

Rapid Plans www.rapidplans.com.au
P.O. Box 6193 Frenchs Forest DC NSW 2086
Fax: (02) 9905-8865 Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DEVELOPMENT APPLICATION

Alterations & Additions To Existing Residence

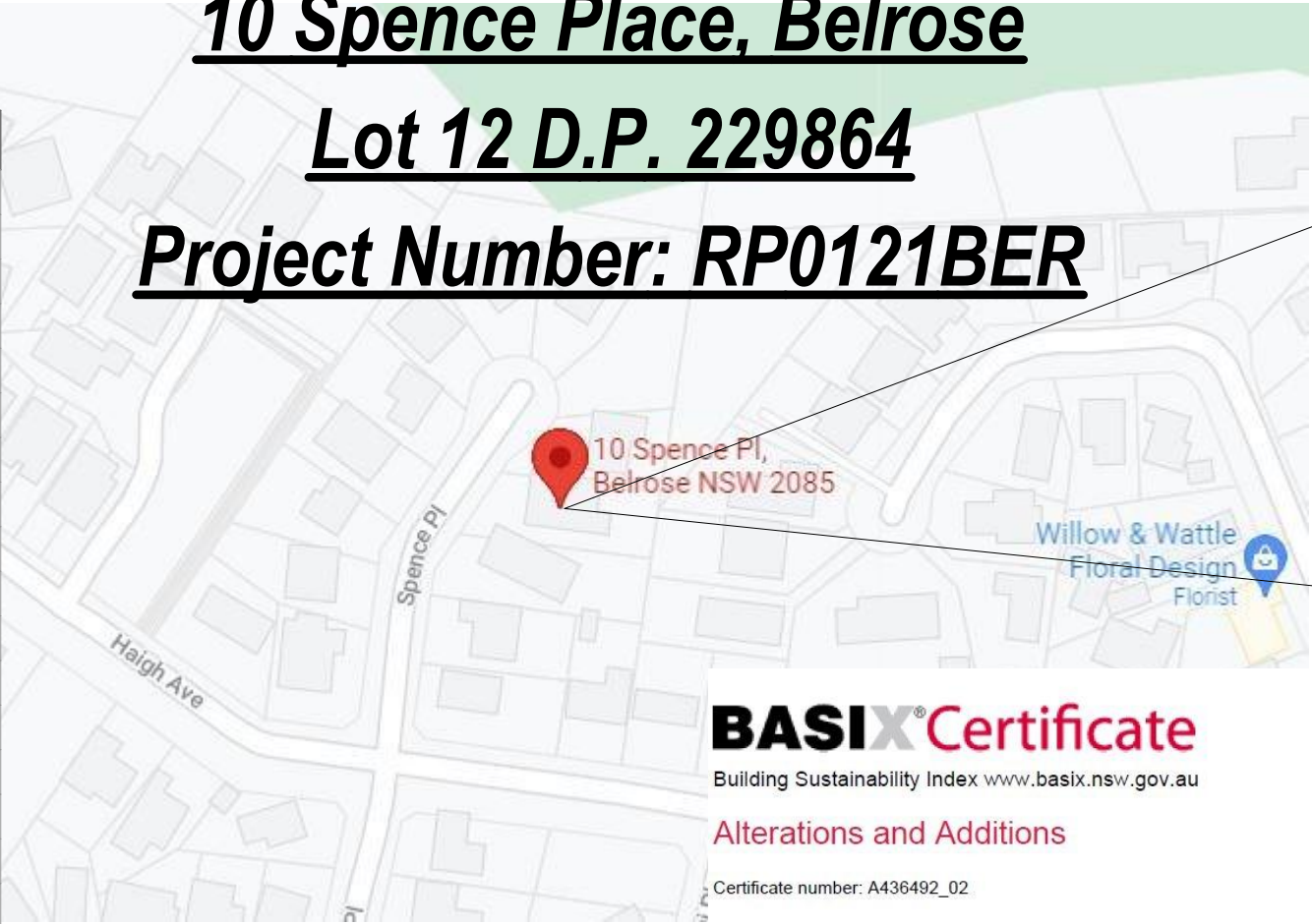
For Julia Berry

10 Spence Place, Belrose

Lot 12 D.P. 229864

Project Number: RP0121BER

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 18/11/21
DA1001	A4 NOTIFICATION PLAN	-	- 18/11/21
DA1002	SITE SURVEY	-	- 18/11/21
DA1003	SITE PLAN	-	- 18/11/21
DA1004	Existing Ground Floor Plan	-	- 18/11/21
DA1005	Existing First Floor Plan	-	- 18/11/21
DA1006	Demolition Ground Floor Plan	-	- 18/11/21
DA1007	Demolition First Floor Plan	-	- 18/11/21
DA1008	Excavation & Fill Plan	-	- 18/11/21
DA1009	Landscape Open Space Plan Existing	-	- 18/11/21
DA1010	Landscape Open Space Plan Proposed	-	- 18/11/21
DA1011	Landscape Plan	-	- 18/11/21
DA1012	Sediment & Erosion Plan	-	- 18/11/21
DA1013	Waste Management Plan	-	- 18/11/21
DA1014	Stormwater Plan	-	- 18/11/21
DA2001	GROUND FLOOR	-	- 18/11/21
DA2002	FIRST FLOOR	-	- 18/11/21
DA2003	ROOF	-	- 18/11/21
DA3000	SECTION 1	-	- 18/11/21
DA4000	ELEVATIONS 1	-	- 18/11/21
DA4001	ELEVATIONS 2	-	- 18/11/21
DA4002	ELEVATIONS 3	-	- 18/11/21
DA5000	PERSPECTIVE	-	- 18/11/21
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 18/11/21
DA5002	SHADOW PLAN 21st June 9am	-	- 18/11/21
DA5003	SHADOW PLAN 21st June 12pm	-	- 18/11/21
DA5004	SHADOW PLAN 21st June 3pm	-	- 18/11/21
DA5005	WALL ELEVATION SHADOWS	-	- 18/11/21



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A436492_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 18, November 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Description of project

Project address	
Project name	Berry_02
Street address	10 Spence Place Belrose 2085
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 229864
Lot number	12
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592

NOTES

- A FIELD SURVEY OF THE BOUNDARIES HAS BEEN CONDUCTED
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, REPAIRS OR CONSTRUCTION SETOUT
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF JULIA BERRY
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL, THEY SHOULD BE CONFIRMED BY FURTHER SURVEY
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. BEFORE YOU DO SERVICES FOR 1100 SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
- CONTOUR INTERVAL - 0.5 metre - SPOT LEVELS SHOULD BE ADOPTED
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE)
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS
- COPYRIGHT © CMS SURVEYORS 2021
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY. MURRAY LEARMONT
R10015 NOT BE MISUSED OR REPRODUCED

HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: SSM.38081
R.L. 139.01 (CLASS D)
SOURCE: S.C.I.M.S. (23/08/21)

4	DETAIL UPDATED	15/09/21
3	DETAIL UPDATED	25/07/14
2	DETAIL UPDATED	12/06/12
1	FIRST ISSUE	01/12/10

LGA: NORTHERN BEACHES SHEET 10F

CLIENT:

JULIA BERRY
No.10 SPENCE PLACE
BELROSE NSW 2085

BOUNDARY IDENTIFICATION
AND DETAIL & LEVEL SURVEY
OVER LOT 12 IN DP.229864
BEING No.10 SPENCE PLACE
BELROSE NSW 2085

C.M.S. Surveyors
Pty Limited

ACN: 096 240 201

PO Box 463 Dee Why
NSW 2099
1/232 Campbell Avenue,
Dee Why NSW 2099
Telephone: (02) 9071 4802
Facsimile: (02) 9071 4822
E-mail: info@cmsurveyors.com.au

SURVEYED DR/LJ/PB/MB	DRAWN CJR/GP	CHECKED DR/LJ/PB/MB	APPROVED DR/MDL
SURVEY INSTRUCTION 7503A			SCALE 1:100 @ A1
DRAWING NAME 7503detail			DATE OF SURVEY 25/11/10 & 21/05/12 17/07/14 & 6/09/21
CAD FILE 7503Adetail 4.dwg			ISSUE 4



PLACE

SPENCE

(BITUMEN FORMATION)

LEGEND:

BLD = EXTERNAL BUILDING
BW = BOTTOM OF WALL
CL = CENTRELINE
CON = CONCRETE
DK = DECK
DSIL = DOOR SILL LEVEL
FCE = FENCE
FLR = FLOOR LEVEL
HL = WINDOW HOOD LEVEL
LND = LANDING LEVEL
LP = LIGHT POLE
NS = NATURAL SURFACE
PATO = PATIO
PAV = PAVING
PP = POWER POLE
RET = RETAINING
RR = ROOF RIDGE
SL = WINDOW SILL LEVEL
STR = STEPS
SV = STOP VALVE
TGUT = TOP OF GUTTER
TKB = TOP OF KERB
TR = TREE
TS = TOP OF STEPS
TW = TOP OF WALL
VER = VERANDAH
WM = WATER METER
= ELECTRICITY

FL = FLOOR LEVEL
RF = TOP OF ROOF
SCN = SCREEN
TFCE = TOP OF FENCE
TG = TOP OF GUTTER
TKOB = TOP OF HOBB

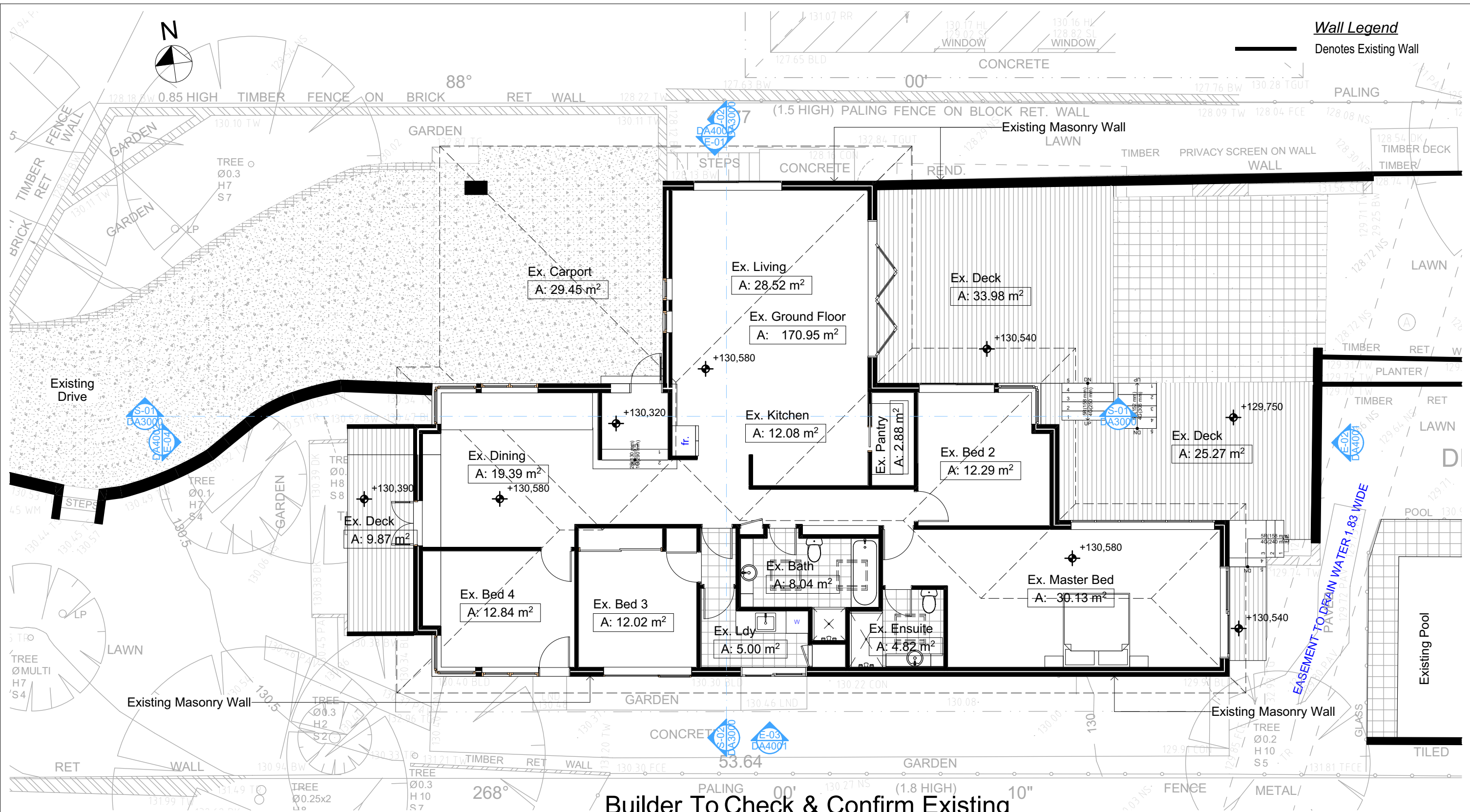
TREE TYPE
Ø = TRUNK DIAMETER
H = HEIGHT
S = SPREAD DIAMETER

1

SURVEY PLAN
1:200



TITLE INDICATES THAT LOT 12 IN D.P.229864 IS SUBJECT TO:
- LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
- DP229864 EASEMENT TO DRAIN WATER AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- EXCEPTING LAND BELOW A DEPTH FROM THE SURFACE OF 15.24 METRES
- K510730 COVENANT (NOT INVESTIGATED)



2

EXISTING GROUND FLOOR
1:100

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

NOTES

10 Spence Place, Belrose is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
10 Spence Place, Belrose is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed and Slab Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A436492_02

All Plans to be read in conjunction with Basix Certificate

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b) insulation specified is not required for parts of altered construction where insulation already exists.

