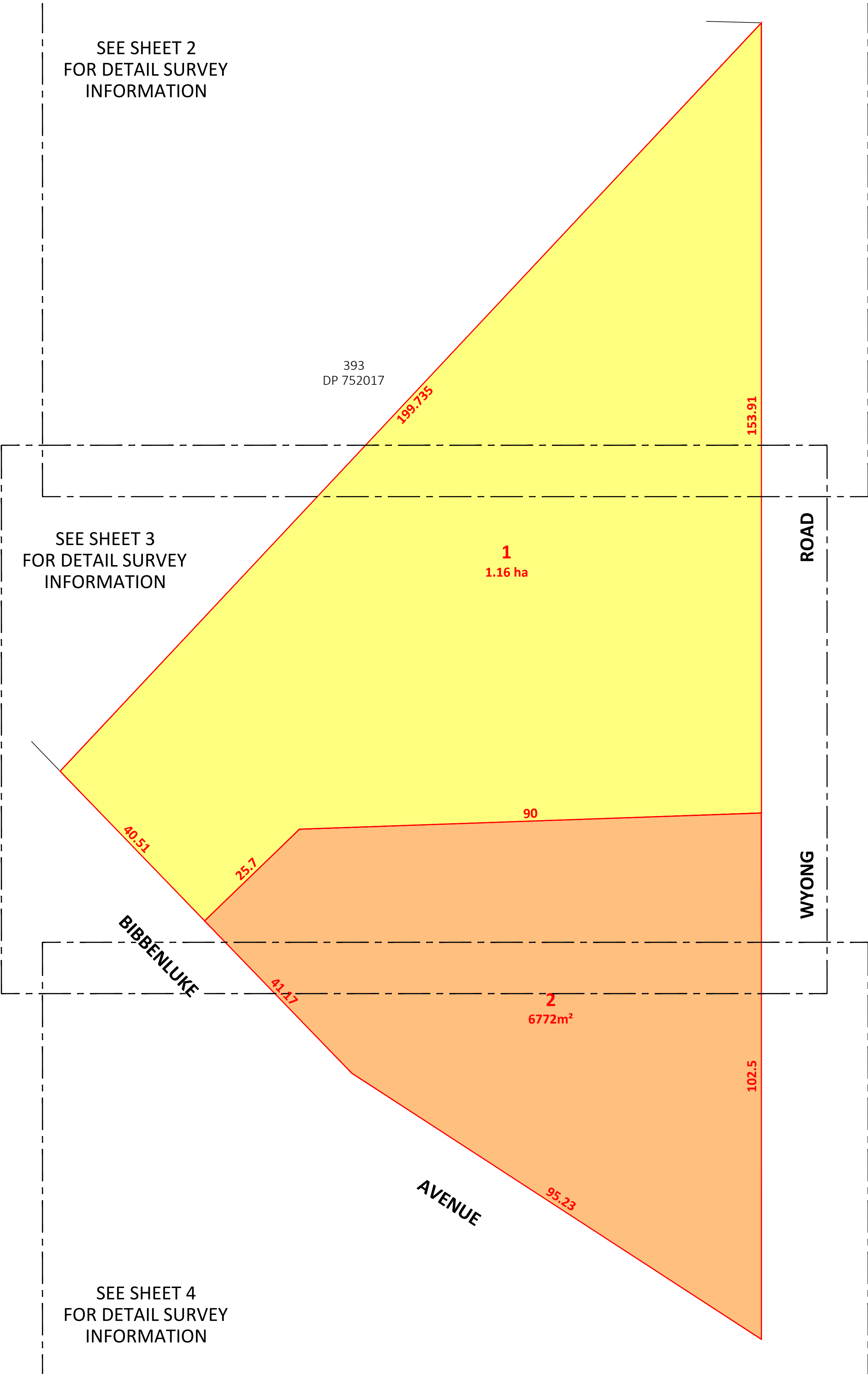
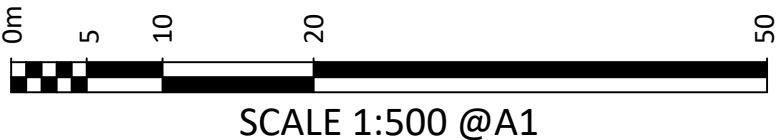




