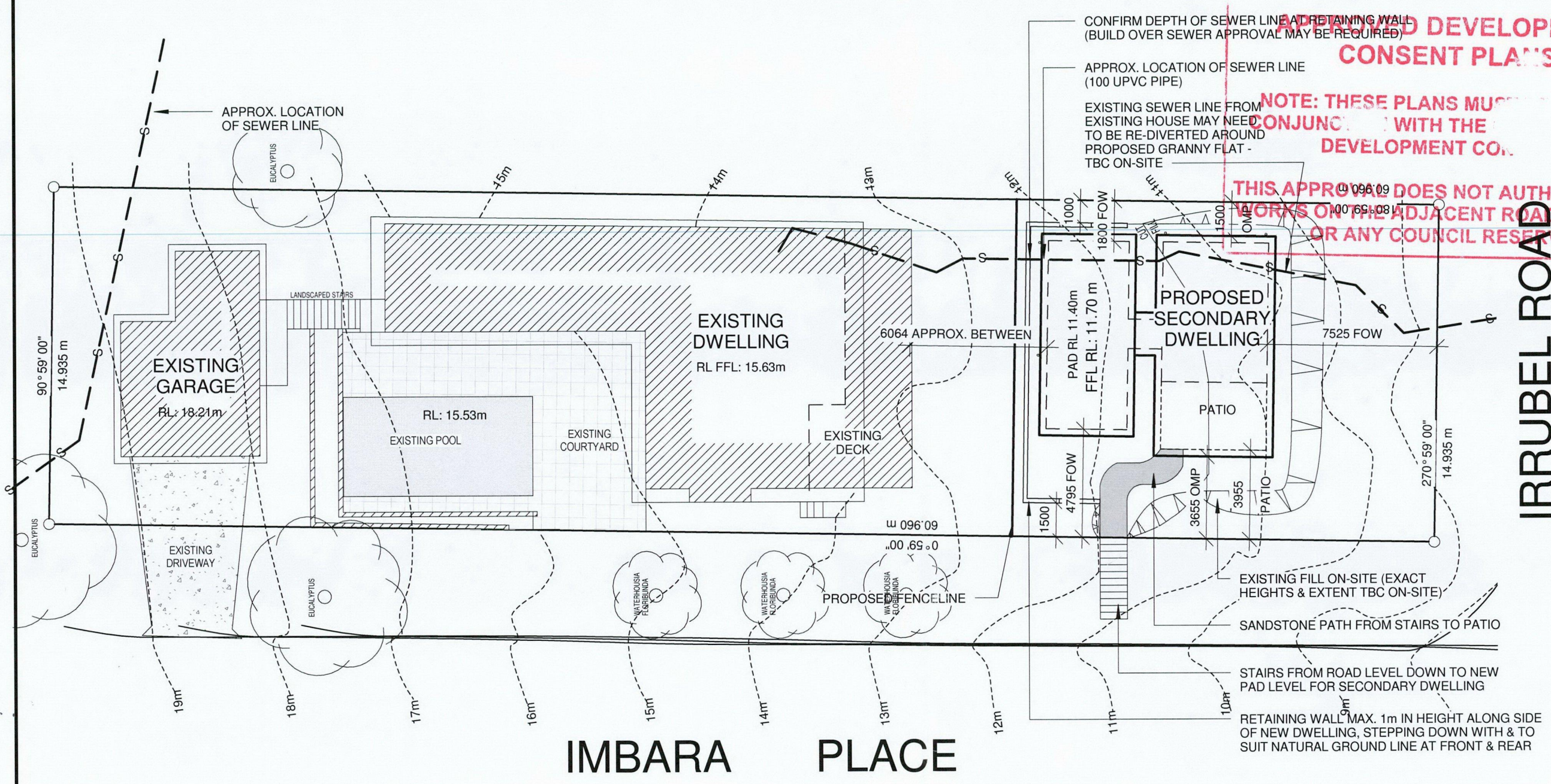
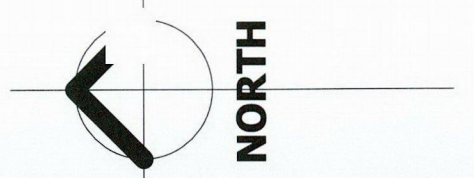