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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	899.9m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	730mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	530mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

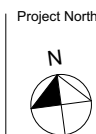


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

GBJ
6/12/2021
RP0121BER
DA-rev2

Julia Berry
10 Spence Place, Belrose

DRAWING TITLE :

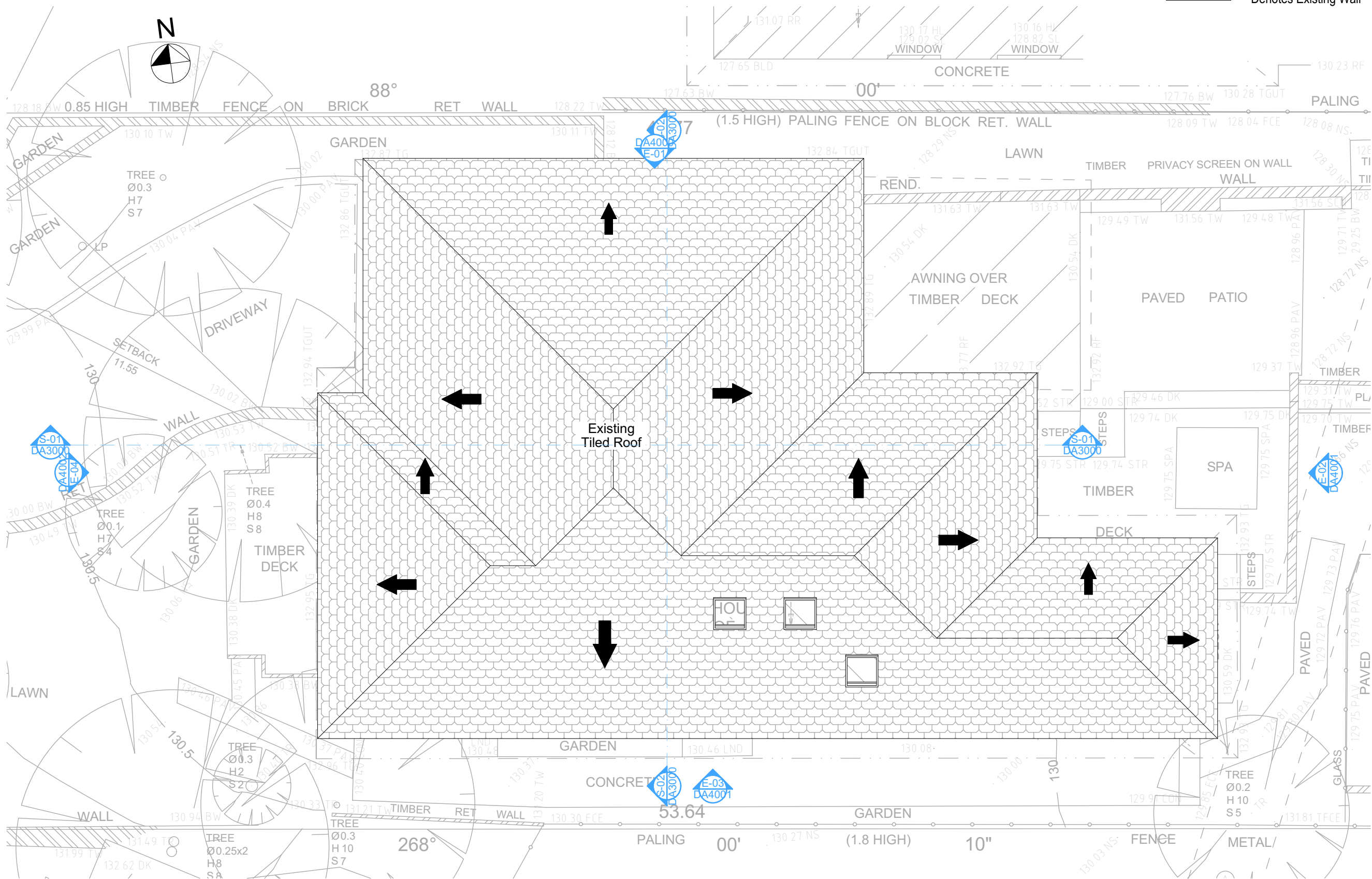
SITE AND LOCATION
Existing Ground Floor Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:
18/11/21
DRAWING NO.
DA1004



Wall Legend

Denotes Existing Wall



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NOTES
10 Spence Place, Belrose is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be completed shown in Shaded Blue
Construction
Framed and Slat Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1604
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information

Site Information	Prop.	Comp.
Site Area	899.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	730mm	Yes
Maximum depth of fill (m)	530mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/12/2021
Project NO.: RP0121BER
Project Status DA-rev2

Client: Julia Berry

Site: 10 Spence Place, Belrose

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Builder To Check & Confirm Existing Measurements Prior to Commencement

DRAWING TITLE:
SITE AND LOCATION
Existing First Floor Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. **DATE**
- **18/11/21**

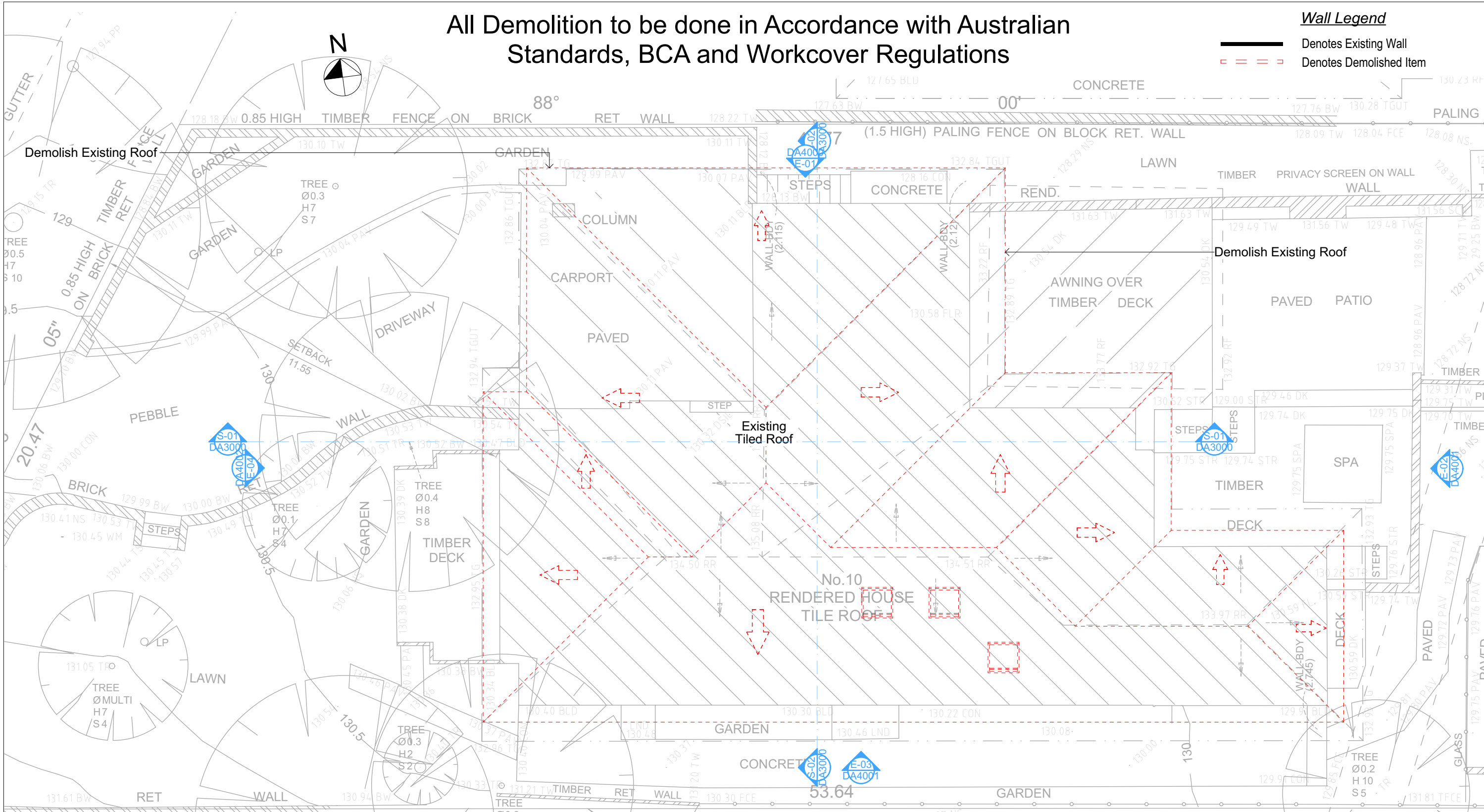
DRAWING NO.
DA1005

Plot Date: 6/12/2021
Sheet Size: A3

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item



DEMOLITION FIRST FLOOR
1:100

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
10 Spence Place, Belrose is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
10 Spence Place, Belrose is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed and Slab Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A436492_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	899.9m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	730mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	530mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



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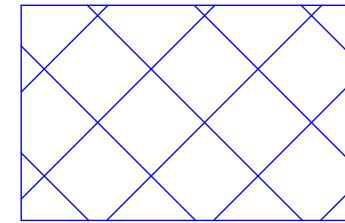


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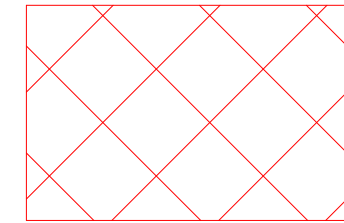
Project North
Checked
Plot Date: 6/12/2021
Project NO: RP0121BER
Project Status: DA-rev2
Client: Julia Berry
Site: 10 Spence Place, Belrose
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition First Floor Plan
PROJECT NAME :
Alterations & Additions

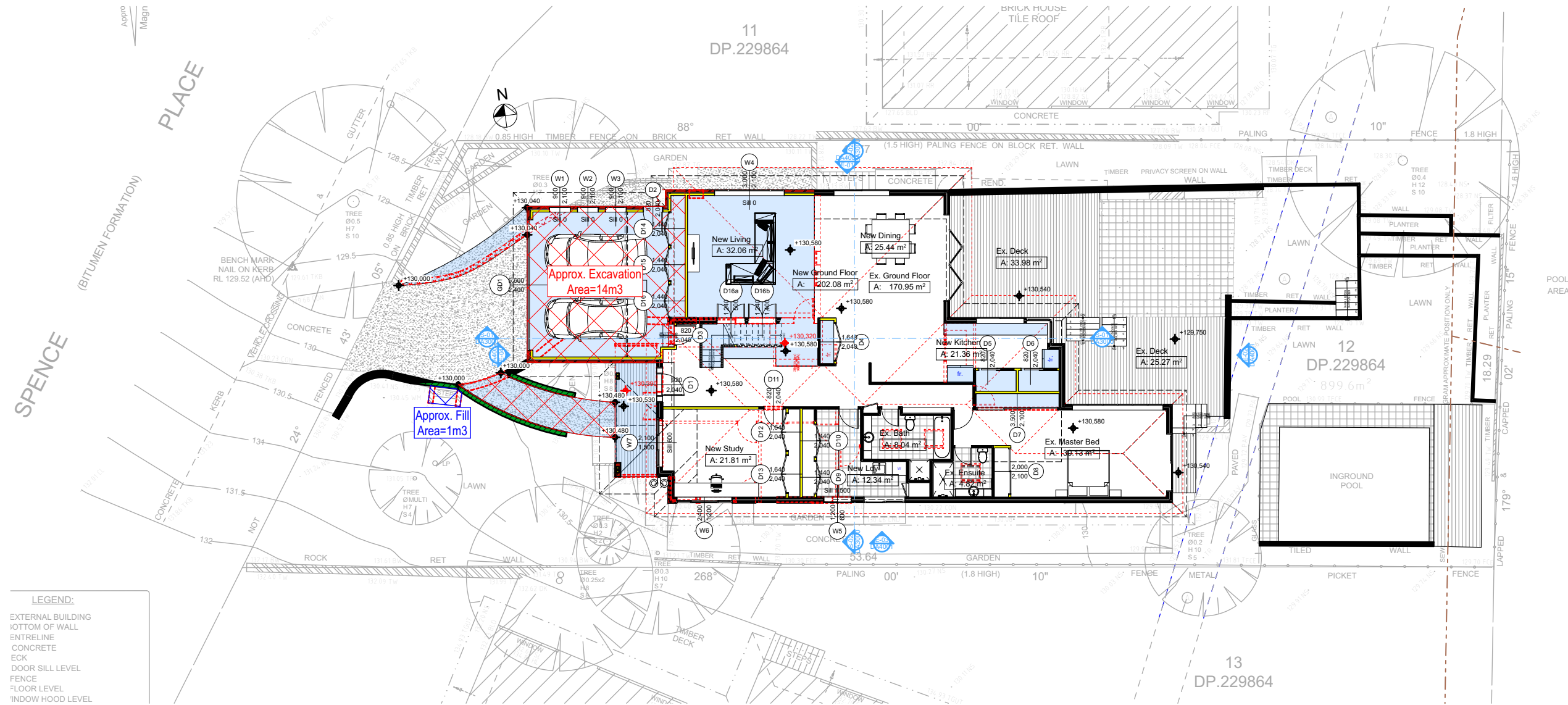
REVISION NO.
DATE: 18/11/21
DRAWING NO.
DA1007



Denotes Fill Area



Denotes Excavation Area



EXCAVATION & FILL PLAN
1:200

2

**DA APPLICATION
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NOTES

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Construction

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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A436492_02

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Site Area	899.9m ²	Yes	Building envelope	4m@45Deg	Yes
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Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