NOTES

- Do not scale from this plan.
- This plan shows a proposed subdivision layout for DA purposes and must not be used for any other purpose. The information shown is subject to change following input from the relevant regulatory authorities.
- Proposed areas shown may differ slightly from the area stated on the current Deposited Plan due to advances in technology since the date of registration of this plan. Areas shown on this plan were calculated using CAD software and have a higher degree of accuracy than the area shown on the current Deposited Plan which was calculated without the benefit of modern computers.
- Boundary dimensions and areas have been compiled from the current subject site Deposited Plan. No boundaries have been surveyed or marked. If any work is to be undertaken on or adjacent to a boundary then a Boundary Survey is recommended to define the boundaries of the site.
- All dimensions, areas and easements shown are approximate only and subject to site survey, regulatory approval, final survey and registration of the Plan of Subdivision at LRS NSW.
- This drawing and the information it contains is copyright and remains the property of SurveyPlus Pty Ltd. It must not be copied, used or altered without the express authority of SurveyPlus.
- These notes form an integral part of this plan and must not be erased.

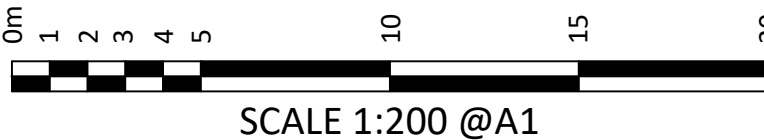
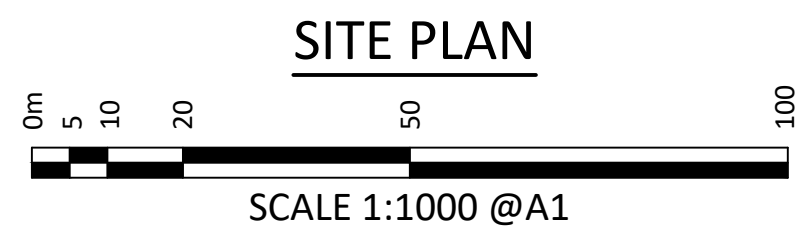


CLIENT Brian Anschau	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY	DATE OF SURVEY	N / A	DRAWING TITLE PROPOSED SUBDIVISION PLAN PROPOSED SUBDIVISION OF LOT 392 DP 752017 No. 1 BIBBENLUKE AVENUE, DUFFYS FOREST	SCALE	1:500 @ A1
						ORIGIN OF LEVELS	N / A		REVISION	B
						ORIGIN OF COORDS	N / A		SHEET	1 OF 5
						CONTOUR INTERVAL	N / A		REF	18273_SUB_1B
	B 22.10.2020 A 29.06.2020	SETBACKS TO BOUNDARIES ADDED INITIAL ISSUE	-- --	CE CE	JM JM					

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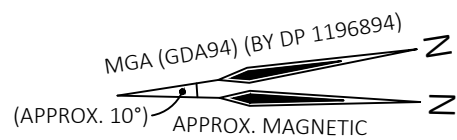
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- **NOTES**
 - Do not scale from this plan.
 - Boundary locations and boundary setbacks have been determined using survey marks and monuments in existence on the date of survey. Boundary locations and boundary setbacks shown are intended for planning and design purposes only and must not be used for construction set-out or for any other purpose. If any construction is proposed on or adjacent to a boundary then that boundary must be defined by a Registered Surveyor prior to commencement.
 - The purpose of this survey plan is to show detail, levels and setbacks for planning and design. Do not use the information shown for any other purpose.
 - Contours are an indication of the topography and should only be used for planning purposes. Spot levels only should be used for detailed design.
 - Building and feature descriptions are to be used for general identification purposes only and may require further investigation.
 - No services search has been undertaken. Only those services visible at the time of survey have been located. It is recommended to contact the Before You Dig and the relevant service authority prior to commencing any work.
 - Tree information and canopy location is approximate (and not necessarily symmetrical) and if critical may require further investigation.
 - The DWG format file for this plan is integral and contains additional spatial information not able to be displayed in the PDF file.
 - This planning and the information it contains is copyright and remains the property of SurveyPlus Pty Ltd. It must not be copied, used or altered without the express authority of SurveyPlus.
 - All charges and interests noted in the Certificate of Title form an integral part of this plan and must not be erased.

