height for unrestrained blockwork is 1.8m.
- M9 - All masonry components are to be tied at not more than 600mm centres to adjacent steel or concrete columns.

STEEL

- S1 - All workmanship and materials shall be in accordance with AS4100.
- S2 - Hot rolled plates shall comply with AS 3678.
- S3 - Hot rolled sections shall comply with AS3679.
- S4 - Cold formed sections shall comply with AS4600.
- S5 - Welded and seamless hollow sections shall comply with AS1163.
- S6 - Unless noted otherwise all welds shall be 6mm continuous fillet from E4xx electrodes, unless noted otherwise.
- S7 - Unless noted otherwise all bolts shall be M16 high strength structural bolts grade 8.8, snug tightened, uno.
- S8 - Unless noted otherwise all connections shall be 3M16 bolts, 10mm plate and 6mm continuous weld.
- S9 - All structural steel work shall have the following level of corrosion protection (coatings listed below by *ORICA Australia p/L* maybe substituted with a certified equivalent) All coatings/finishes shall be applied in accordance with the manufacturers specifications and recommendations including surface preparation.

Internal elements

- not visible - a single coat (75 microns) of Zincanode 402.
- visible - a first coat (75 microns) of Zincanode 402 and a second coat (100 microns) of Weathermax HBR.

External elements (including members with an external cavity or within 1m of a significant opening)

- not visible - a first coat (75 microns) of Zincanode 402 and a second coat (200 microns) of Duemax GPE M10 or Hot Dipped Galvanised to AS 4680.
- visible - a first coat (75 microns) of Zincanode 402 and a second coat (100 microns) of Ferreko No3 and a third coat (100 microns) of Ferreko No3 or Hot Dipped Galvanised to AS 4680 and a decorative coating.
- S10 - All work shop drawings are to be reviewed and approved by the Engineer.

TIMBER

- T1 - All workmanship and materials shall be in accordance with AS1720 and AS1684.
- T2 - All exposed timber shall be H3 treated or of durability class 1.
- T3 - All timber in contact with the ground shall be H4 treated or of durability class 1.
- T4 - All exposed cuts shall be treated to achieve H3 or H4 requirements.
- T5 - All softwood shall be minimum F7.
- T6 - All hardwood shall be a minimum F14.
- T7 - All bolt hole s shall be exact size and washers shall be 2.5 x the bolt diameter.

INSPECTIONS

- I1 - Barrenjoey Consulting Engineers shall only inspect works within its capacity as an Engineering Consultancy and will not carry out Mandatory Critical Stage inspections.
- I2 - Barrenjoey Consulting Engineers will not inspect or certify foundation material adequacy, see F2.
- I2 - All inspections are to be carried out at the request of the projects Principal Certifying Authority, or should independent certification be required at the request of the client or builder.
- I3 - Typical inspections include -
Foundation reinforcement
Slab on ground reinforcement
Suspended concrete reinforcement
Steel structures
Timber structures
Completed Stormwater Management systems
- I4 - The client shall be responsible for any fees for inspections regardless of whom requested them.
- I5 - All re inspection required due to no compliance with issued drawings or that deemed necessary by Barrenjoey Consulting Engineers shall be charged to the client.
- I6 - No certification will be given for works not inspected by Barrenjoey Consulting Engineers.
- I7-48 Hrs notice is required for any inspection within the Sydney region and 72 Hrs notice is required for any inspection outside of this region.

DESIGN LIFE OF THE STRUCTURE

- D1 - The design life of all elements as specified within these documents correspond to that required by the Building Code of Australia and the relevant Australian Standard.

DRAWING

SCHEDULE

- S1.00 - GENERAL NOTES
- S2.00 - GROUND FLOOR FRAMING PLAN
- S2.01 - GROUND FLOOR FRAMING DETAILS 1
- S3.00 - FIRST FLOOR FRAMING PLAN
- S3.01 - FIRST FLOOR FRAMING DETAILS 1
- S4.00 - SECOND FLOOR FRAMING PLAN
- S4.01 - SECOND FLOOR FRAMING DETAILS 1
- S5.00 - SECOND FLOOR ROOF FRAMING PLAN
- S5.01 - SECOND FLOOR ROOF FRAMING DETAILS 1
- S5.02 - SECOND FLOOR ROOF FRAMING DETAILS 2

CERTGROUP BUILDING CERTIFIERS
APPROVED CONSTRUCTION CERTIFICATE
PLAN / DOCUMENTATION

COUNCIL COPY

Barrenjoey Consulting Engineers Pty Ltd
Stormwater Structural Civil
PO Box 672
Avalon NSW 2107
P: 9918 6264 F: 9918 5841
M: 0418 620 330
E: lucasbee@bjcpnrd.com
ABN: 13124694917
ACN: 124694917

PROJECT:

ALTERATIONS & ADDITIONS
11 CYNTHIA RD
PALM BEACH

DRAWING :

GENERAL NOTES

Job No : 100402
Drawing No : S1.00

Document Certification
Barrenjoey Consulting Engineers Pty Ltd
per Lucas Molloy MIEA CPENG NBER Director

Signature of Lucas Molloy

Boundary



GROUND FLOOR FRAMING PLAN

1:100

FRAMING SPECIFICATION

- GJ1 - 140x45 F27 KD Joists @ 450 cts
- GB1 - 2x240x45 F27 KD or 150 PFC Beam
- SC1 - 89x89x6 SHS Column

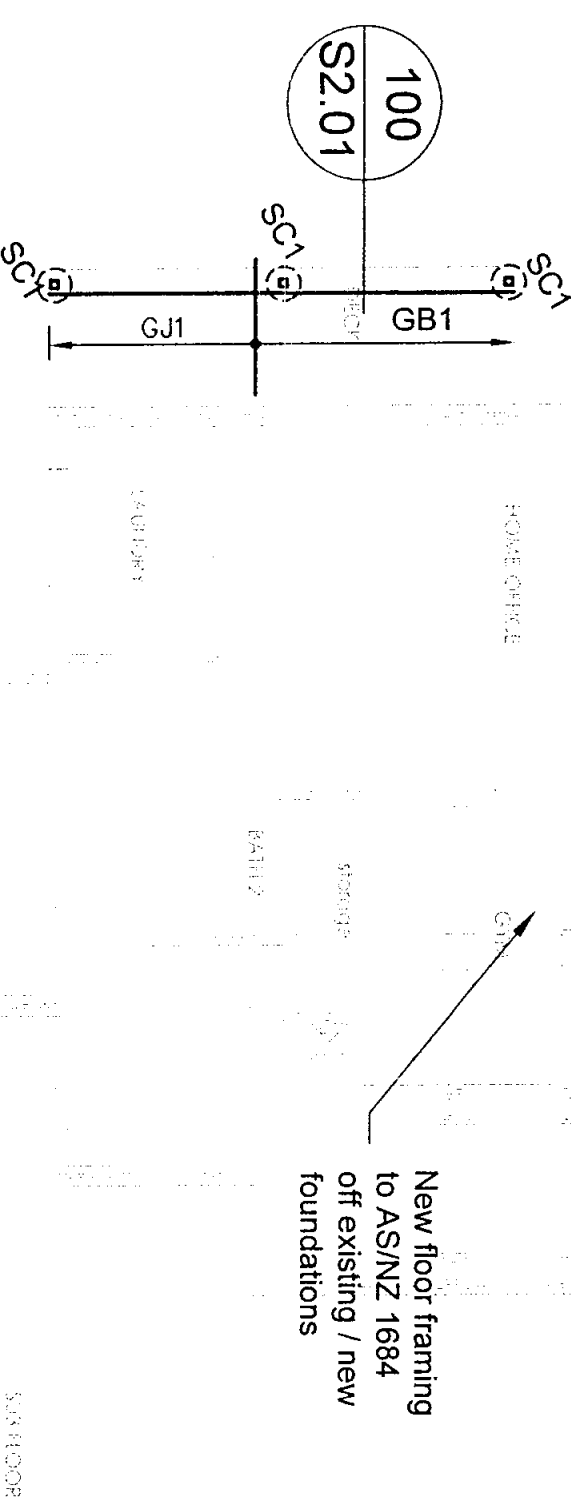
(note these columns are continuous to the first floor deck framing)
Columns to be taken off a 450mm dia pier socketed 450mm into weathered rock
NOTE - All other framing to AS/NZ 1684

CERTGROUP BUILDING CERTIFIERS
APPROVED CONSTRUCTION CERTIFICATE
PLAN / DOCUMENTATION

WARNING

PLEASE NOTE: A comprehensive check of the Structural Design has not been carried out. The stamping of this STRUCTURAL PLAN by CERTGROUP BUILDING CERTIFIERS does not relieve the Structural Engineers responsibility to certify the structural adequacy of this development including any variations that may occur during construction.