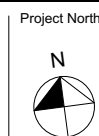


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Checked
Plot Date: 6/12/2021
Project NO: RP0121BER
Project Status: DA-rev2
Client: Julia Berry
Site: 10 Spence Place, Belrose
Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Excavation & Fill Plan

PROJECT NAME :

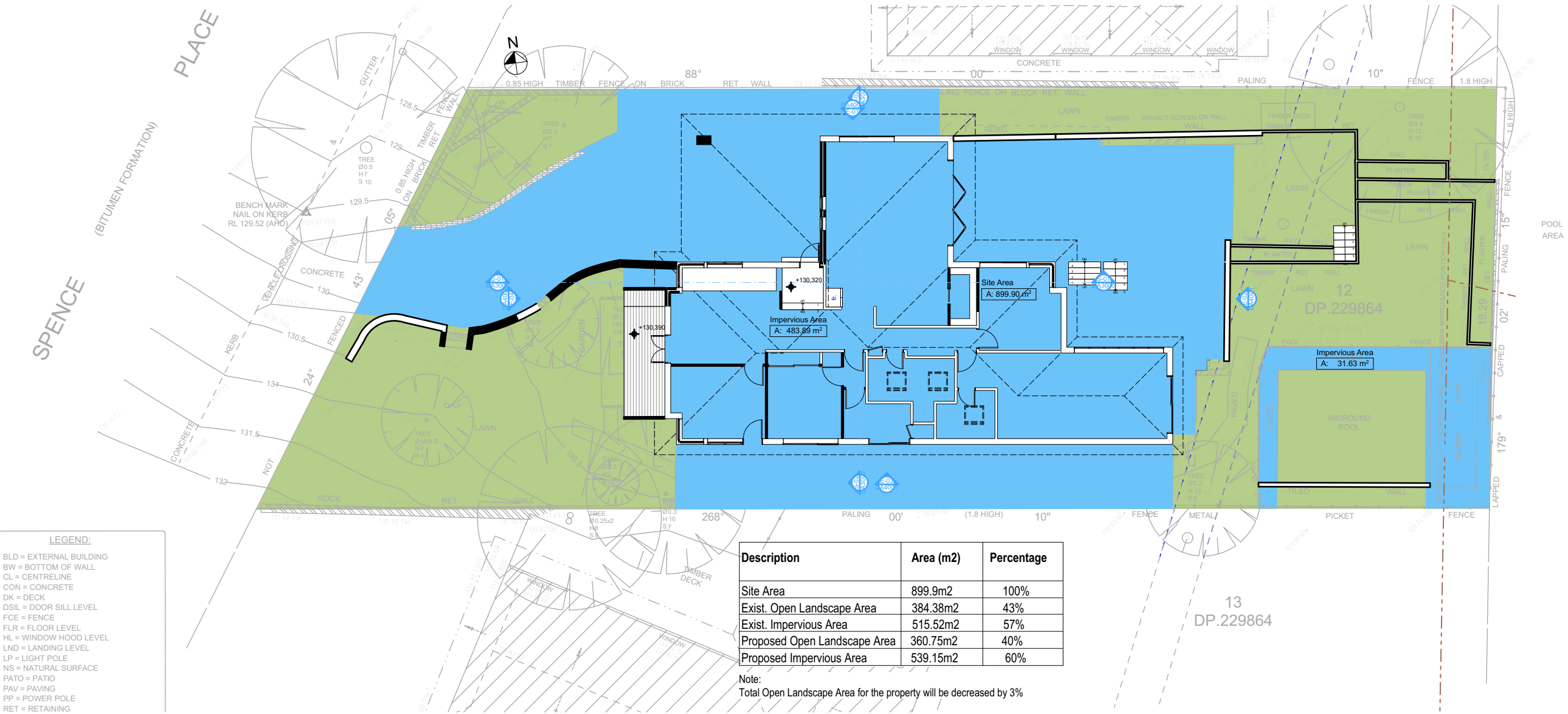
Alterations & Additions

REVISION NO.

DATE:
18/11/21
DRAWING NO.
DA1008

Denotes Impervious Area

Denotes Pervious Area



2

LANDSCAPE OPEN SPACE EXISTING
1:200

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

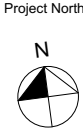
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	899.9m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	730mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	530mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North
Checked
Plot Date: 6/12/2021
Project NO: RP0121BER
Project Status: DA-rev2
Client: Julia Berry
Site: 10 Spence Place, Belrose
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Landscape Open Space Plan
Existing
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 18/11/21
DRAWING NO.
DA1009

Denotes Impervious Area

Denotes Pervious Area



Rapid Plans
PO Box 6239 Fitzroy Vic 3065
Tel: (03) 9350-8545 Mobile: 0414-545-024
Email: info@rapidplans.com.au

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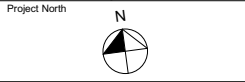
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
10 Spence Place, Belrose is zoned R2-Low Density Residential
10 Spence Place, Belrose is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
Framed and Sub Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1078-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
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Basic
Basic Certificate Number A436492.02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	899.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	730mm	Yes
Maximum depth of fill (m)	530mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 6/12/2021
Project NO.: RP0121BER
Project Status DA-rev2

Client Julia Berry

Site: 10 Spence Place, Belrose

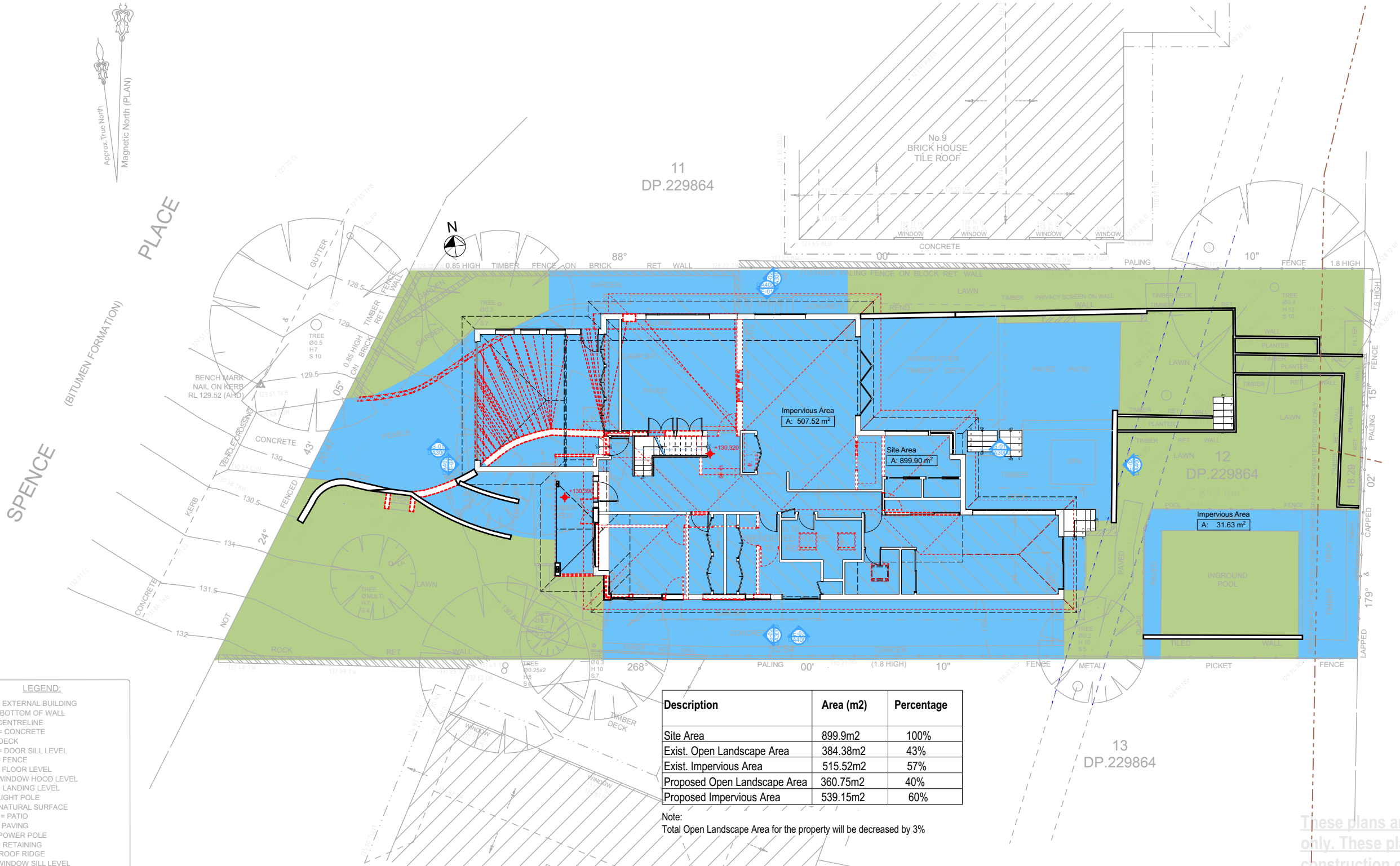
DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 18/11/21

DRAWING NO.
DA1010

Plot Date: 6/12/2021
Sheet Size: A3



Description	Area (m2)	Percentage
Site Area	899.9m2	100%
Exist. Open Landscape Area	384.38m2	43%
Exist. Impervious Area	515.52m2	57%
Proposed Open Landscape Area	360.75m2	40%
Proposed Impervious Area	539.15m2	60%

Note:
Total Open Landscape Area for the property will be decreased by 3%

These plans are for DA Application purposes only. These plans are not to be used for the construction certificate application without the written permission of Rapid Plans.

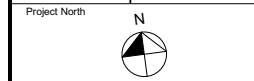
DA APPLICATION ONLY
NOT FOR CONSTRUCTION

LEGEND:
= EXTERNAL BUILDING
= BOTTOM OF WALL CENTRELINE
= CONCRETE
= DECK
= DOOR SILL LEVEL
= FENCE
= FLOOR LEVEL
= WINDOW HOOD LEVEL
= LANDING LEVEL
= LIGHT POLE
= NATURAL SURFACE
= PATIO
= PAVING
= POWER POLE
= RETAINING
= ROOF RIDGE
= WINDOW SILL LEVEL

2 LANDSCAPE OPEN SPACE PROPOSED 1:200

Site Information	Prop.	Comp.
Site Area	899.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	730mm	Yes
Maximum depth of fill (m)	530mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 6/12/2021
Project NO.: RP012161ER
Project Status DA-rev2

Client Julia Berry

Site: 10 Spence Place, Belrose

DRAWING TITLE: SITE AND LOCATION

Sediment & Erosion Plan

PROJECT NAME: Alterations & Additions

REVISION NO. DATE

- 18/11/21

DRAWING NO. DA1012

Plot Date: 6/12/2021

Sheet Size: A3

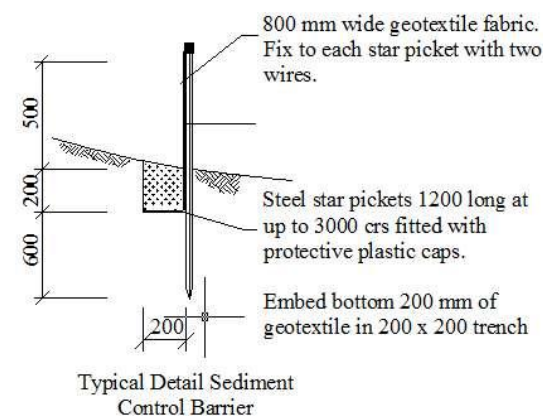
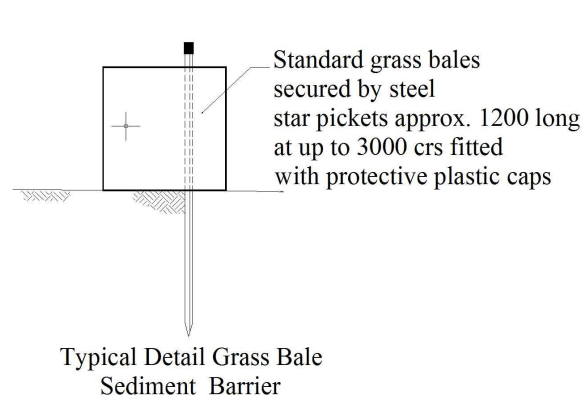
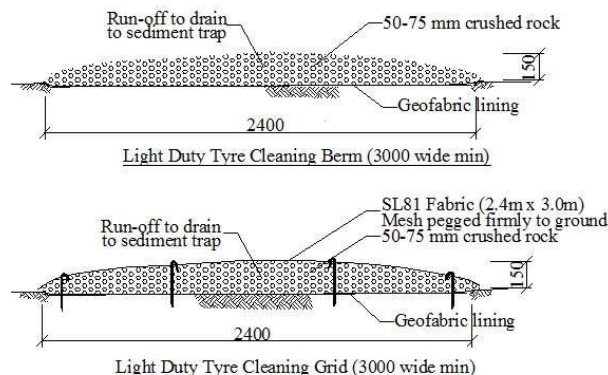
Site Safety Fence

Sediment Control Fence

CL = CENTRELINE
CON = CONCRETE
DK = DECK
DSIL = DOOR SILL LEVEL
FCE = FENCE
FLR = FLOOR LEVEL
HL = WINDOW HOOD LEVEL
LND = LANDING LEVEL

SEDIMENT & EROSION CONTROL PLAN

1:200



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Sediment Control Fence

Residential Garbage Bin Storage

Material Storage Area

Vehicle Access For
Removal Of Waste By
Builder During Work Hours

Approximate Location
Of Building Waste &
Recycling Area

Site Safety Fence

WASTE MANAGEMENT PLAN
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES

10 Spence Place, Belrose is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
10 Spence Place, Belrose is not considered a heritage item