- ### LEGEND
- | | |
|--|------------------------------------|
| FL | - Floor Level |
| G XX.XX | - Gutter RL XX.XX |
| ICV | - Irrigation Control Valve |
| IL XX.XX | - Invert Level RL XX.XX |
| LP  | - Light Pole |
| PP  | - Power Pole |
| R XX.XX | - Ridge/roof RL XX.XX |
| SI  | - Sign |
| SL XX.XX | - Surface Level RL XX.XX |
| STW | - Stormwater |
| TPJT  | - Telecommunication Pit |
| UPIT  | - Unknown Pit |
|  -CT | - Overhead Comms/Electricity Wires |



▲
BENCHMARK
NAIL IN BITUMEN
RL 171.77m
(AHD-AUSGeoid09)



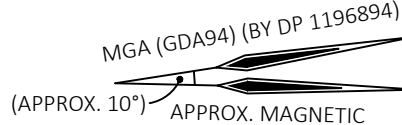
CLIENT Brian Anschau	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY	 We make it easy. We make it happen. 02 9651 2921 info@surveyplus.com.au www.surveyplus.com.au land development consultants	DATE OF SURVEY	08.10.2019	DRAWING TITLE DETAIL SURVEY PLAN PROPOSED SUBDIVISION OF LOT 392 DP 752017 No. 1 BIBBENLUKE AVENUE, DUFFYS FOREST	SCALE AS SHOWN @A1
							ORIGIN OF LEVELS	PM 50104 RL 179.328		REVISION B
							ORIGIN OF COORDS	LOCAL		SHEET 2 OF 5
							CONTOUR INTERVAL	1.0m		REF 18273_SUB_1B
	B 22.10.2020	SETBACKS TO BOUNDARIES ADDED	--	CE	JM					
	A 29.06.2020	AS SURVEYED ON SITE	DO	RS/CE	DO/JM					

INTERESTS RELATING TO THE SUBJECT SITE:
The Certificate of Title for Lot 392 DP752017 ordered on 13.09.2019 identified the following interests (refer to the original 888 instrument or Dealing creating the interest for specific terms - we recommend this be undertaken prior to design or construction):
•Land excludes minerals and is subject to Reservations and conditions in favour of the Crown - See Crown Grant(s).
•Excepting land below a depth from the surface of 15.24 metres (Not investigated).
•Lease to Hanrob Northern Sydney PTY limited being 1 Bibbenluke Avenue, Duffys Forest. Expires: 5/6/2021. Commencing 6 June 2016 Terminating 5 June 2021 (AG583327). Mortgage of lease AG53327 to Westpac Banking Corporation (AK695584) ~ (Not investigated).