Boundary



Barrenjoey Consulting Engineers Pty Ltd

Stormwater Structural

Civil

PO Box 672

Avalon NSW 2107

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M: 0418 620 330

E: lucas@barrenjoey.com

ABN: 131 246 949 17

ACN: 124 694 917

PROJECT:

ALTERATIONS & ADDITIONS
11 CYNTHIA RD
PALM BEACH

DRAWING:

GROUND FLOOR
FRAMING PLAN

Job No:

100402

Drawing No:

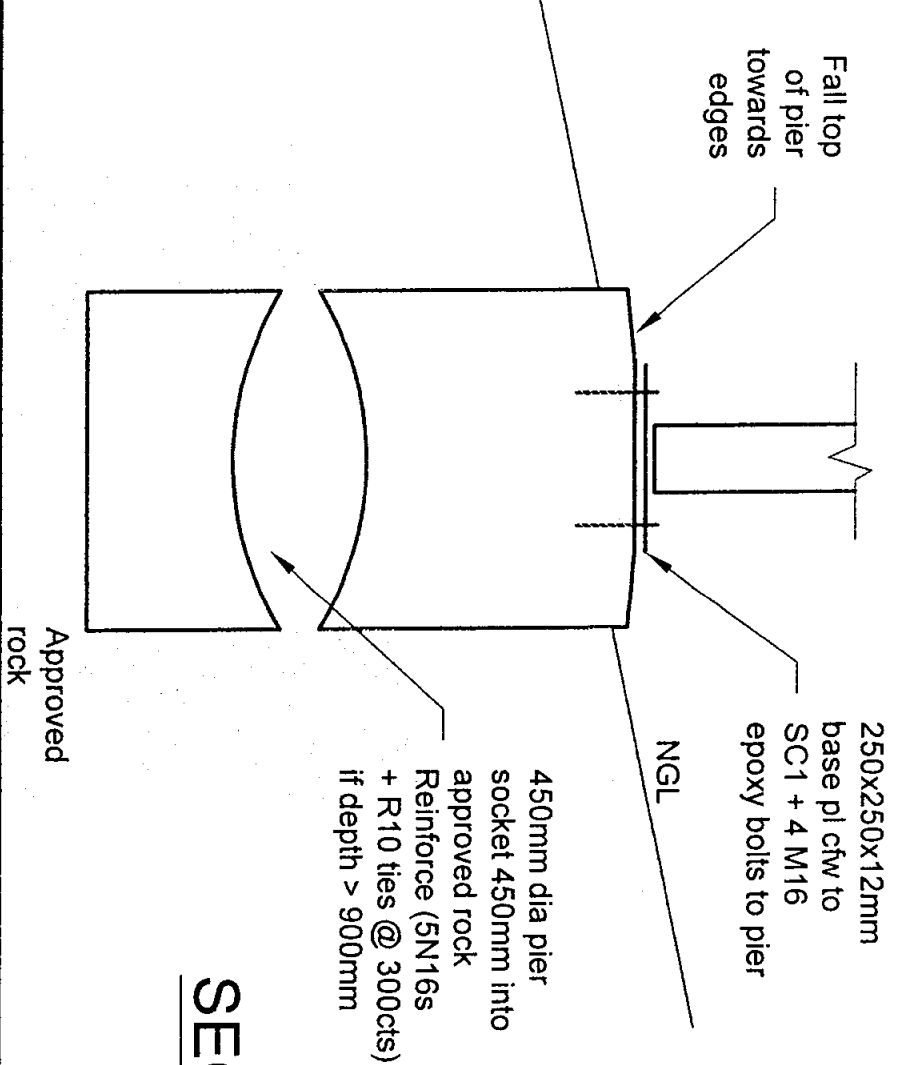
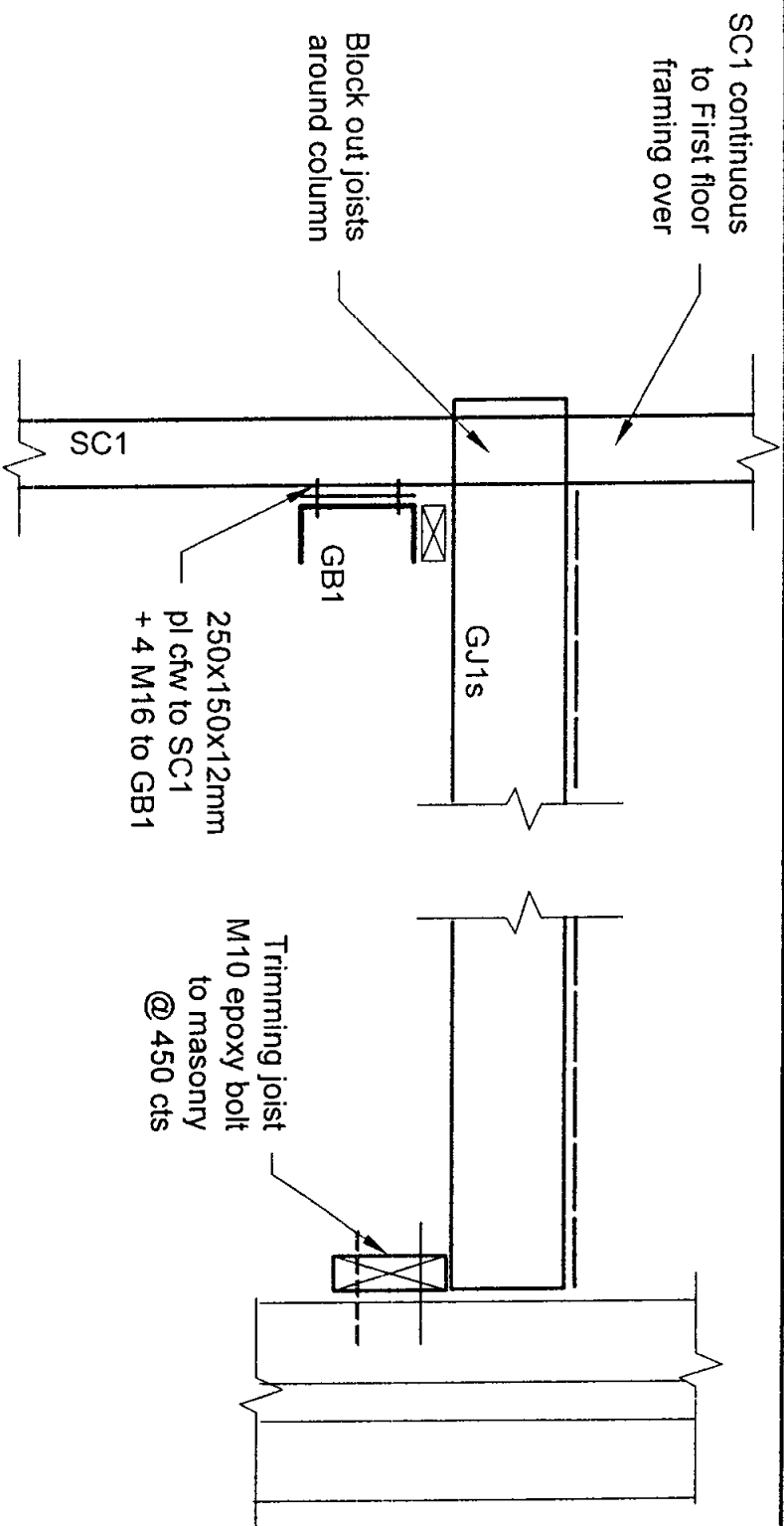
S2.00

Document Certification

Barrenjoey Consulting Engineers Pty Ltd
per

Lucas Molloy MIEA CPENG NPER Director

Lucas Molloy



SECTION 100 / 2.00

1:10

Approved
rock

450mm dia pier
socket 450mm into
approved rock
Reinforce (5N16s
+ R10 ties @ 300cts)
if depth > 900mm

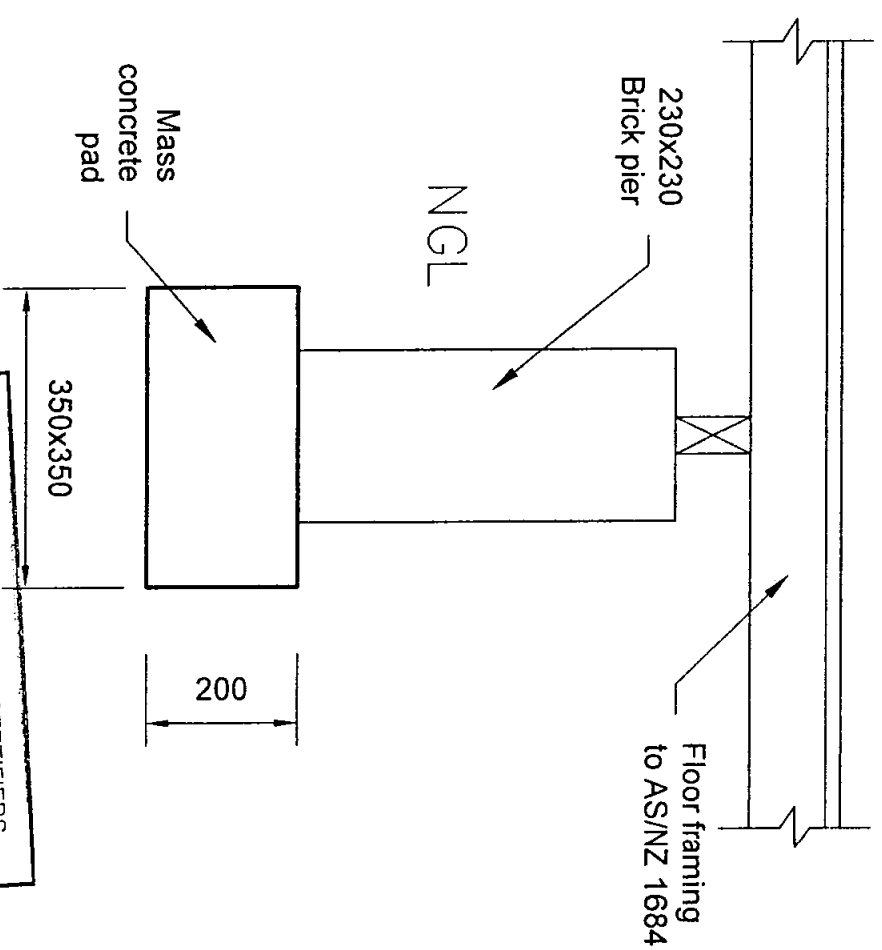
250x250x12mm
base pl cfw to
SC1 + 4 M16
epoxy bolts to pier