Certifying

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Construction

Framed and Slab Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A436492_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	899.9m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	730mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	530mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

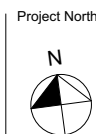


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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

GBJ
6/12/2021
RP0121BER
DA-rev2

Julia Berry
10 Spence Place, Belrose

DRAWING TITLE :

SITE AND LOCATION
Waste Management Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE
18/11/21
DRAWING NO.
DA1013

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

Denotes New Works

Legend

Denotes Demolished Item

Existing Stormwater. Plumber To Confirm Location Prior To Commencement

Proposed Stormwater Line To Be Fed Into The Existing Drainage System

Existing Stormwater. Plumber To Confirm Location Prior To Commencement

LEGEND:

LD = EXTERNAL BUILDING
W = BOTTOM OF WALL
L = CENTRELINE
ON = CONCRETE
K = DECK
SIL = DOOR SILL LEVEL
CE = FENCE
LR = FLOOR LEVEL
L = WINDOW HOOD LEVEL
ND = LANDING LEVEL

STORMWATER PLAN
1:200

4

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
10 Spence Place, Belrose is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
10 Spence Place, Belrose is not considered a heritage item

Certifying
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Construction
Framed and Slab Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A436492_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	899.9m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	730mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	530mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



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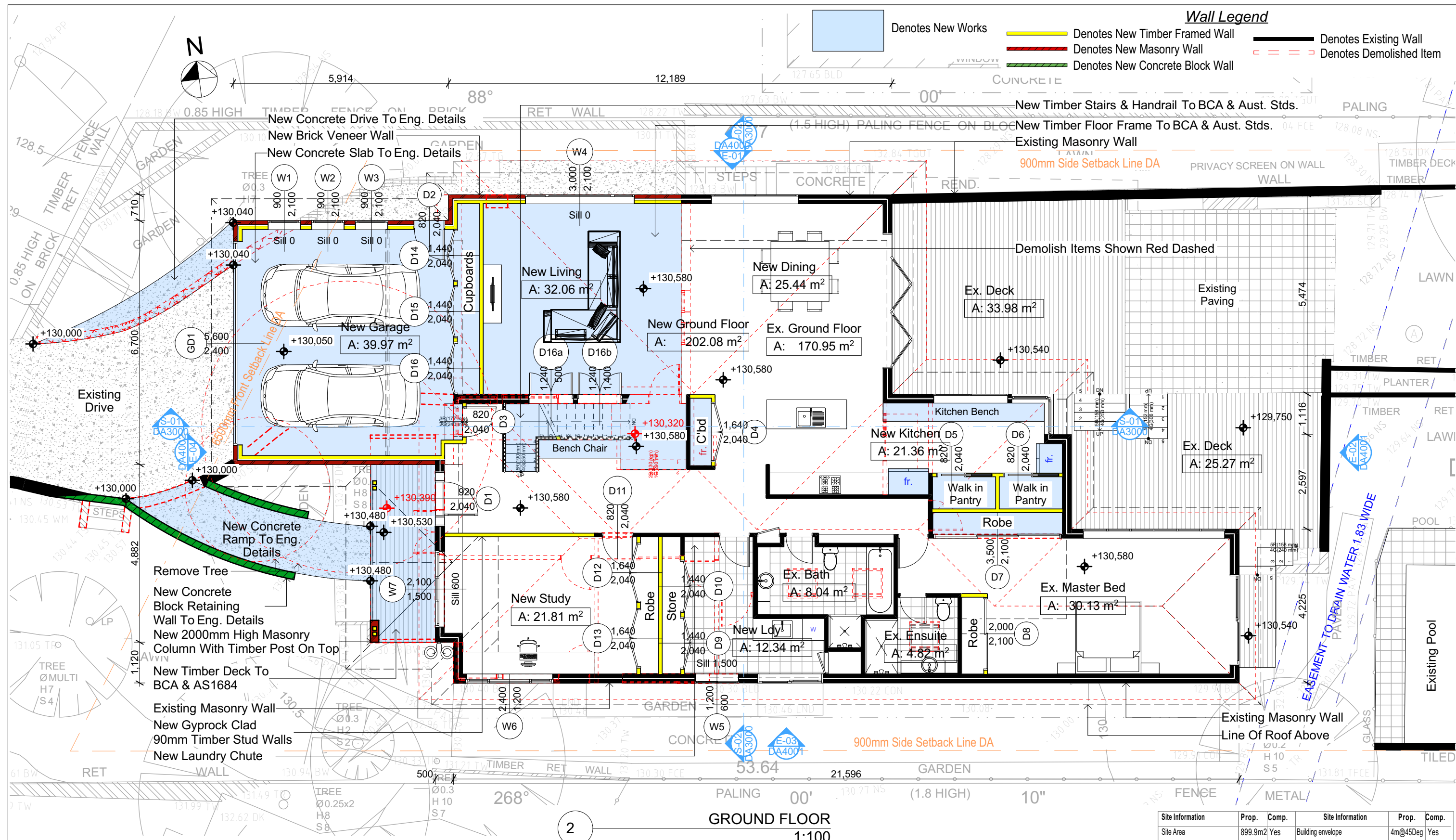


Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
Checked Plot Date: 6/12/2021
Project NO: RP0121BER
Project Status: DA-rev2
Client: Julia Berry
Site: 10 Spence Place, Belrose
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 18/11/21
DRAWING NO.
DA1014



DA APPLICATION ONLY
NOT FOR CONSTRUCTION



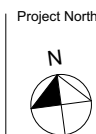
NOTES
10 Spence Place, Belrose is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
10 Spence Place, Belrose is not considered a heritage item

Certifying
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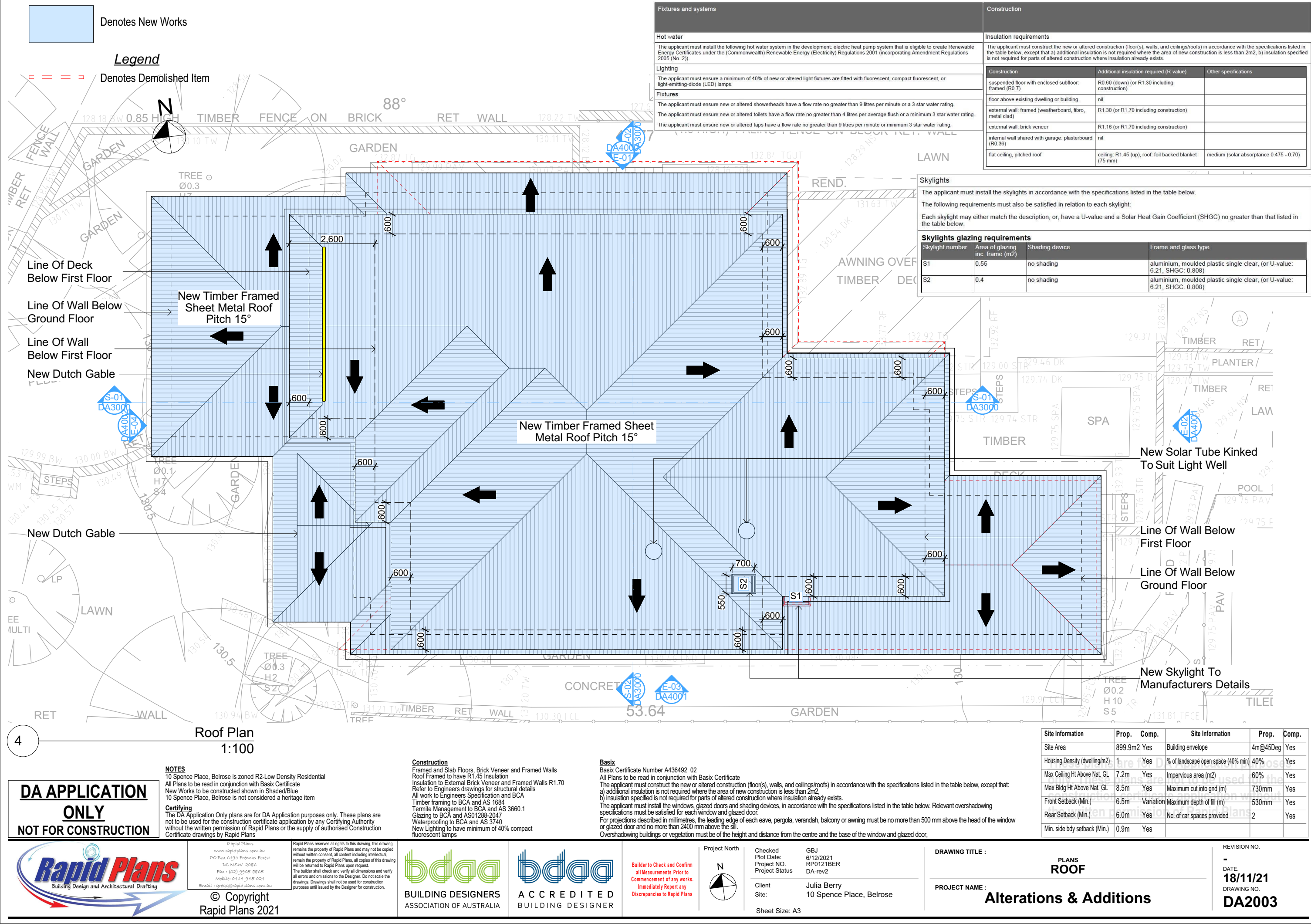
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North
Checked Plot Date: 6/12/2021
Project NO: RP0121BER
Project Status: DA-rev2
Client: Julia Berry
Site: 10 Spence Place, Belrose
Sheet Size: A3

DRAWING TITLE :
PLANS
GROUND FLOOR
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 18/11/21
DRAWING NO.
DA2001



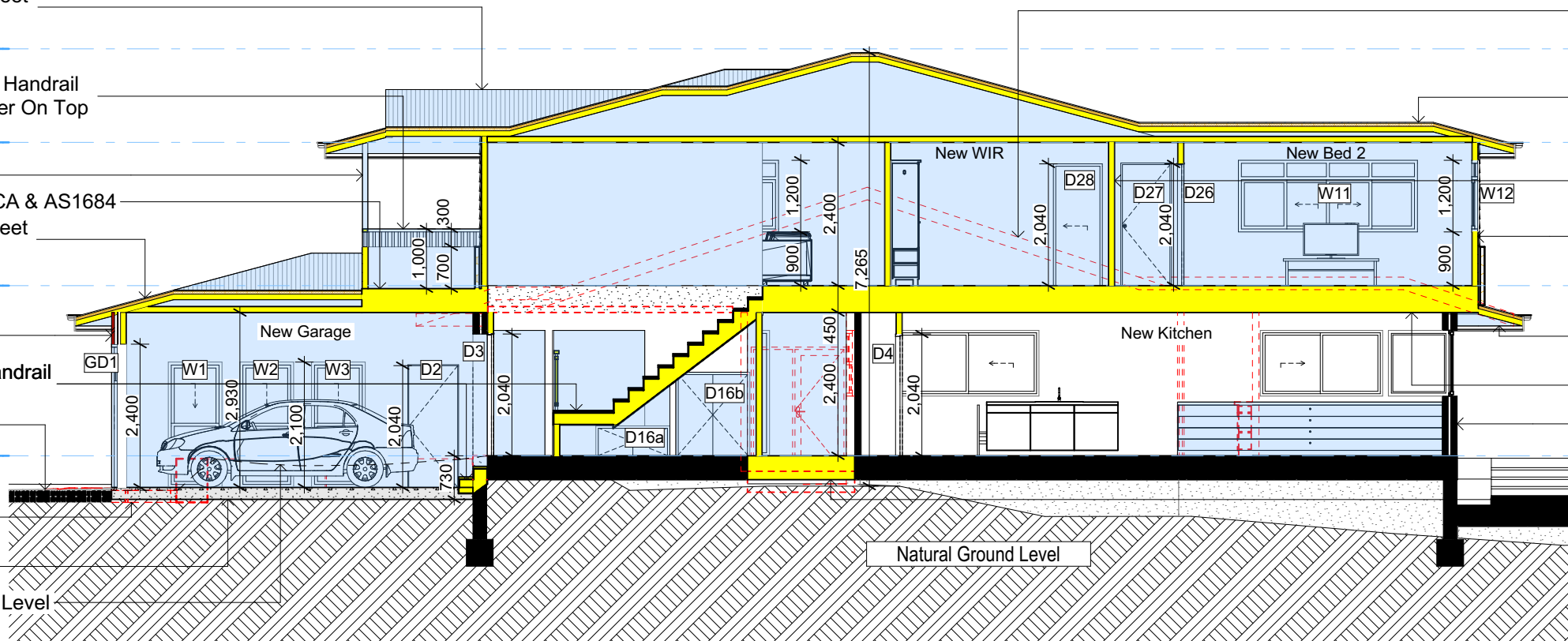
New Timber Framed Sheet
Metal Roof Pitch 15°
+137,397
5 ROOF

New 700mm High Solid Handrail
With 300mm High Timber On Top
+135,830
4 FCL

New Timber Post
New Timber Deck To BCA & AS1684
New Timber Framed Sheet
Metal Roof Pitch 15°
+133,430
3 FIRST FLOOR

New Brick Veneer Wall
New Timber Stairs & Handrail
To BCA & Aust. Stds.
Existing Drive
+130,580
2 GROUND FLOOR

Demolish Items
Shown Red Dashed
New Concrete Slab
To Eng. Details
Line Of Natural Ground Level