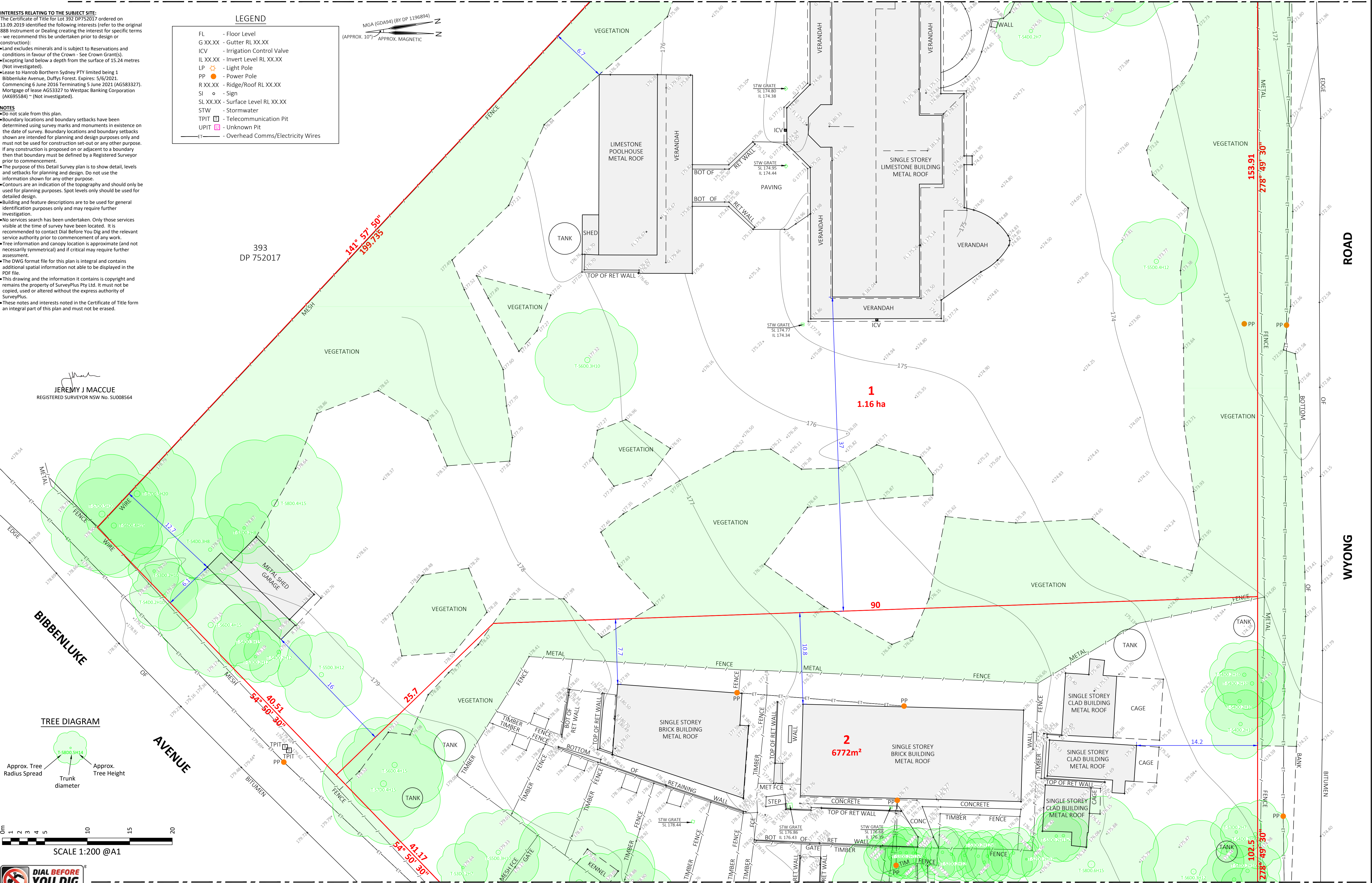
- NOTES**
•Do not scale from this plan.
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•The purpose of this Detail Survey plan is to show detail, levels and setbacks for planning and design. Do not use the information shown for any other purpose.
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LEGEND

- FL - Floor Level
G XX.XX - Gutter RL XX.XX
ICV - Irrigation Control Valve
IL XX.XX - Invert Level RL XX.XX
LP - Light Pole
PP - Power Pole
R XX.XX - Ridge/Roof RL XX.XX
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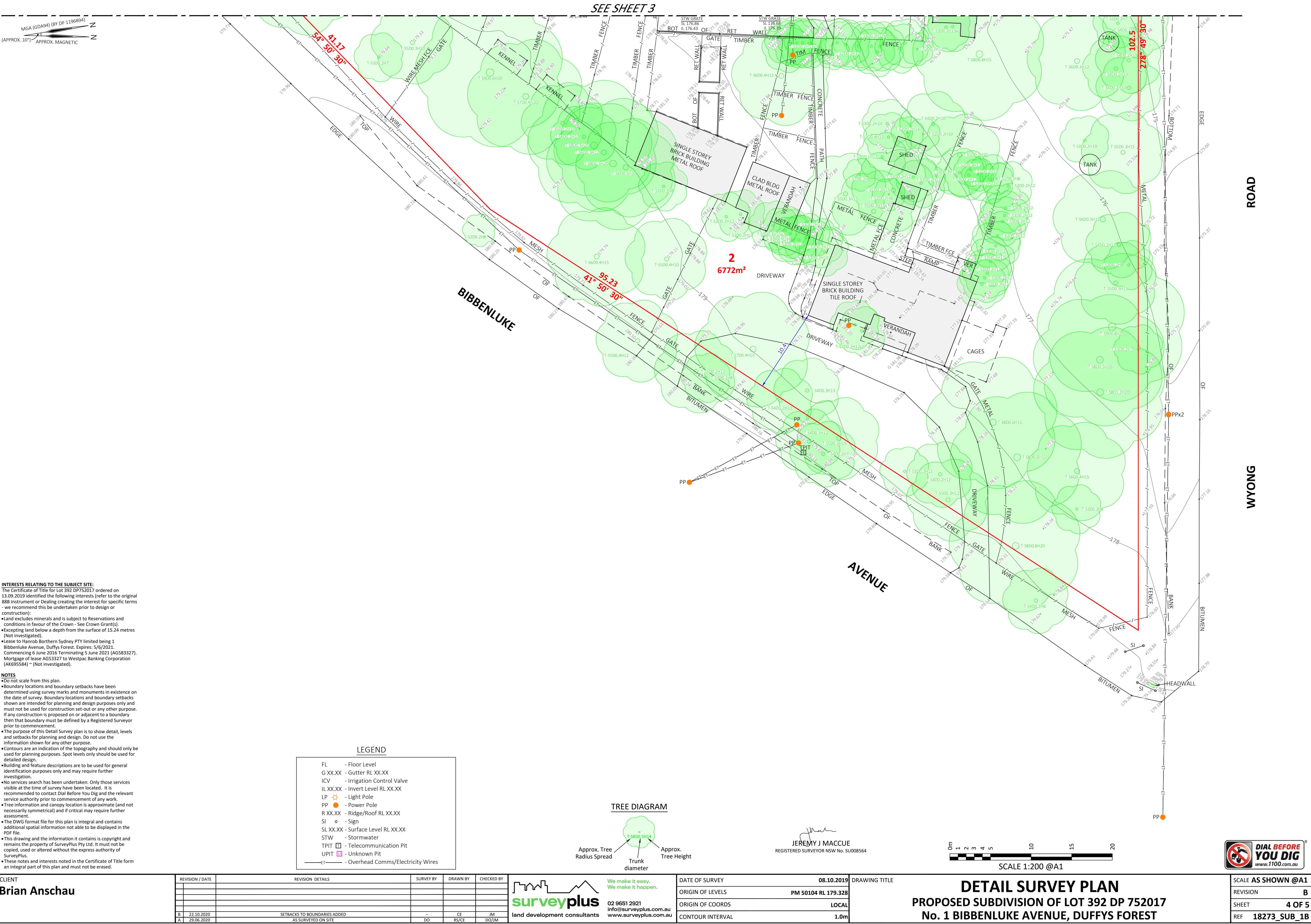