NGL

Fall top
of pier
towards
edges

TYPICAL PAD FOUNDATION DETAIL

1:10



CERTGROUP BUILDING CERTIFIERS
APPROVED CONSTRUCTION CERTIFICATE
PLAN / DOCUMENTATION

Barrenjoey Consulting Engineers Pty Ltd
Stormwater
Civil

PO Box 672

Avonlon NSW 2107

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M: 0418 620 330

E: lucasbce@bigpond.com

ABN: 13124694917

ACN: 124694917

PROJECT:

ALTERATIONS & ADDITIONS
11 CYNTHIA RD
PALM BEACH

DRAWING:

GROUND FLOOR
FRAMING DETAILS 1

Job No:

100402

Drawing No:

S2.01

Document Certification

Barrenjoey Consulting Engineers Pty Ltd
per

Lucas Molloy MIEA CPENG INPER Director

Signature of Lucas Molloy

Boundary



FIRST FLOOR FRAMING PLAN

1:100

FRAMING SPECIFICATION

- 1J1 - 150x45 Hyspan I/J Joists @ 300 cts
- 1B1 - 150 PFC Beam
- 1B2 / 3 - 300x75 Hyspan I/J or 150 PFC Beam
- 1B4 / 5 - 400x75 Hyspan I/J or 200 PFC Beam
- 1L1 - 200 PFC int 150x100 Galintel ext
- SC1 - 89x89x6 SHS Column
- NOTE - All other framing to AS/NZ 1684

Boundary

Boundary

Extend min 3 joists
through wall and fix
tbc on site during
construction

New lintel
to support
concentrated
load over

New beam to support
concentrated load over

Support beams
off existing
masonry

Support new beams
off existing piers

Barrenjoey Consulting Engineers Pty Ltd
Stormwater
Structural
Civil

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ACN: 124694917

PROJECT:

ALTERATIONS & ADDITIONS
11 CYNTHIA RD
PALM BEACH

DRAWING:

FIRST FLOOR
FRAMING PLAN

Job No :

100402

Drawing No :

S3.00

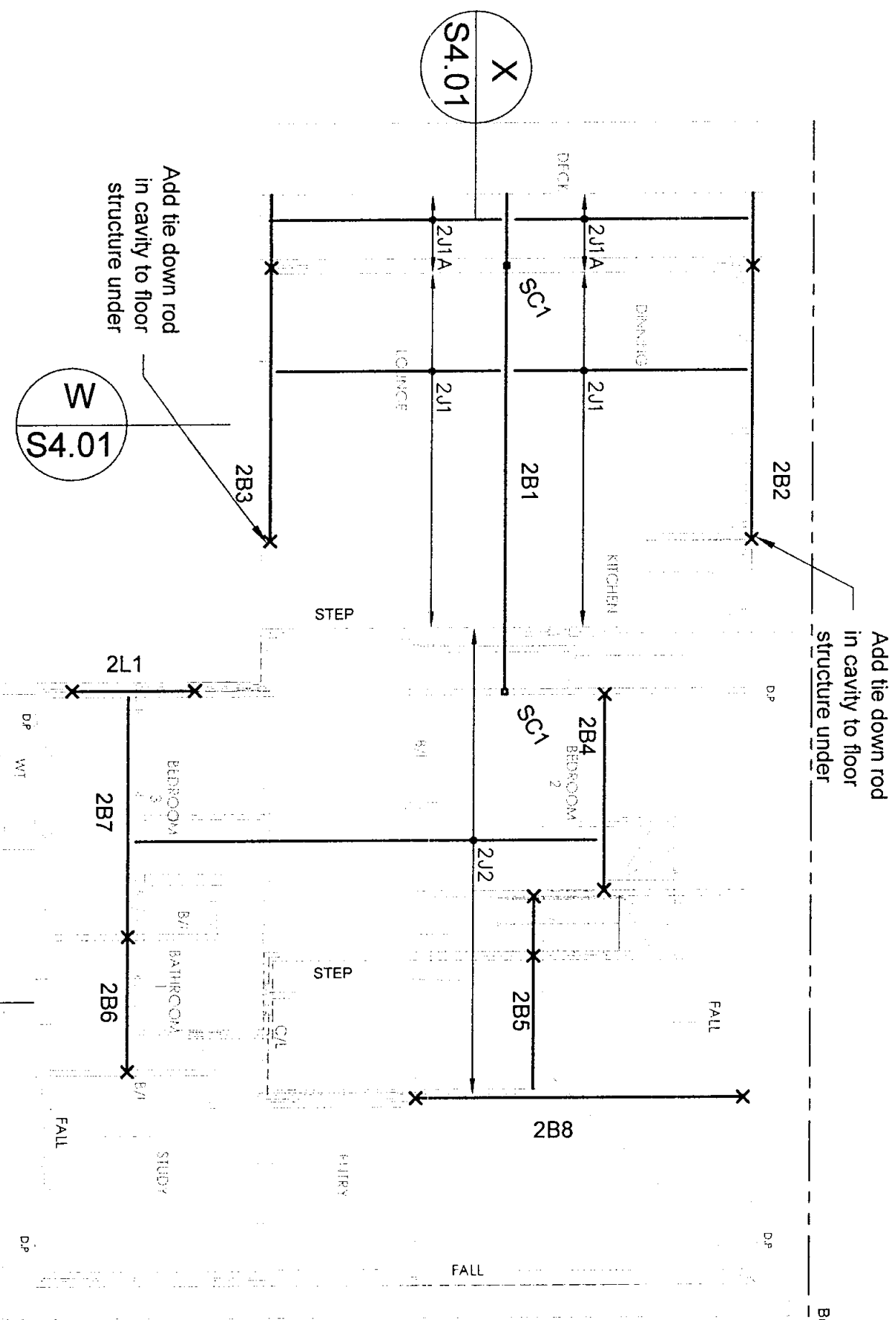
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APPROVED CONSTRUCTION CERTIFICATE
PLAN / DOCUMENTATION

Document Certification

Barrenjoey Consulting Engineers Pty Ltd
per

Lucas Molloy MBEA CPENG NPER Director

Signature of Lucas Molloy



SECOND FLOOR
FRAMING PLAN

1:100

FRAMING SPECIFICATION

- 2J1 - PSW4540F5 45x75 Posistruitt Joists @ 450 cts (alt 240x45 Hyspan Ivl Joists @ 300 cts)
 - 2J1A - 240x45 Hyspan Ivl Joists @ 300 cts
 - 2J2 - PSW4540F5 45x75 Posistruitt Joists @ 450 cts (alt 200x45 Hyspan Ivl Joists @ 450 cts)
 - 2B1 - 410UB59 (cut down to 250 depth for cantilever)
 - 2B2 / 3 - 250 UB 37 Beam
 - 2B4 to 7 - 300x75 Hyspan Ivl Beam
 - 2B8 - 200 UB 29 Beam
 - X - Triple Studs or 100x100x10mm L spreader off masonry
 - SC1 - 89x89x6 SHS Column
 - SPR - 150x100x12 L Spreader over 900mm of masonry
- NOTE - All other framing to AS/NZ 1684

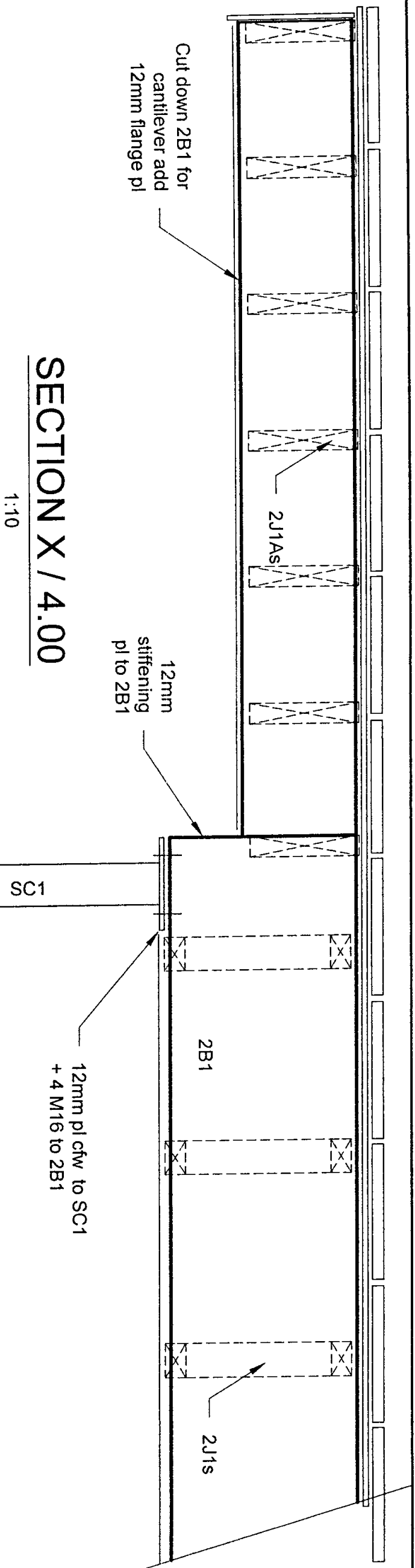
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PROJECT:
ALTERATIONS & ADDITIONS
11 CYNTHIA RD
PALM BEACH