S-01

SECTION 1
1:100

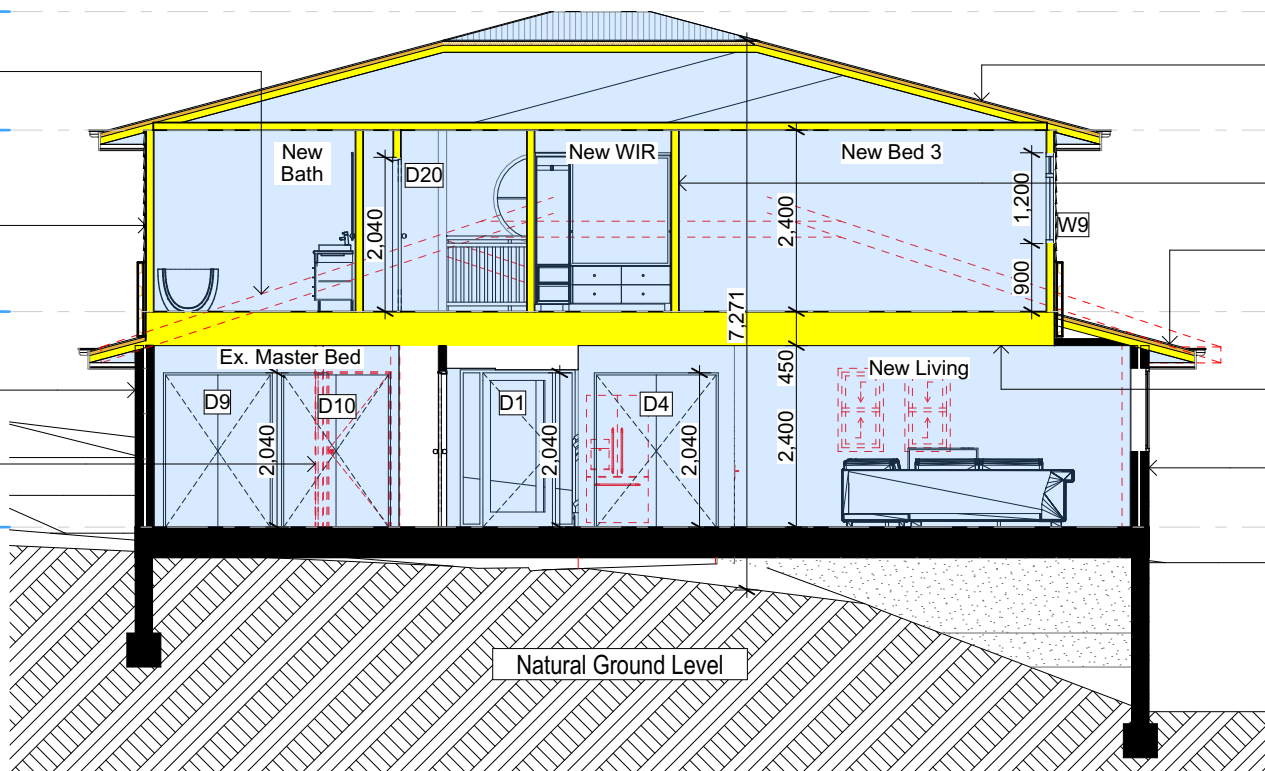
+137,397
5 ROOF

Demolish Items
Shown Red Dashed
+135,830
4 FCL

New Cladded 90mm
Timber Framed Wall
With 650mm High
Rendered Foam
+133,430
3 FIRST FLOOR

Existing Masonry Wall

Demolish Items
Shown Red Dashed
+130,580
2 GROUND FLOOR



S-02

SECTION 2
1:100

Demolish Items
Shown Red Dashed
+137,397
5 ROOF

New Timber Framed Sheet
Metal Roof Pitch 15°
+135,830
4 FCL

New Gyprock Clad
90mm Timber Stud Walls
New Cladded 90mm Timber
Framed Wall With 650mm
High Rendered Foam
+133,430
3 FIRST FLOOR

New Timber Framed Sheet
Metal Roof Pitch 15°
New Timber Floor Frame
To BCA & Aust. Stds.
Existing Masonry Wall
+130,580
2 GROUND FLOOR

New Timber Floor Frame
To BCA & Aust. Stds.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.38)	nil	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems

Hot water

The applicant must install the following hot water system in the development: electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Rapid Plans
Building Design and Architectural Drafting

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bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdca
ACCREDITED
BUILDING DESIGNER

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NOTES
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All Plans to be read in conjunction with Basic Certificate
New Works to be completed shown in Shaded Blue
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Construction
Framed and Slat Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A436492_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	899.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	730mm	Yes
Maximum depth of fill (m)	530mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
N

Drawn | Checked GBJ
Plot Date: 6/12/2021
Project NO.: RP0121BER
Project Status DA-rev2

Client Julia Berry

Site: 10 Spence Place, Belrose

DRAWING TITLE: SECTIONS SECTION 1

PROJECT NAME: Alterations & Additions

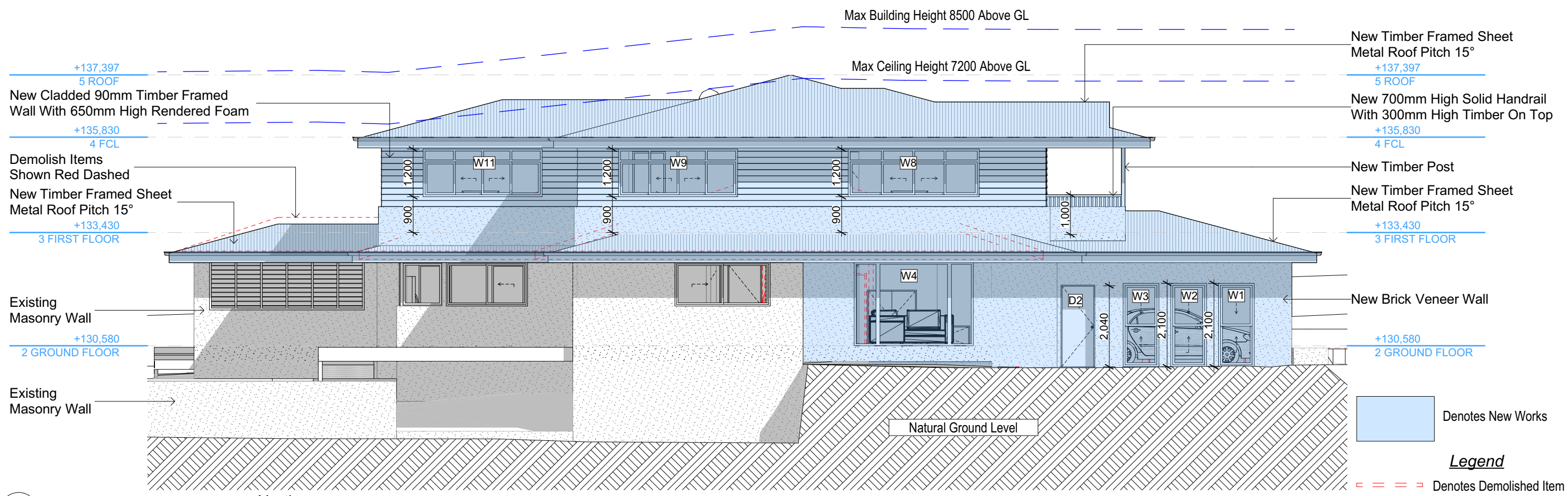
REVISION NO. DATE
- 18/11/21
DRAWING NO. DA3000

Plot Date: 6/12/2021
Sheet Size: A3

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	N	1.89	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	N	1.89	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	N	1.89	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	N	6.3	0	0	eave/verandah/pergola/balcony	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
W5	S	0.72	0	0	>=750 mm	6.44, SHGC: 0.75)
W6	S	2.88	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	W	3.15	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	N	3.96	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	N	3.6	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	E	3.6	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W11	N	3.6	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	E	36	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W14	S	0.72	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	S	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	W	3.6	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	W	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	W	3.16	0	0	projection/height above sill ratio	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
D17	W	3.72	0	0	>=0.43	6.44, SHGC: 0.75)
					projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.						
The following requirements must also be satisfied in relation to each skylight:						
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.						
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	0.55	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			
S2	0.4	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			



E-01 North 1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

10 Spence Place, Belrose is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

10 Spence Place, Belrose is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed and Slab Floors, Brick Veneer and Framed Walls

Roof Framed to have R1.45 Insulation

Insulation to External Brick Veneer and Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A436492_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m2

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information

Site Area	899.9m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	730mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	530mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

Prop. Comp.

Prop.	Comp.
899.9m2	Yes
4m@45Deg	Yes
40%	Yes
60%	Yes
730mm	Yes
530mm	Yes
2	Yes

REVISION NO.

DATE: 18/11/21

DRAWING NO. DA4000

DRAWING TITLE :

ELEVATIONS 1

PROJECT NAME :

Alterations & Additions

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Checked Plot Date: 6/12/2021

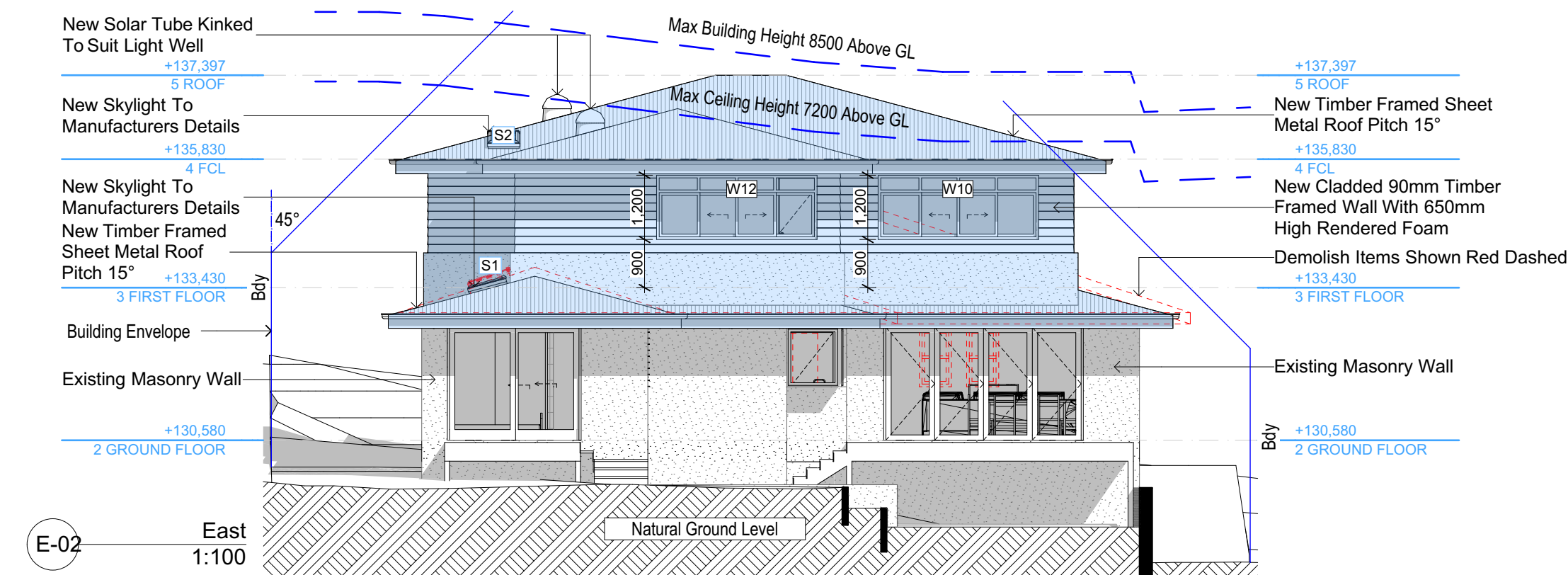
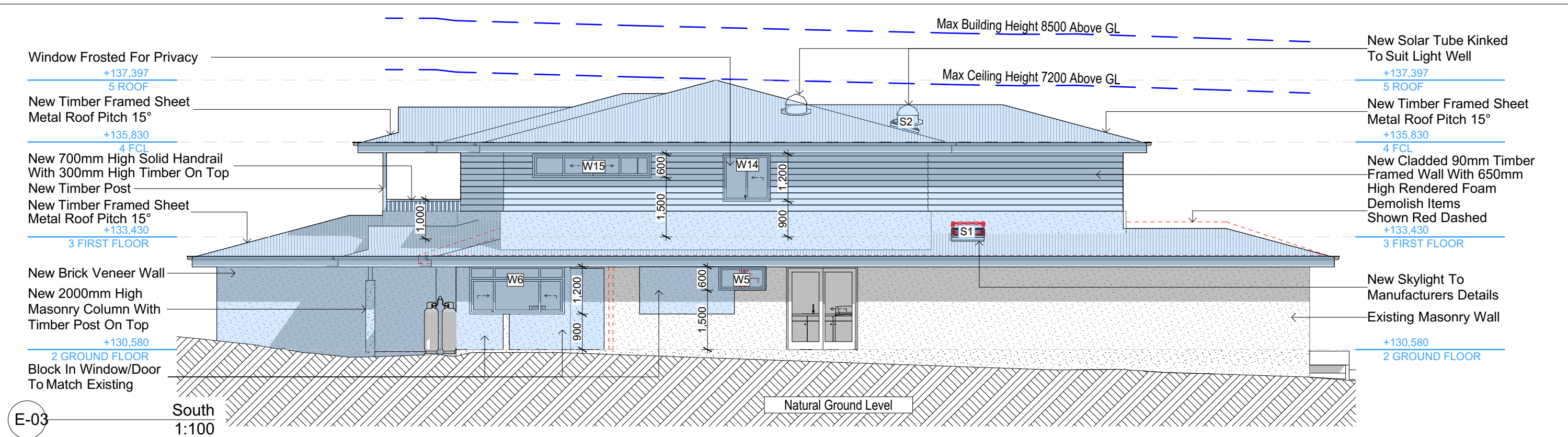
Project NO: RP0121BER