SEE SHEET 2



SEE SHEET 4

CLIENT Brian Anschau	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY	DATE OF SURVEY 08.10.2019	DRAWING TITLE	DETAIL SURVEY PLAN PROPOSED SUBDIVISION OF LOT 392 DP 752017 No. 1 BIBBENLUKE AVENUE, DUFFYS FOREST	SCALE AS SHOWN @A1
						ORIGIN OF LEVELS PM 50104 RL 179.328			REVISION B
						ORIGIN OF COORDS LOCAL			SHEET 3 OF 5
						CONTOUR INTERVAL 1.0m			REF 18273_SUB_18
	B 22.10.2020 A 29.06.2020	SETBACKS TO BOUNDARIES ADDED AS SURVEYED ON SITE	DO	CE RS/CE	JM DO/JM				



INTERESTS RELATING TO THE SUBJECT SITE:
The Certificate of Title for Lot 392 DP752017 ordered on 13.09.2019 identified the following interests (refer to the original 888 Instrument or Dealing creating the interest for specific terms - we recommend this be undertaken prior to design or construction):

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CLIENT	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY
Brian Anschau					
	B 22.10.2020	SETBACKS TO BOUNDARIES ADDED	DO	CE	JM
	A 29.06.2020	AS SURVEYED ON SITE	DO	RS/CE	DO/JM



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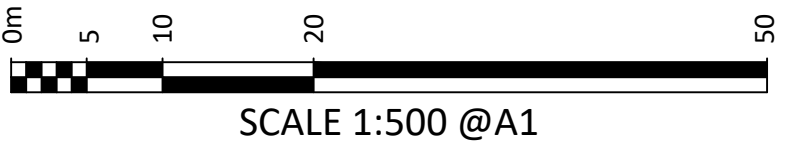
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DATE OF SURVEY	08.10.2019
ORIGIN OF LEVELS	PM 50104 RL 179.328
ORIGIN OF COORDS	LOCAL
CONTOUR INTERVAL	1.0m

DRAWING TITLE

DEMOLITION PLAN
PROPOSED SUBDIVISION OF LOT 392 DP 752017
No. 1 BIBBENLUKE AVENUE, DUFFYS FOREST



SCALE	AS SHOWN @A1
REVISION	B
SHEET	5 OF 5
REF	18273_SUB_1B