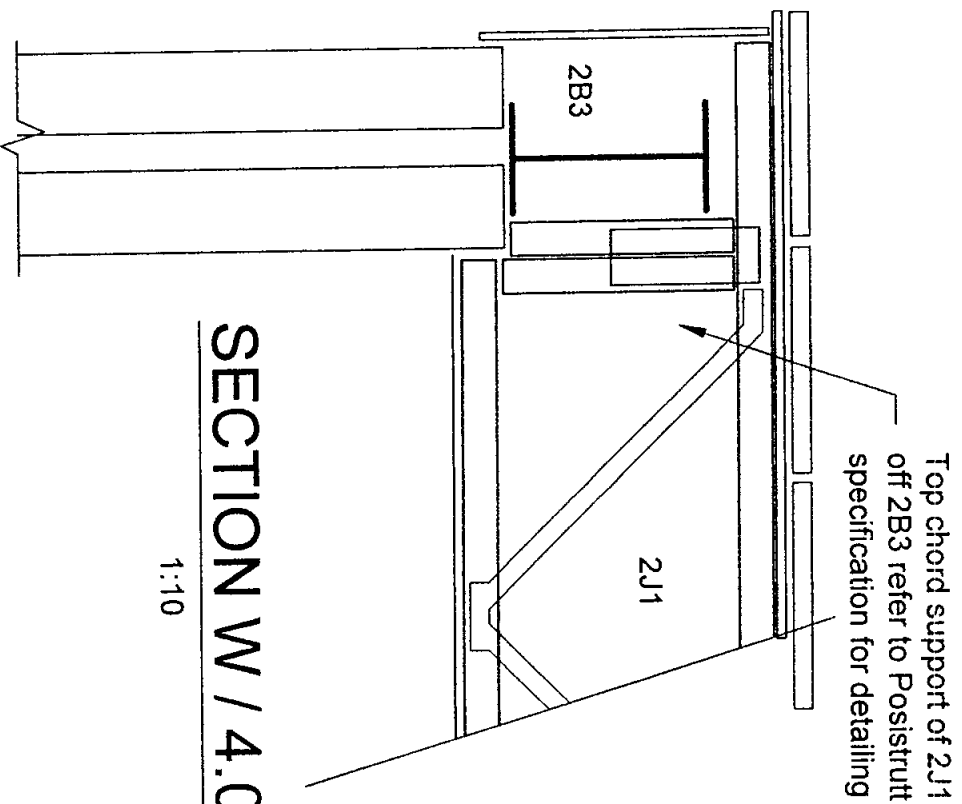
DRAWING :
SECOND FLOOR
FRAMING PLAN

Job No :
100402
Drawing No :
S4.00
Document Certification
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per
Lucas Molloy MIEA CPENG NPER Director



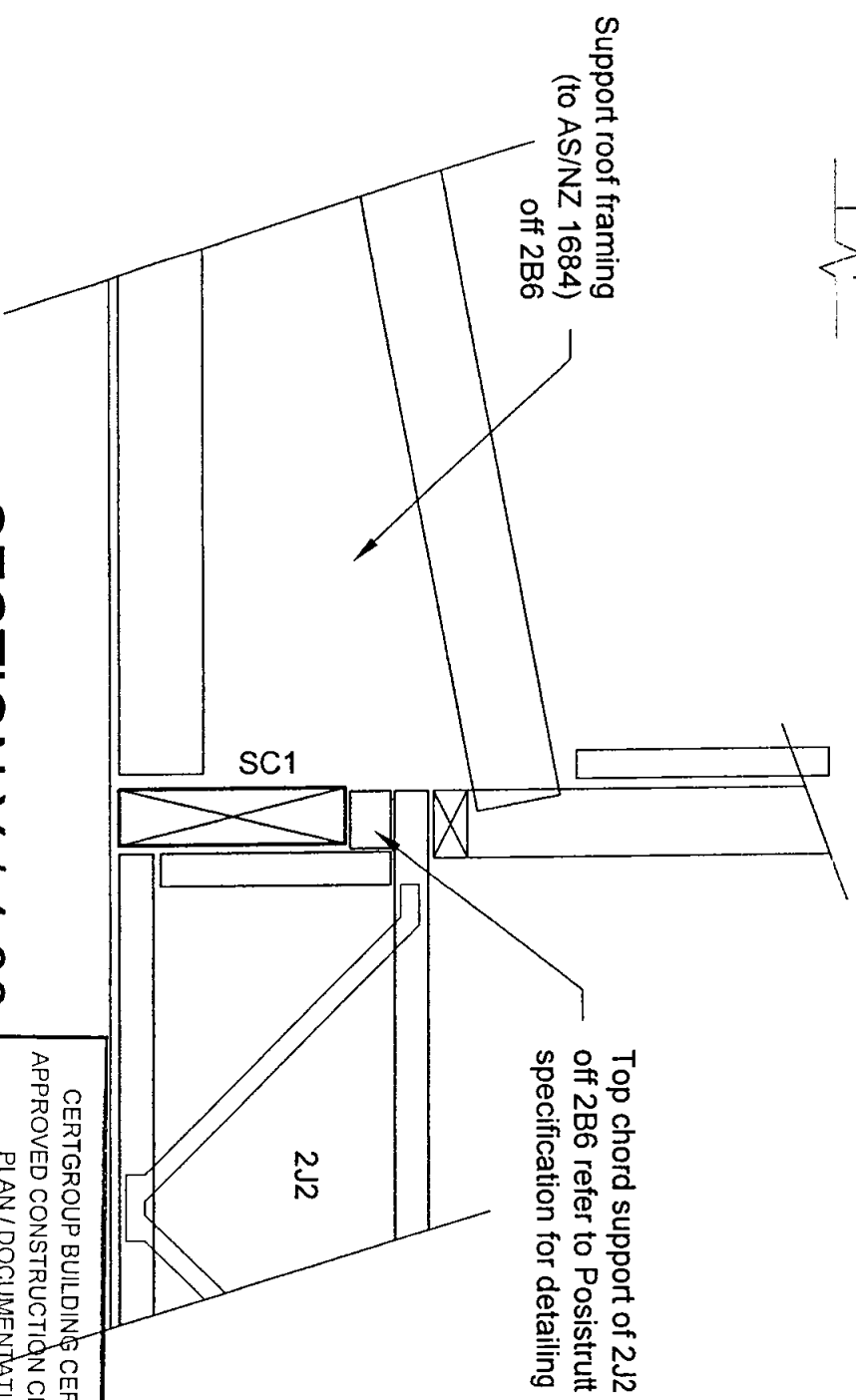
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SECTION W / 4.00

1:10



SECTION Y / 4.00

1:10

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PROJECT:

ALTERATIONS & ADDITIONS
11 CYNTHIA RD
PALM BEACH

DRAWING :

SECOND FLOOR
FRAMING DETAILS 1

Job No :