Project Status: DA-rev2

Client: Julia Berry

Site: 10 Spence Place, Belrose

Sheet Size: A3



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

	Denotes New Works
	Denotes Existing Item
	Denotes Demolished Item

Wall Legend

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	899.9m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	730mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	530mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
10 Spence Place, Belrose is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
10 Spence Place, Belrose is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed and Slab Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A436492_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	N	1.89	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	N	1.89	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	N	1.89	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	N	6.3	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W5	S	0.72	0	0	>=750 mm eave/verandah/pergola/balcony >=600 mm	6.44, SHGC: 0.75 improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	S	2.88	0	0	>=600 mm eave/verandah/pergola/balcony >=600 mm	6.44, SHGC: 0.75 improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	W	3.15	0	0	>=900 mm eave/verandah/pergola/balcony >=900 mm	6.44, SHGC: 0.75 improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	N	3.96	0	0	>=750 mm eave/verandah/pergola/balcony >=750 mm	6.44, SHGC: 0.75 improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	N	3.6	0	0	>=750 mm eave/verandah/pergola/balcony >=750 mm	6.44, SHGC: 0.75 improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	E	3.6	0	0	>=750 mm eave/verandah/pergola/balcony >=750 mm	6.44, SHGC: 0.75 improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W11	N	3.6	0	0	>=750 mm eave/verandah/pergola/balcony >=750 mm	6.44, SHGC: 0.75 improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	E	36	0	0	>=750 mm eave/verandah/pergola/balcony >=750 mm	6.44, SHGC: 0.75 improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W14	S	0.72	0	0	>=750 mm eave/verandah/pergola/balcony >=750 mm	6.44, SHGC: 0.75 improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	S	1.8	0	0	>=750 mm eave/verandah/pergola/balcony >=750 mm	6.44, SHGC: 0.75 improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	W	3.6	0	0	>=750 mm eave/verandah/pergola/balcony >=750 mm	6.44, SHGC: 0.75 improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	W	1.44	0	0	>=750 mm eave/verandah/pergola/balcony >=750 mm	6.44, SHGC: 0.75 improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	W	3.16	0	0	projection/height above sill ratio	6.44, SHGC: 0.75 improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
D17	W	3.72	0	0	>=0.43 projection/height above sill ratio >=0.43	6.44, SHGC: 0.75 improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights

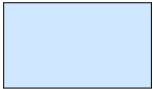
The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.55	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S2	0.4	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)



Denotes New Works

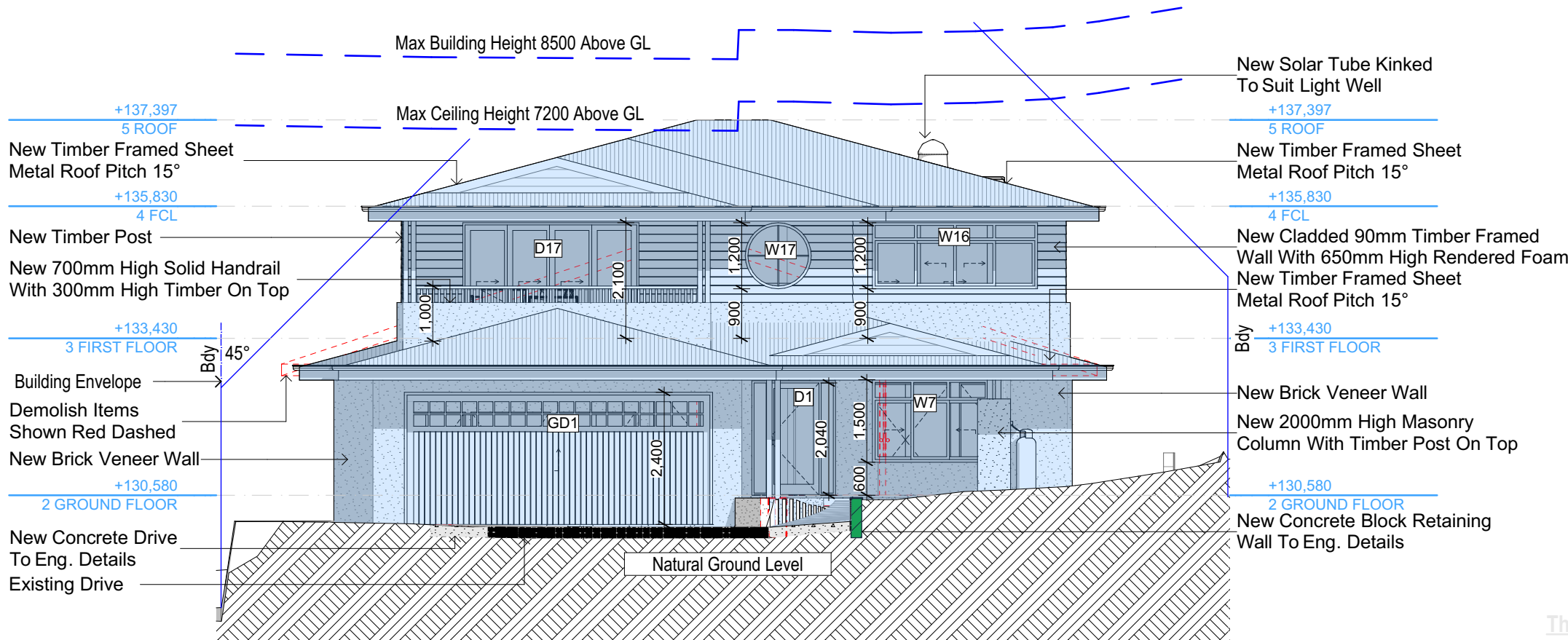
Wall Legend

Denotes New Concrete Block Wall

Denotes New Concrete

Denotes Existing Wall

Denotes Demolished Item



E-04

West
1:100

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
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10 Spence Place, Belrose NSW 1500
Tel: (02) 9350-8844
Fax: (02) 9350-8844
Email: info@rapidplans.com.au

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

10 Spence Place, Belrose is zoned R2-Low Density Residential

10 Spence Place, Belrose is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded Blue

Construction

Framed and Slat Floors, Brick Veneer and Framed Walls

Roof Framed to have R1.45 Insulation

Insulation to External Brick Veneer and Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10198-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A436492_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	899.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	730mm	Yes
Maximum depth of fill (m)	530mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/12/2021
Project NO.: RP0121BER
Project Status DA-rev2

Client Julia Berry

Site: 10 Spence Place, Belrose

DRAWING TITLE: ELEVATIONS
ELEVATIONS 3

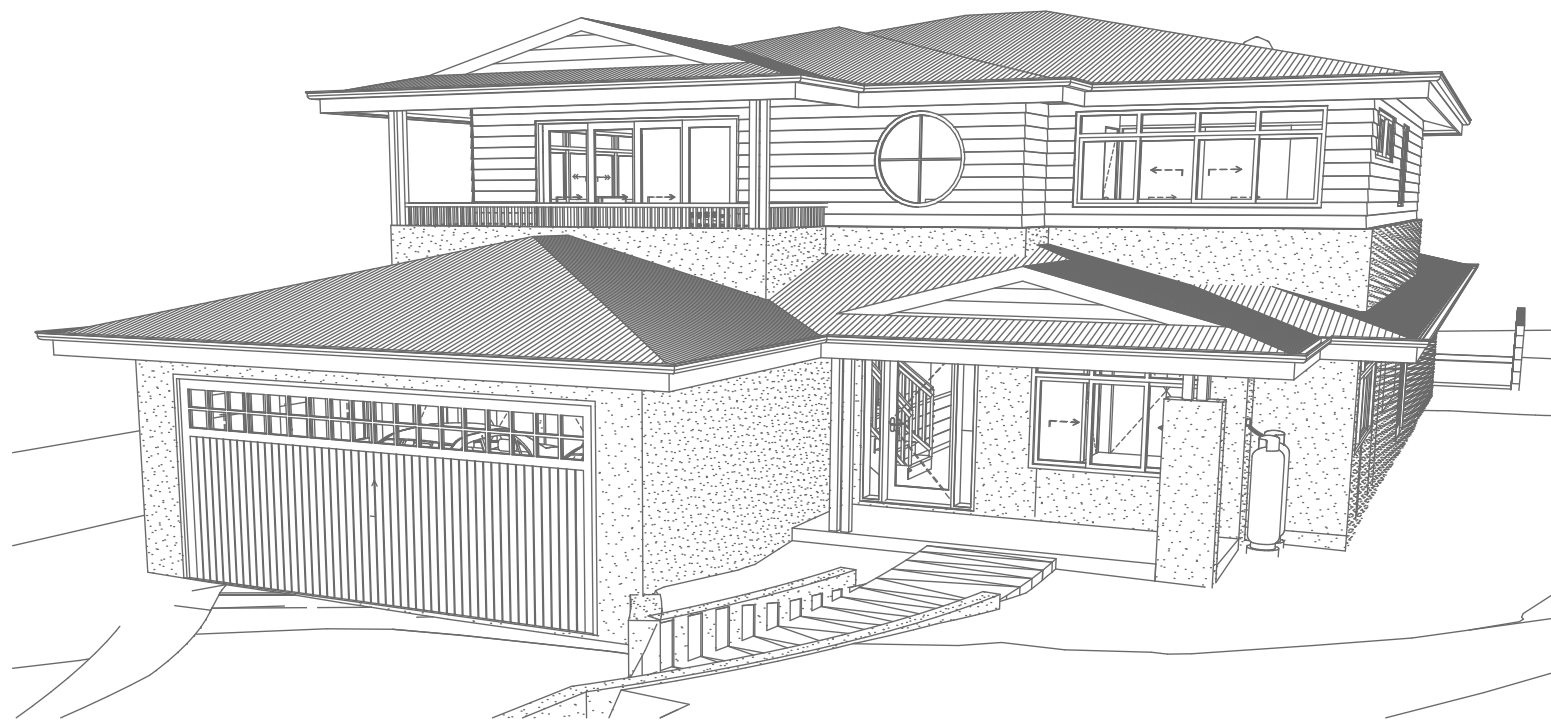
PROJECT NAME: Alterations & Additions

REVISION NO. DATE

- 18/11/21

DRAWING NO. DA4002

Plot Date: 6/12/2021
Sheet Size: A3



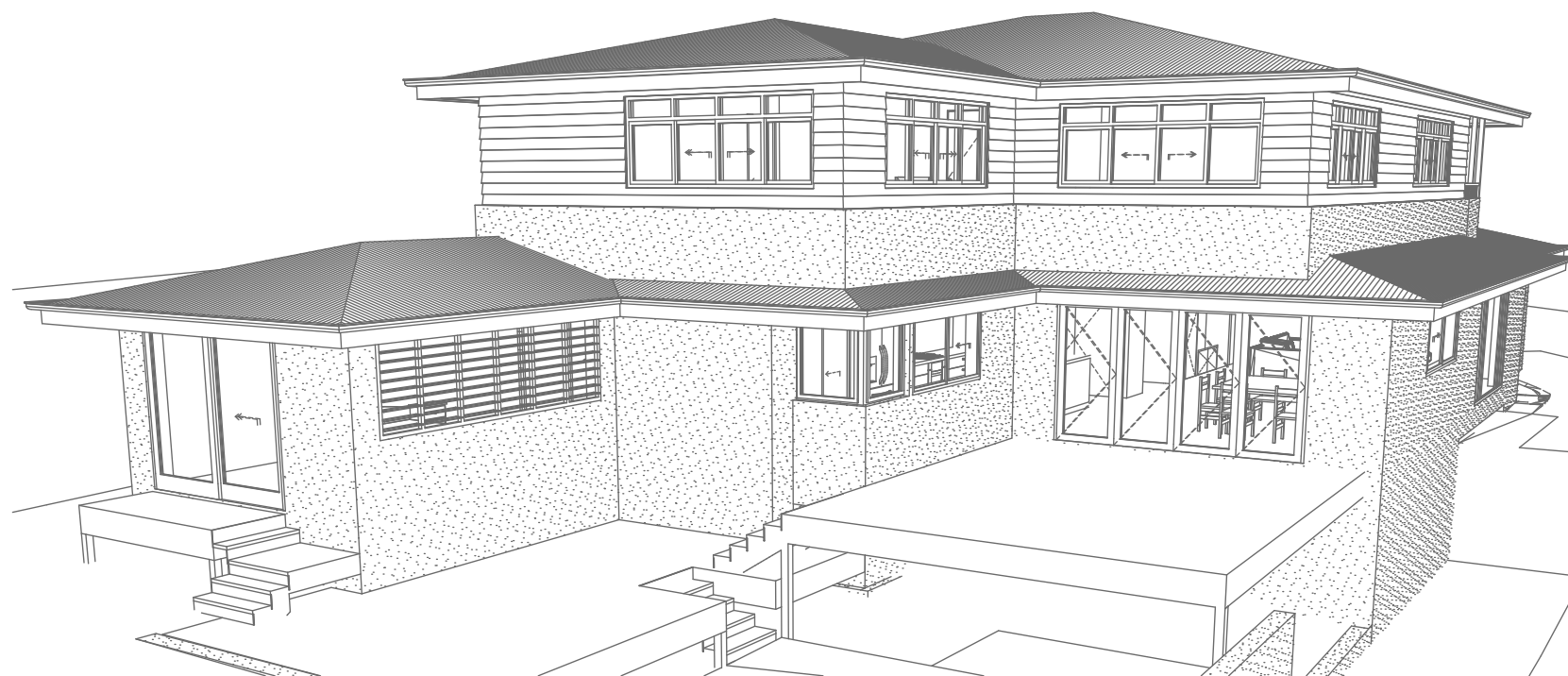
1
-

Perspective 1
1:200



4
-

Perspective 4
1:150



3
-

Perspective 3
1:200

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	
floor above existing dwelling or building	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems

Hot water

The applicant must install the following hot water system in the development: electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



Denotes Cladding (Typical).
Owner To Confirm Type & Colour



Denotes Sheet Metal Roofing (Typical).
Owner To Confirm Type & Colour



Denotes Skylight (Typical).
Owner To Confirm Type & Colour



Denotes Solar Tube (Typical).
Owner To Confirm Type & Colour



Denotes Timber Post (Typical).
Owner To Confirm Type & Colour



Denotes Timber Deck (Typical).
Owner To Confirm Type & Colour



Denotes Tiled Deck (Typical).
Owner To Confirm Type & Colour

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	N	1.89	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	N	1.89	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	N	1.89	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	N	6.3	0	0	eave/verandah/pergola/balcony	improved aluminium, single clear, (U-value:

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W5	S	0.72	0	0	>=750 mm eave/verandah/pergola/balcony >=600 mm	6.44, SHGC: 0.75) improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	S	2.88	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	W	3.15	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	N	3.96	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	N	3.6	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	E	3.6	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W11	N	3.6	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	E	36	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W14	S	0.72	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	S	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	W	3.6	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	W	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	W	3.16	0	0	projection/height above sill ratio	improved aluminium, single clear, (U-value:

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
D17	W	3.72	0	0	>=0.43 projection/height above sill ratio >=0.43	6.44, SHGC: 0.75) improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.						
The following requirements must also be satisfied in relation to each skylight:						
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.						
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device		Frame and glass type		
S1	0.55	no shading		aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)		
S2	0.4	no shading		aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)		

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Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Fitzroy Vic 3124
Tel: (03) 9350-8845 Mobile: 0414-946-024
Email: info@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
10 Spence Place, Belrose is zoned R2-Low Density Residential

10 Spence Place, Belrose is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in ShadedBlue

Construction
Framed and Slat Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1078-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Condition
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A436492_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	899.9m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	730mm	Yes
Maximum depth of fill (m)	530mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 6/12/2021
Project NO.: RP0121BER
Project Status DA-rev2

Client Julia Berry

Site: 10 Spence Place, Belrose

DRAWING TITLE SHADOW PLANS
MATERIAL & COLOUR SAMPLE BOARD

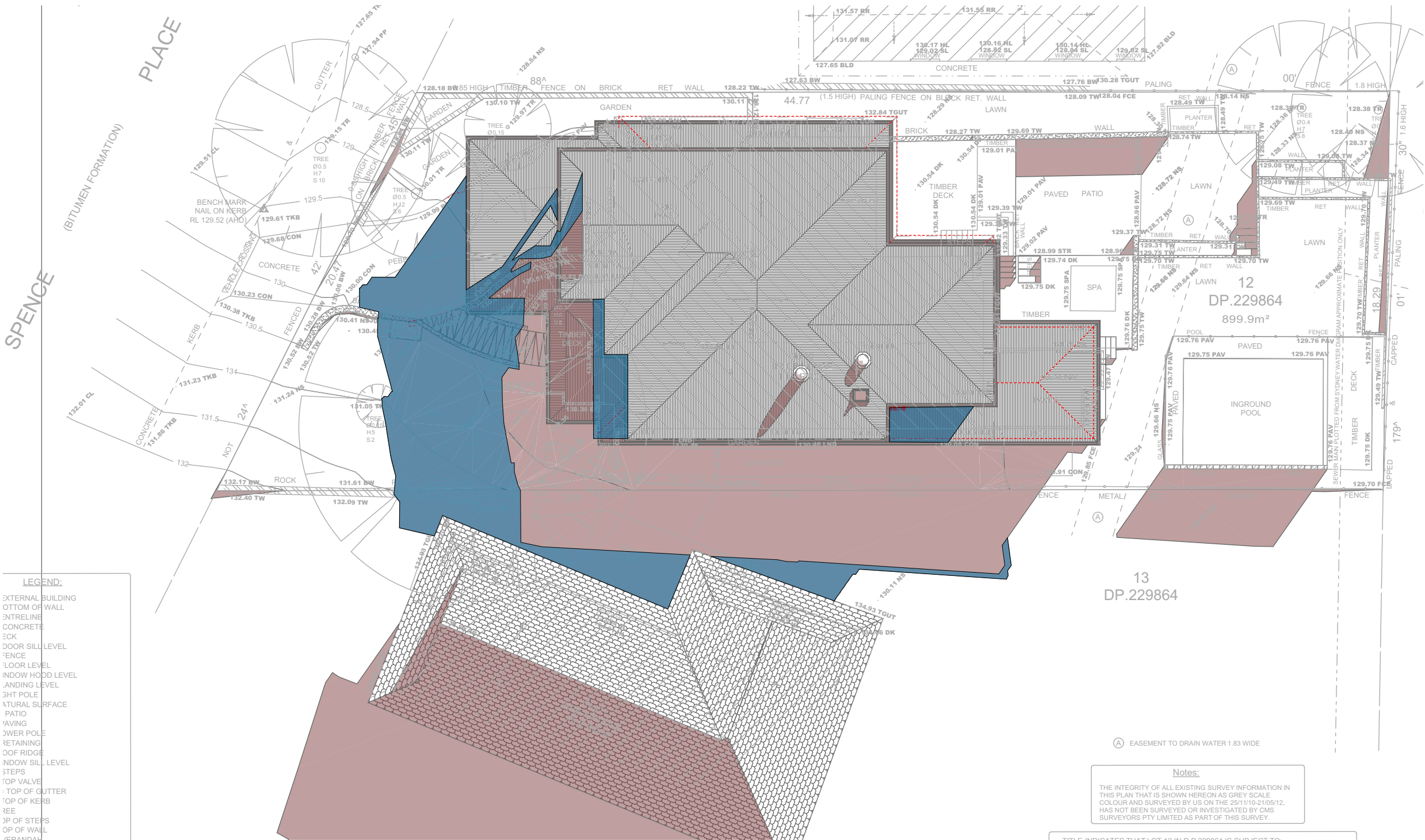
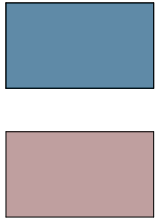
PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
-	18/11/21

DRAWING NO. **DA5001**

Plot Date: 6/12/2021
Sheet Size: A3

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Designed by Julia Berry for DA Application



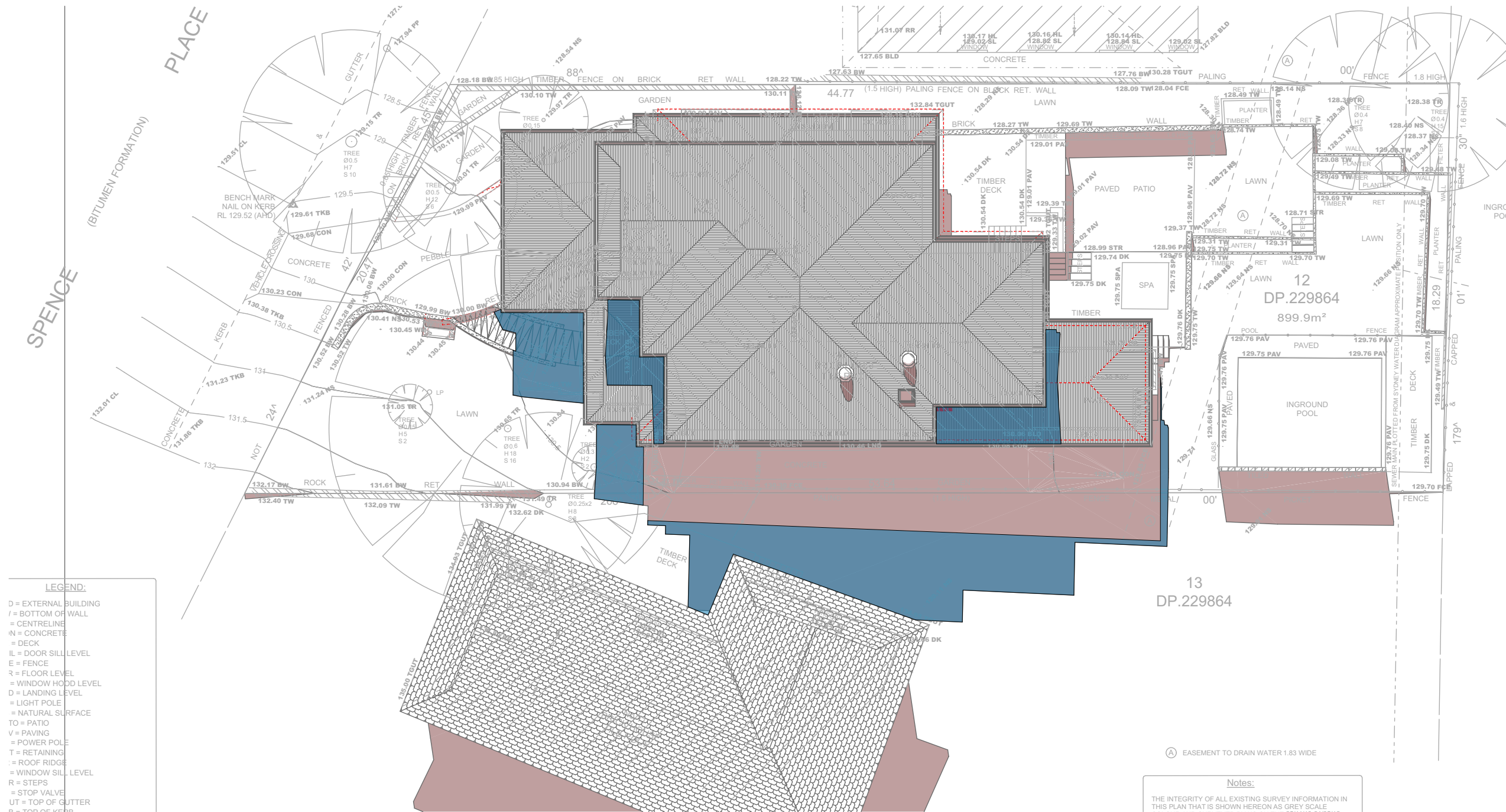
- LEGEND:
- EXTERNAL BUILDING
 - OTTOM OF WALL
 - INTRELINE
 - CONCRETE
 - ECK
 - DOOR SILL LEVEL
 - FENCE
 - LOOR LEVEL
 - INDOW HOOD LEVEL
 - ANDING LEVEL
 - HT POLE
 - ATURAL SURFACE
 - PATIO
 - AVING
 - OWER POLE
 - RETAINING
 - DOOF RIDGE
 - INDOW SILL LEVEL
 - STEPS
 - TOP VALVE
 - TOP OF GUTTER
 - TOP OF KERB
 - REE
 - OP OF STEPS
 - OP OF WALL
 - EDANIAL

01 SHADOW PLAN 21 JUN at 0900h
1:200

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Denotes Proposed Shadow

Denotes Existing Shadow



02 SHADOW PLAN 21 JUN at 1200h 1:200

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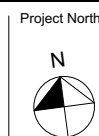


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au
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Immediately Report any
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Checked
Plot Date: 6/12/2021
Project NO: RP0121BER
Project Status: DA-rev2

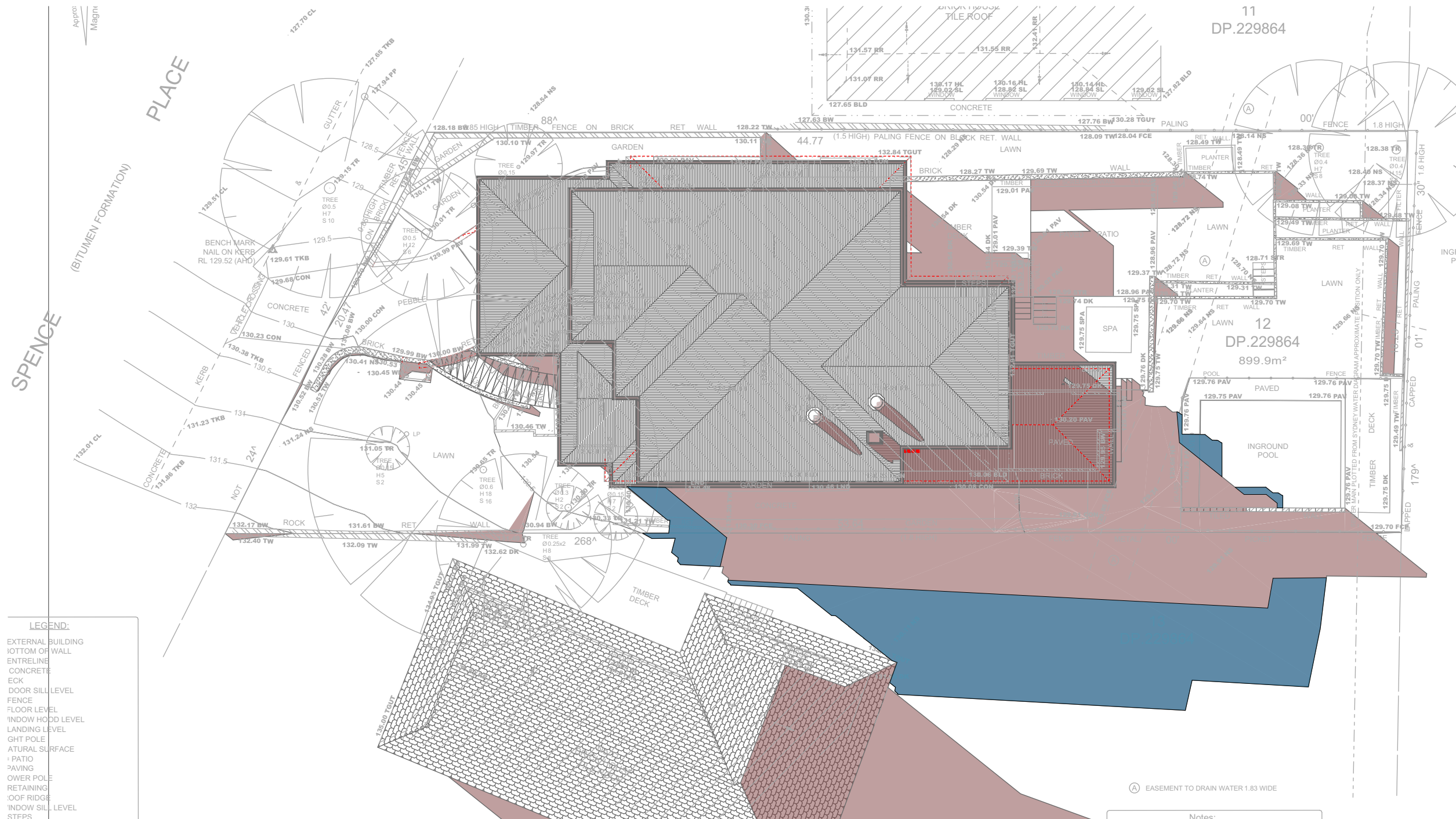
Client: Julia Berry
Site: 10 Spence Place, Belrose
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June
12pm
PROJECT NAME : Alterations & Additions