100402

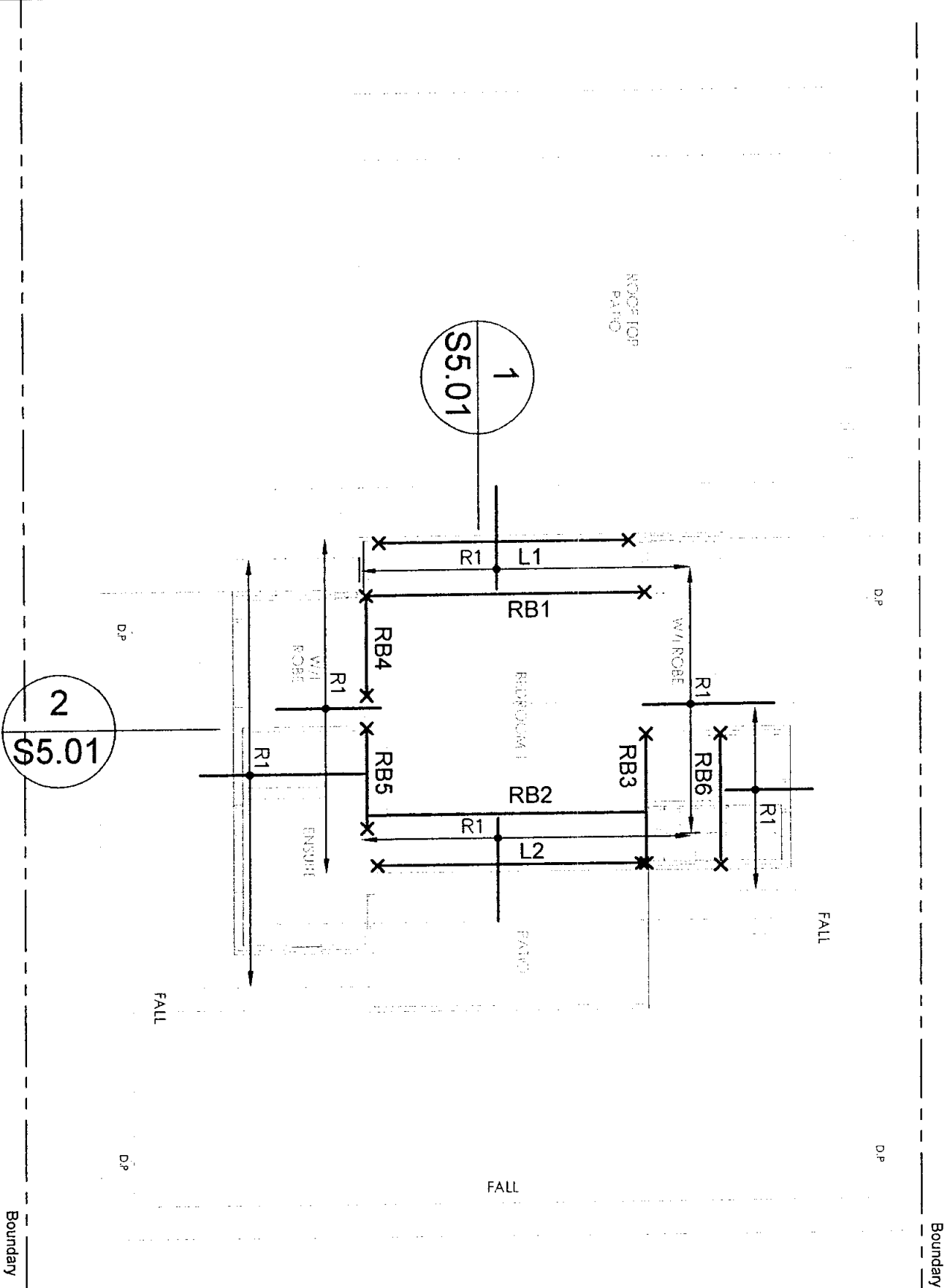
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per
Lucas Molloy MIEA CPENG NPER Director

Lucas Molloy



SECOND FLOOR ROOF FRAMING PLAN

1:100

FRAMING SPECIFICATION

- R1 - 150x45 Hyspan Ivl Rafter @ 600 MAX cts
- L1 / L2 - 300x75 Hyspan Ivl Lintel
- Other Lintels - 150x63 Hyspan Ivl Lintel
- RB1 / RB2 - 300x75 Hyspan Ivl Beam
- RB3 / 4 / 5 - 200x63 Hyspan Ivl Beam
- RB6 - 150x63 Hyspan Ivl Beam
- Center Apex - All 150x45 Hyspan Ivl
- (line with 4.5mm ply bracing panels and fix all round with sound connections)
- Double Studs + tie down to floor framing
- Ply bracing all wall framing
- All other framing to AS/NZ 1684

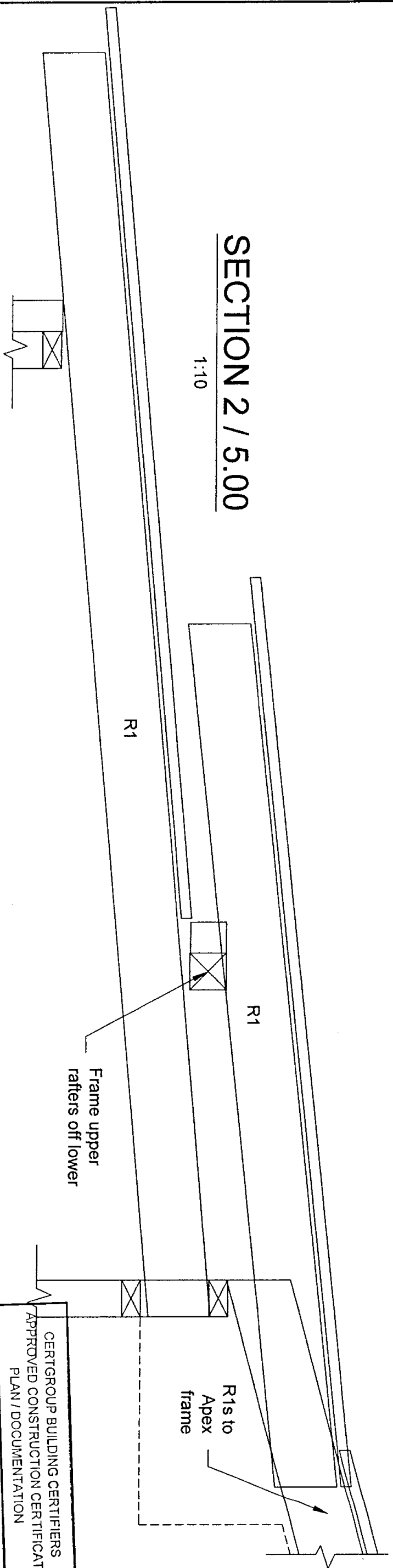
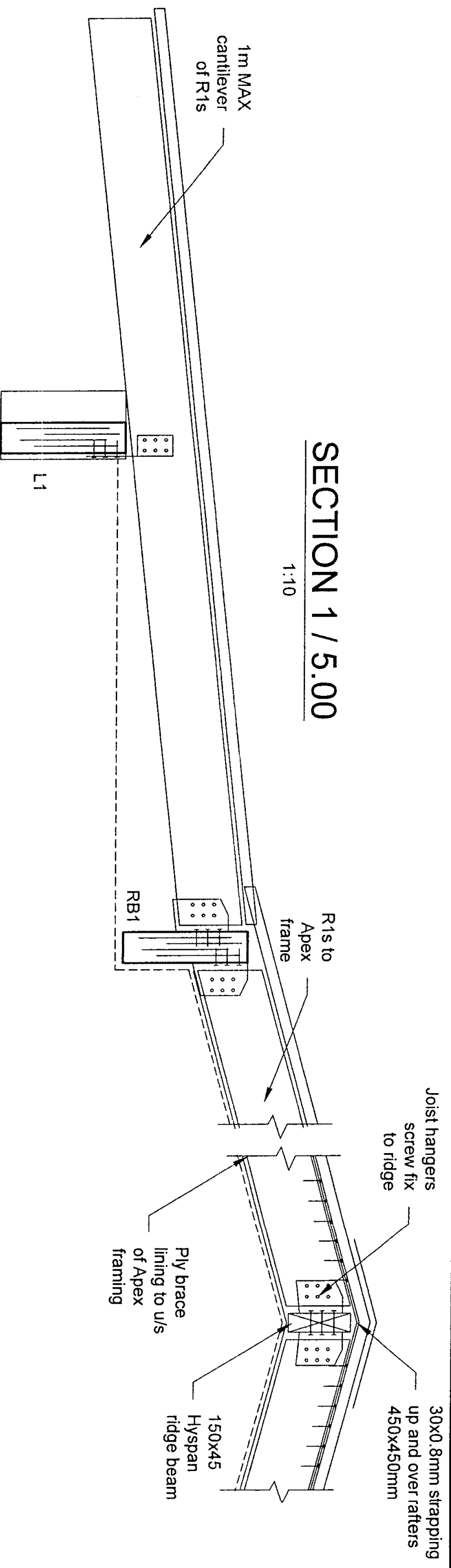
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APPROVED CONSTRUCTION CERTIFICATE
PLAN / DOCUMENTATION

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PROJECT:
ALTERATIONS & ADDITIONS
11 CYNTHIA RD
PALM BEACH

DRAWING :
SECOND FLOOR
ROOF FRAMING PLAN

Job No :
100402
Drawing No :
S5.00
Document Certification
Barenjoey Consulting Engineers Pty Ltd
per
Lucas Molloy MBEA CPENG NPER Director



SECTION 1 / 5.00

1:10

1:10

SECTION 2 / 5.00

Barenjoey Consulting Engineers pty ltd
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 ACN: 124694917

PROJECT:

ALTERATIONS & ADDITIONS
11 CYNTHIA RD
PALM BEACH

DRAWING:

SECOND FLOOR
ROOF FRAMING DETAILS 1

Job No :

100402

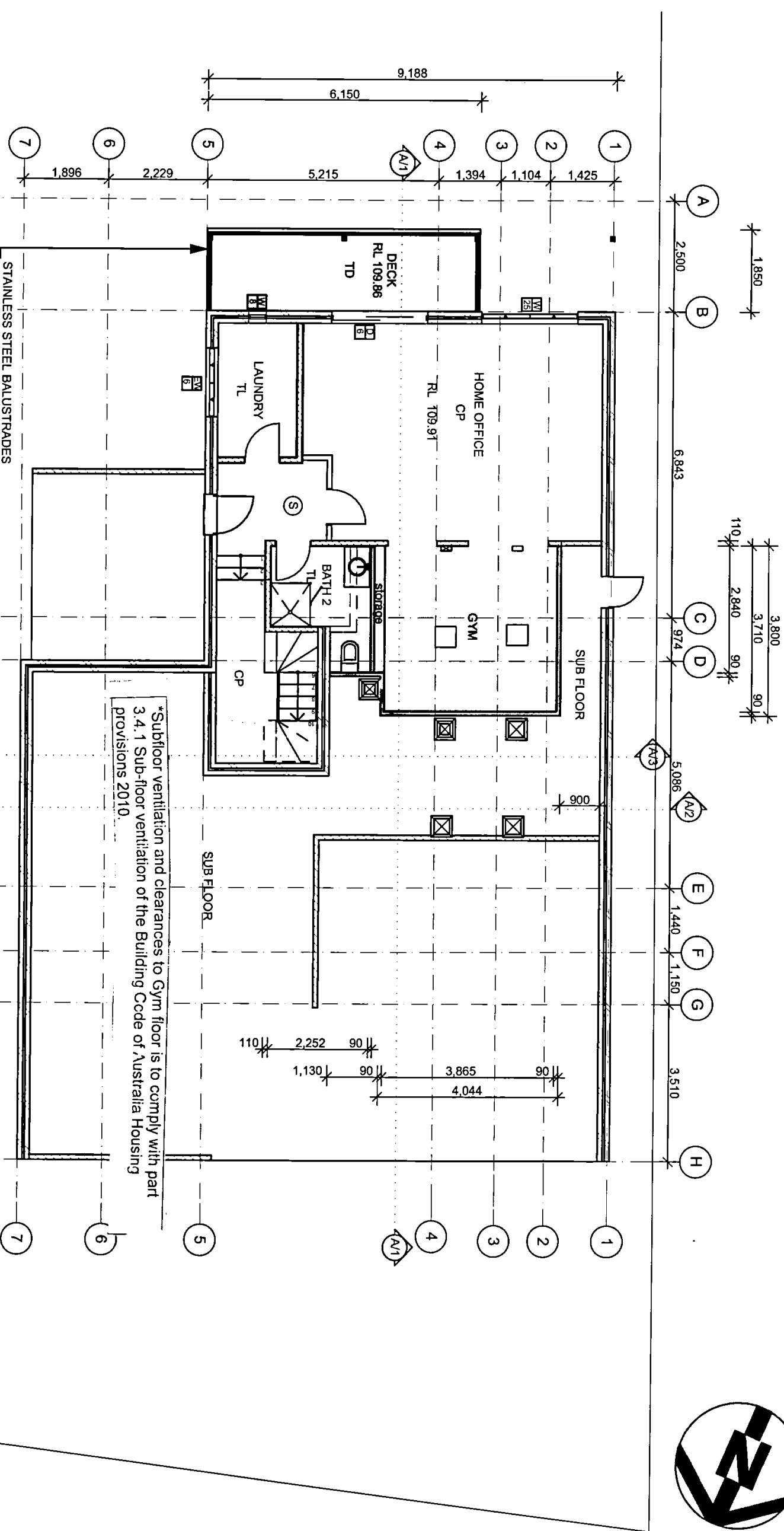
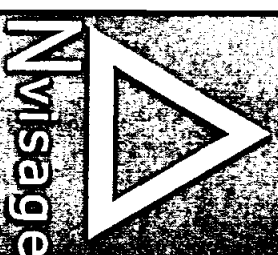
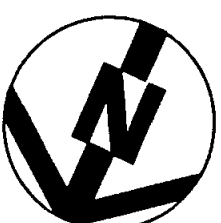
Drawing No :

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Document Certification

Barenjoey Consulting Engineers pty ltd
 per
 Lucas Molloy MICA OPENING NIPER Director

CERTGROUP BUILDING CERTIFIERS
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SPECIFICATIONS:

1. Refer to Engineer Plans for construction of new deck and gym.
2. Remove existing piers as indicated on plans. Refer to Engineer plans for structural design.
3. Timber floor joists, yellow tongue and groove particleboard flooring, carpet finish with underlay.
4. Timber stud wall framing: FC exterior wall lining, poly batts R1.5 insulation on walls, 10mm plasterboard interior lining.
5. New bathroom walls: FC lining, waterproofed, tiled as per Client's brief.
6. Bathroom floor, compressed FC for wet areas 15mm floor, waterproofed with water based Epoxy and tiled as per Client brief.
7. Existing interior brick walls are to be lined in 10mm plasterboard. No cornice, square edge, 90mm finger joint skirting, profile TBA with Client.
8. Deck: Hardwood joists and 90mm decking. Must be fire rated to level 3 (timbers such as black-butt, spotted gum, red iron bark etc. refer to bushfire report).
9. Balustrades: Stainless steel round posts and handrail with stainless steel cables.
10. Structural Steel posts, coated in in-organic zinc and painted to match house, Dulux "Nambila".
11. Existing hot water tank may need relocating in sub-floor area, due to access.
12. Check all dimensions on site.
13. Refer to BASIX for fixtures and fittings requirements.
14. Check Specifications for additional detail.
15. Refer to bush fire report for species of timber that can be used in level 3.

EXISTING HOUSE

AREA OF EXTENSION = 17.5sqm
AREA OF DECK = 11.4sqm

KEY:

- CP CARPET FLOOR
- EW EXISTING WINDOWS TO BE REPLACED
- TL TIMBER DECKING - FIRE RETARDANT HARDWOOD TILES
- PROPOSED EXTENSION
- REMOVE WALLS AND COLUMNS
- SMOKE DETECTOR

CERTGROUP BUILDING CERTIFIERS
APPROVED CONSTRUCTION CERTIFICATE
PLAN / DOCUMENTATION

CLIENT DETAILS:

Gail & Peter CORRIE
11 CYNTHIA ROAD
PALM BEACH
NSW 2108

PROPERTY:

LOT 83 DP 14630

DRAWING TITLE:

CC PLANS

DRAWN BY:

TRINA ROWSTON

DATE:

7-6-2010

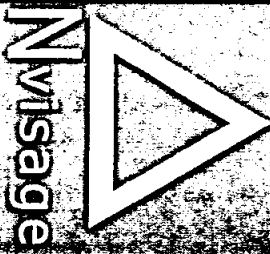
JOB No. RES36

DWG. No. CC-02

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7/06/2010

GROUND FLOOR

1:100



Nvisage

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CLIENT DETAILS:

Gail & Peter CORRIE
11 CYNTHIA ROAD
PALM BEACH
NSW 2108

PROPERTY:

LOT 83 DP 14630

DRAWING TITLE:

CC PLANS

DRAWN BY:

TRINA ROWSTON

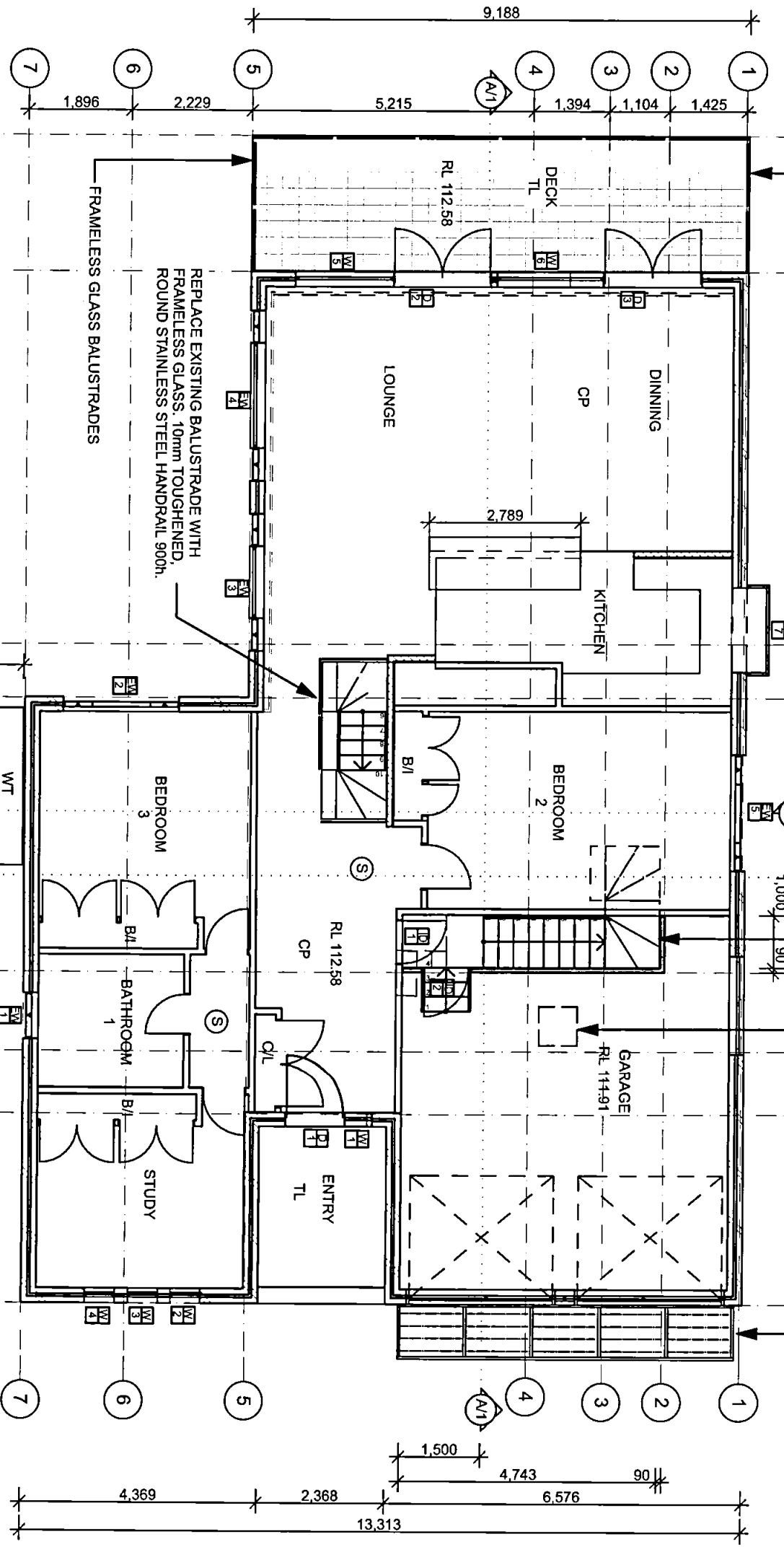
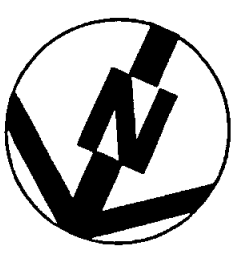
DATE: 7-6-2010