REVISION NO.
-
DATE: 18/11/21
DRAWING NO.
DA5003

Denotes Proposed Shadow

Denotes Existing Shadow



03 SHADOW PLAN 21 JUN at 1500h
1:200

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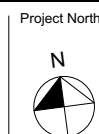


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www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
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Checked
Plot Date:
Project No.
Project Status

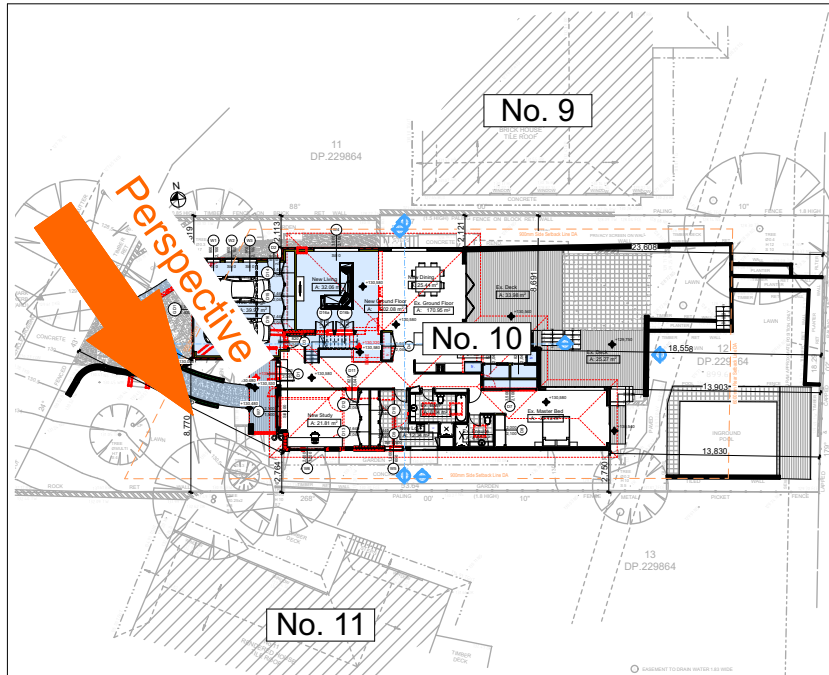
GBJ
6/12/2021
RP0121BER
DA-rev2

Client
Site:
Julia Berry
10 Spence Place, Belrose

Sheet Size: A3

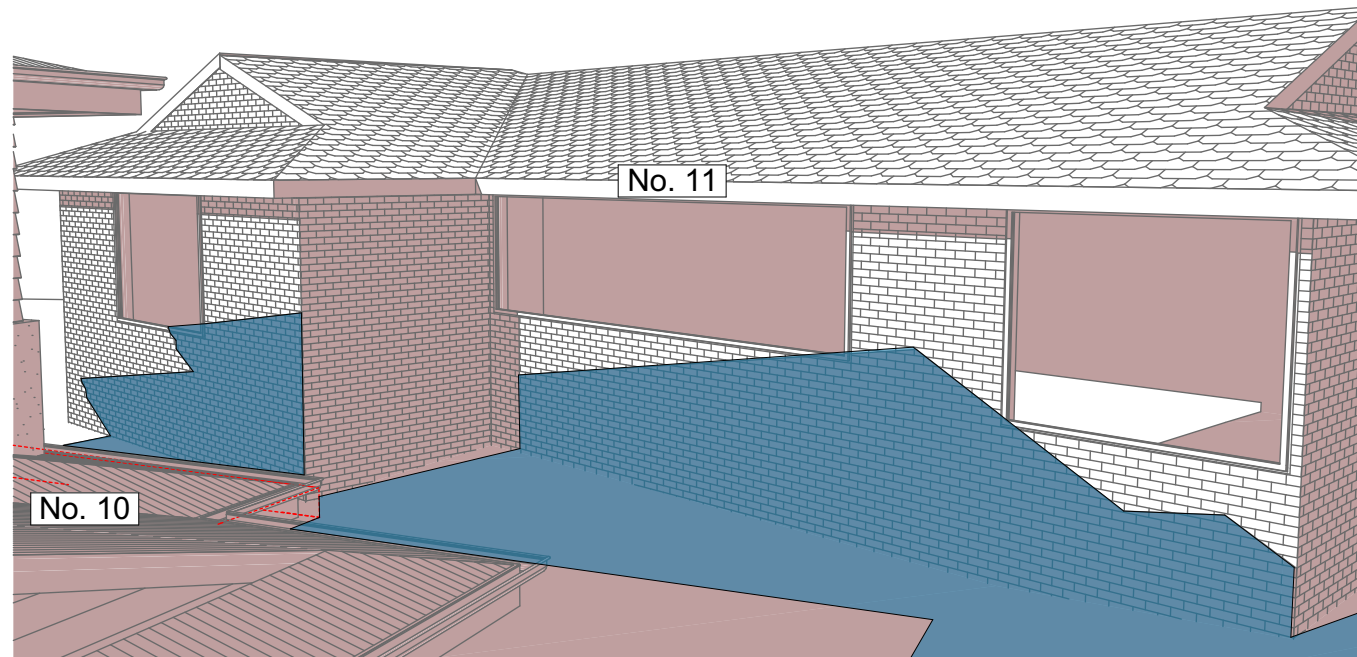
DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
3pm**
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
18/11/21
DRAWING NO.
DA5004



2

SITE PLAN
1:500



4

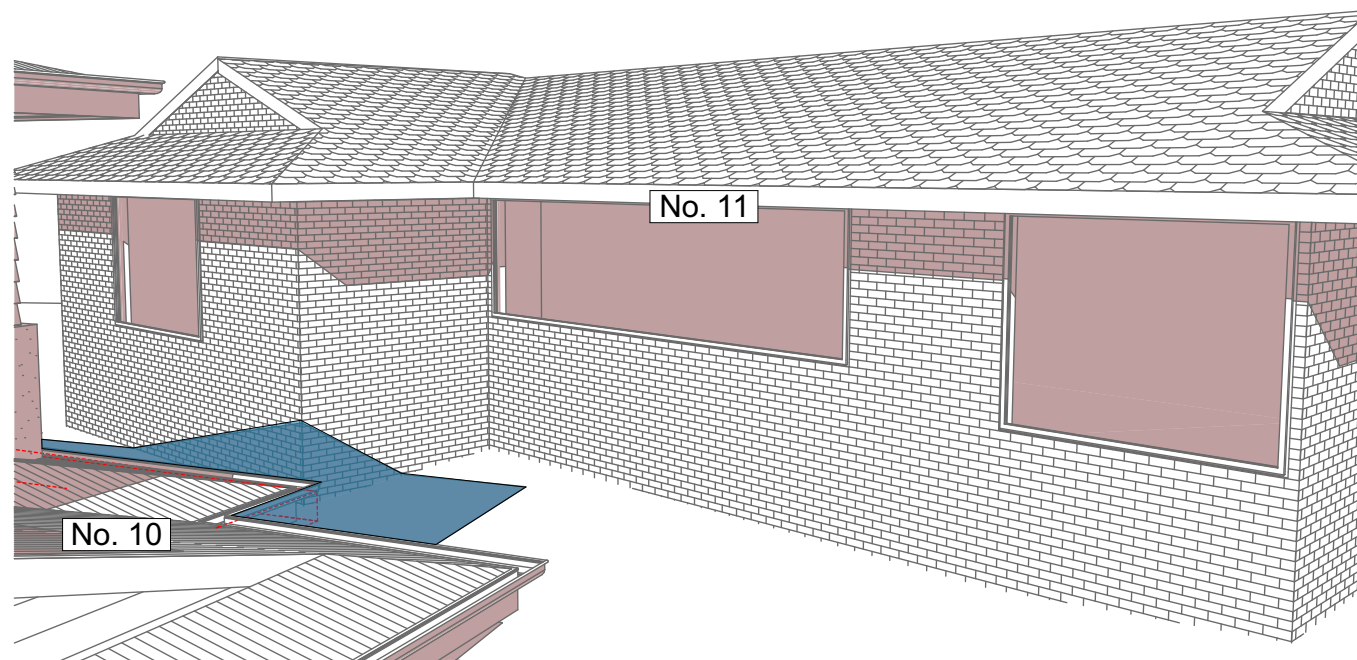
SHADOW ELEVATION 21 JUN at 0900h



Denotes Proposed Shadow

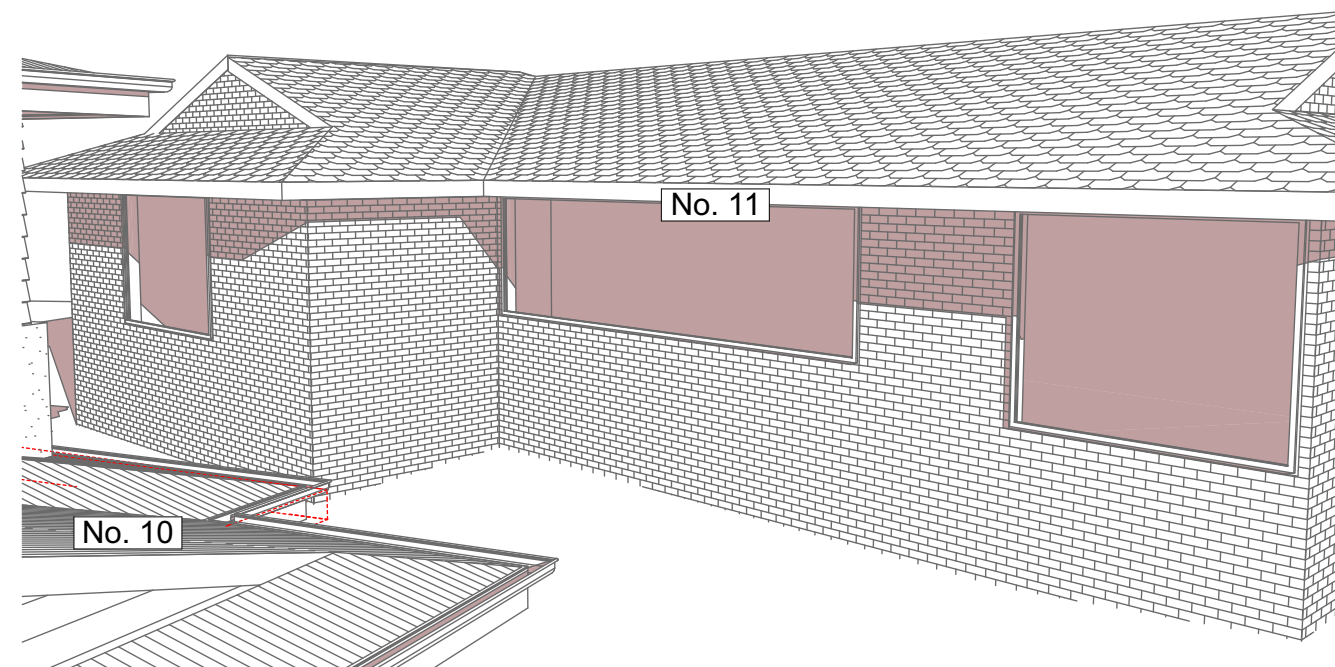


Denotes Existing Shadow



5

SHADOW ELEVATION 21 JUN at 1200h



6

SHADOW ELEVATION 21 JUN at 1500h

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Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
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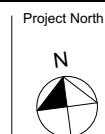


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Checked
Plot Date:
Project NO.
Project Status

GBJ
6/12/2021
RP0121BER
DA-rev2

Client
Site:
Julia Berry
10 Spence Place, Belrose

Sheet Size: A3

DRAWING TITLE :
**SHADOW PLANS
WALL ELEVATION
SHADOWS**
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
18/11/21
DRAWING NO.
DA5005