REVISION: 1

JOB No. RES36

DWG. No. CC-03

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PLOT DATE: 10/06/2010



FROSTED GLASS 1800h FOR
PRIVACY SCREEN

PROPOSED STAIRS FOR TOP FLOOR
NEW MAN HOLE
FOR AC UNIT ABOVE

ALUMINIUM SUN SHADES

SPECIFICATIONS:

1. Refer to Engineer Plans for construction of new deck and framing for second floor.
2. Remove existing wall in kitchen as indicated on plan. New kitchen cabinetry by others.
3. Hardwood timber floor joists for deck, sheathed with Sycan "Secura" exterior flooring 19mm, waterproofed and tiled.
4. The underside of the deck to be lined in FC 6mm sheeting and painted, Dulux "Fair Blanca"
5. Frameless 10mm toughened glass balustrade to AS.
6. Western privacy screen on deck to be 10mm toughened Acid Etched frameless glass 1800h.
7. Tiles TBA with Client.
8. New internal staircase to be timber or MDF enclosed underside with plasterboard. Covered in carpet and underlay.
9. Stairwell, Timber stud wall framing; FC exterior wall lining(garage side), poly batts R1.5 insulation on walls, 10mm Impact plasterboard interior lining.
10. Existing interior brick walls are to be lined in 10mm plasterboard. No cornice, square edge.
11. Existing skirting to be replaced with 90mm finger join skirting, profile TBA with Client.
12. Exterior brick walls to be rendered; rockcode acrylic render "Sandcode" Dulux "Namibia" in final coat (refer to specifications)
13. Water Tank: 3000L slimline 650w x 2900l x 2100h. Colour TBA with Client
14. Aluminium powder coated "White Satin" louvre sunshades, fixed angle at 150 degrees
15. Check all dimensions on site.
16. Refer to Specifications for details.

EXISTING HOUSE

AREA OF DECK = 23sqm

KEY:

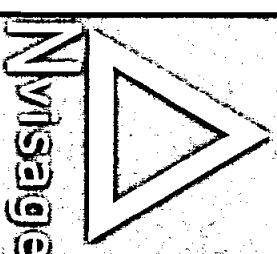
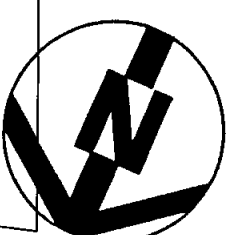
- B/I BUILT-IN ROBES
- CL CLOSET
- CP CARPET FLOOR
- EW EXISTING WINDOWS TO BE REPLACED
- TL TILES
- WT WATER TANK 3000L FOR GARDEN ONLY
- PROPOSED ADDITION
- REMOVE WALLS AND WINDOWS AS INDICATED.
- SMOKE DETECTOR

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PLAN / DOCUMENTATION

FIRST FLOOR

1:100

* Non-combustible fascia & eave is to be provided with 450mm of the side boundary.



WARNING

PLEASE NOTE: The stamping of this plan by the CERTGROUP BUILDING CERTIFIERS does not relieve the Applicant's responsibility to obtain approval from Sydney Water or other Authority of the works prior to commencement of any works.

DIAL BEFORE YOU DIG 1100

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CERTGROUP BUILDING CERTIFIERS

CONSTRUCTION CERTIFICATE No. 13812210

CLIENT DETAILS:

NAME: GAIL & BEN CORRIE
ADDRESS: 110/112 HEA ROAD
SYDNEY BEACH
NSW 2108

Consent No. 105410 Date: 10/2/2010
Plans or documentation associated with the issued Construction Certificate

PROPERTY:

LOT 83 DP 14630

KEY:

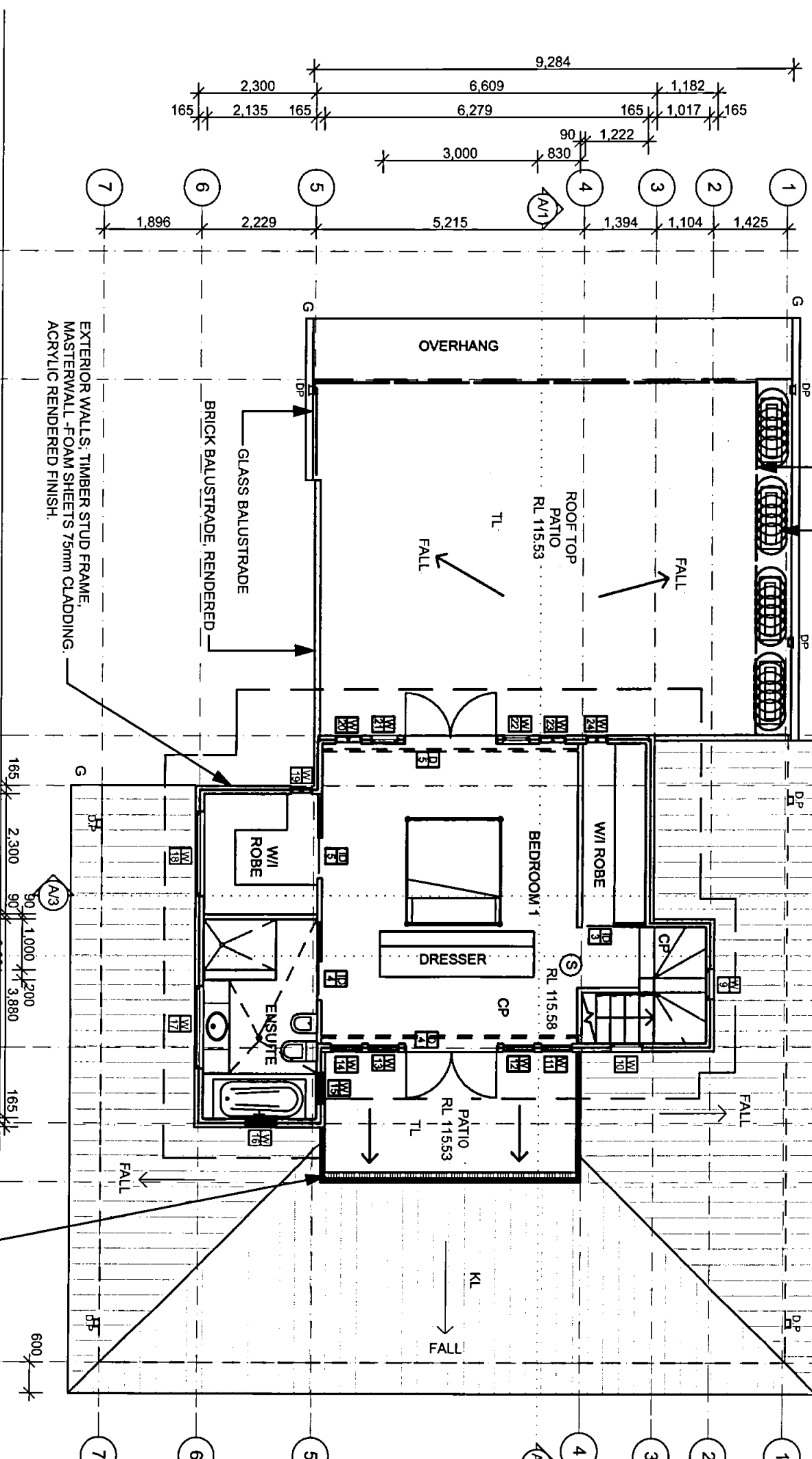
CP CARPET FLOOR
DP DOWN PIPE
G GUTTER
KL TRIMDEK ROOF SHEETS COLOURBOND "IRONSTONE"
TL TILES
W/I WALK-IN ROBE
S SMOKE DETECTOR

DATE: 7-6-2010
REVISION: 1

JOB NO. DWG. No.
RESS6 CC-04

DRAWING TITLE:
CC PLANS

DRAWN BY:
TRINA ROWSTON



EXTERIOR WALLS: TIMBER STUD FRAME.
MASTERWALL -FOAM SHEETS 75mm CLADDING.
ACRYLIC RENDERED FINISH.

GLASS BALUSTRADE
BRICK BALUSTRADE, RENDERED

OVERHANG

FALL

FALL

FALL

FALL

FALL

FALL

FALL

FALL

FALL

FALL

FALL

FALL

FALL

FALL

SPECIFICATIONS:

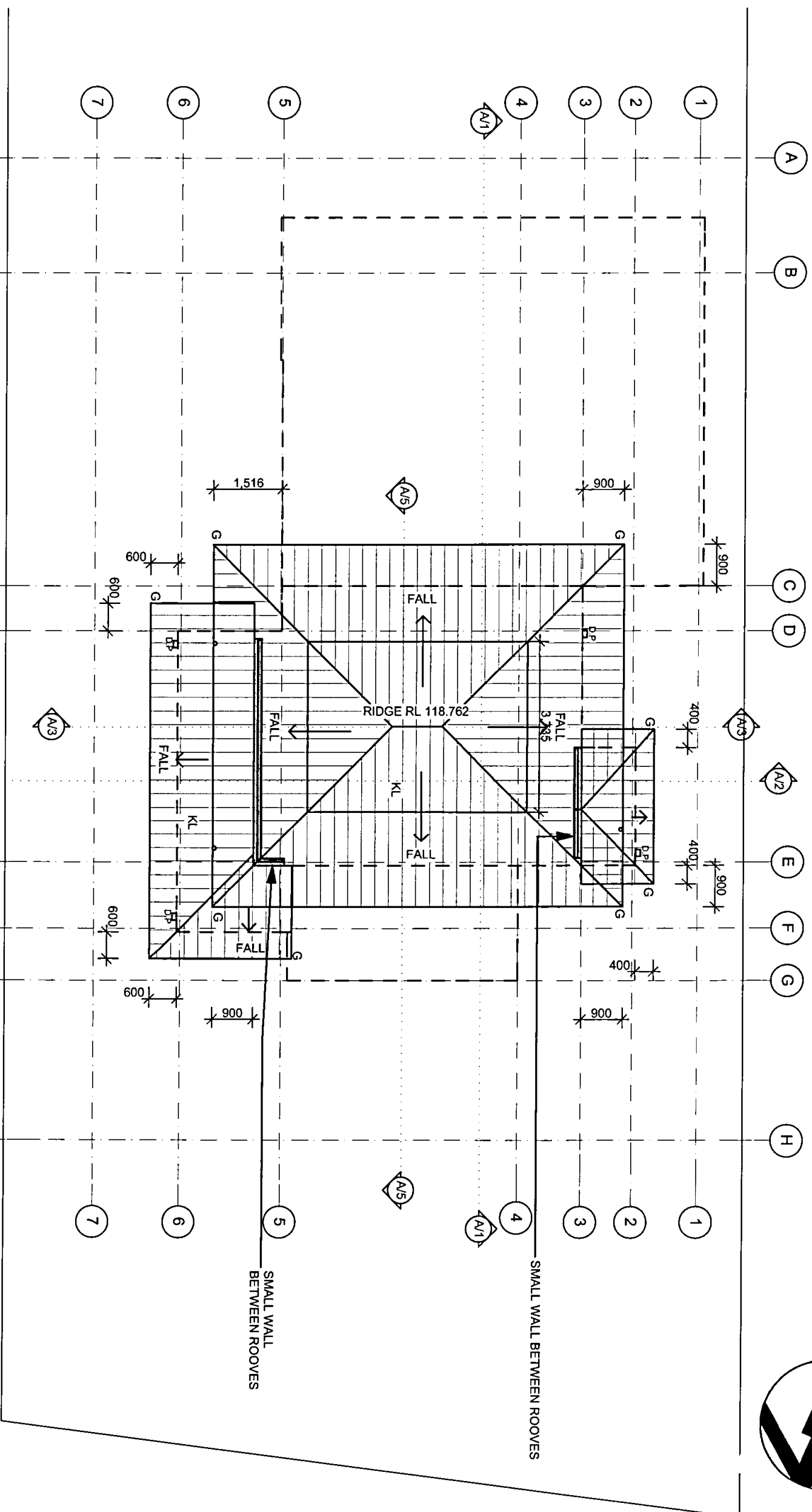
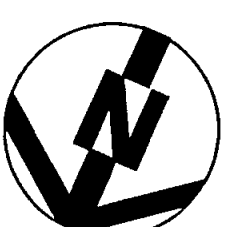
1. Refer to Engineer Plans for construction of new floor.
2. Timber stud wall framing: exterior clad in 75mm polystyrene panels R2, (must have a min.FRL 30min), acrylic render with rockcote "Sandcote" Dulux colour "Nambiar" on final coat.
3. Interior walls lined with 10mm plasterboard. Ceiling lined with 13mm plasterboard.
4. Interior walls joined to ensure facing bedroom lined in 13mm plasterboard, with sound insulation.
5. No cornice, square edge. Cathedral ceiling in bedroom only. Flat and raked ceilings in walk-in robes and ensuite (refer to roof sections CC-11)
6. Skirting: 90mm finger joint, profile TBA with Client.
7. Ensuite walls lined in wet area FC sheeting, floor compressed FC 18mm, waterproofed with water based epoxy and tiled as per Client's brief.
8. Blade wall in ensuite for shower is 2m high, with recess covers TBA with Client for location.
9. Balustrade at top of staircase, stud frame, plasterboard finish timber handrail, painted colour TBA with Client.
10. Flooring: 19mm yellow tongue and groove particleboard, underlay and carpet finish.
11. Roof patios: constructed as per Engineer drawings, sheeted with Scyon "Secura" exterior flooring 19mm, waterproofed and tiled.
12. The underside of the overhang to be lined in FC 6mm sheeting and painted, Dulux "Fair Bianca"
13. Fall on patios as per drawings, to gutters and downpipes. Front patio has a strip box grate drain (refer to drawings).
14. Frameless 10mm toughened glass balustrade to AS.
15. Western side balustrade 10mm toughened Acid Etched frameless glass.
16. Tiles TBA with Client.
17. All eaves to be lined with FC eave lining and painted Dulux "Fair Bianca", front of house eaves with expansion joints silicone filled, all other eaves with cover strips.
18. Roof sheeting: Lysaght Trimdek colourbond "Ironstone", Atceal "glareshield" insulation under roof sheets. Poly batts R2 in ceiling.
19. Gutters on roof refer to detail D-001. Gutters off patio standard "quad" surfinist. Down pipes to match wall colour "jasper", 150x 100 rectangle
20. Check all dimensions on site. Refer to BASIX for fixtures and fittings ratings.

BOX DRAIN ALONG EDGE OF PATIO.
DRAINED THROUGH CEILING TO DOWN PIPE.

AREA OF ADDITION = 59.2sqm
AREA OF SMALL PATIO = 12.6sqm
AREA OF ROOF PATIO = 74.3sqm
AREA OF ROOF = 108.4sqm

SECOND FLOOR

1:100



SPECIFICATIONS:

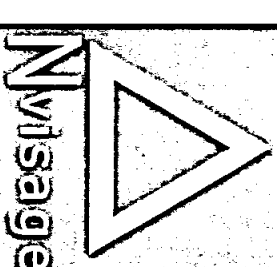
1. Refer to Engineer Plans for construction of roof.
2. Roof sheeting: Lysaght Trimdek colourbond "Ironstone".
3. Gutters on roof refer to detail D-001
4. Down pipes to match wall colour "Jasper", 150 x 100 rectangle, with spreaders on second floor.
5. All eaves to be lined with FC eave lining, with cover strips and painted Dulux "Fair Bianca"
6. Fascia to be covered in colourbond sheeting (refer to D-001) "Surfmist"
7. Aircell "glareshield" insulation under roof sheeting. Poly Batts R2 in ceiling.
8. All corners and ends to gutters to have an overflow spout.
9. Gutter guards on all gutters, and rain heads.
10. Check all dimensions on site.

AREA OF ROOVES ON THIS LEVEL = 96.6sqm

KEY:

- DP DOWN PIPES
G GUTTERS
KL TRIMDEK ROOF SHEETS COLOURBOND "IRONSTONE"

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CLIENT DETAILS:

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11 CYNTHIA ROAD
PALM BEACH
NSW 2108

PROPERTY:

LOT 83 DP 14630

DRAWING TITLE:

CC PLANS

DRAWN BY:

TRINA ROWSTON

DATE:

7-6-2010

REVISION:

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JOB No.

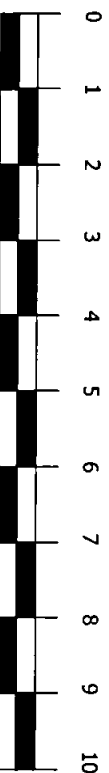
RES36

DWG. No.

CC-05

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PLOT DATE: 7/06/2010



ROOF PLAN

1:100