RPD
Lot 3 on DP 20379
PARISH: NARRABEEN
COUNTY: CUMBERLAND
PITTSWATER COUNCIL
AREA: 910.4m²
SITE COVERAGE:
EXISTING: 26.2% (238.5m²)
PROPOSED: 8.2% (74.77m²)
TOTAL: 34.4% (313.27m²)

- GENERAL NOTES**
1. All survey pegs are to be sited in position prior to the commencement of construction.
 2. The profile of the vehicle access drive is to be as per Local Authority requirements.
 3. The site is to be adequately drained to the Engineer's recommendation as set out in the soil report and CSIRO recommendations for the maintenance of residential slabs and footings.
 4. Stormwater to on-site rain water storage tank in accordance with Local Authority requirements.
 5. All downpipes to be 90dia UPVC. Number of as shown.
 6. All dimensions are in millimetres.
 7. Household waste refer Engineer's design and details.

LEGEND:
BAL Bushfire Attack Level (as noted)
FOW Face of Wall
OMP Outermost Projection

SITE PLAN
Scale: 1 : 200

ISSUES		
Rev.	Date	Description
WD-A	06.07.16	Working Drawings Issue
WD-B	09.07.16	Landscaping, Construction Management, Stormwater Plans, & Shadow Diagrams added
WD-C	13.07.16	Existing Garage & Pool location shown, Rainwater connected to existing line to Imbara Place
WD-D	14.07.16	Front setback changed on site plan



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Date: 14.07.2016	Checked: -	Sheet No: A2

PROPOSED SECONDARY DWELLING
for
PAUL & SUZANNE O'KEEFE
at
100 IRRUBEL ROAD, NEWPORT, NSW 2106



ISSUES

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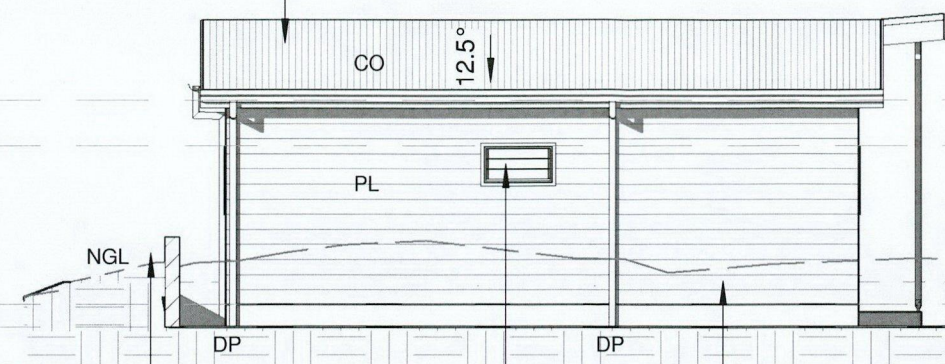
PROPOSED SECONDARY DWELLING
for
PAUL & SUZANNE O'KEEFE
at
100 IRRUBEL ROAD, NEWPORT, NSW 2106

Name	Area
SECONDARY DWELLING	60.78 m ²
PATIO	13.99 m ²
	74.77 m ²

COLORBOND ROOF SHEETING @ 12.5° FIXED TO NON-CYCLONIC CONDITIONS & MANUFACTURERS SPECIFICATIONS

300 O/H

300 O/H



RED DASH LINE = NATURAL GROUND LINE

ALUMINUM FRAMED DOORS & WINDOWS FIXED TO NON-CYCLONIC CONDITIONS & MANUFACTURERS SPECIFICATIONS

WEATHERTEX PRIMELOK SMOOTH (200mm WIDTH) CLADDING INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

APPROVED DEVELOPMENT
CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE DEVELOPMENT CONSENT

THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR THE COUNCIL RESERVE.

TERMITE PROTECTION
As per Australian Standard AS 3660.1 - 2000.

Hatchings and fittings are indicative only. Refer Builders Specifications.

Line underside of external covered areas with FC sheeting

All doors and windows are to be aluminium framed unless noted otherwise.

LEGEND:

- | | |
|-----|--|
| O/H | Overhang |
| DP | Downpipe |
| PL | WeatherTex Primelok Smooth 200mm Profile |
| FC | Fiber Cement Cladding / Sheeting |
| CO | Colorbond Custom Orb Cladding |
| MB | Meterbox |
| NGL | Natural Ground Line |
| FGL | Finished Ground Line |

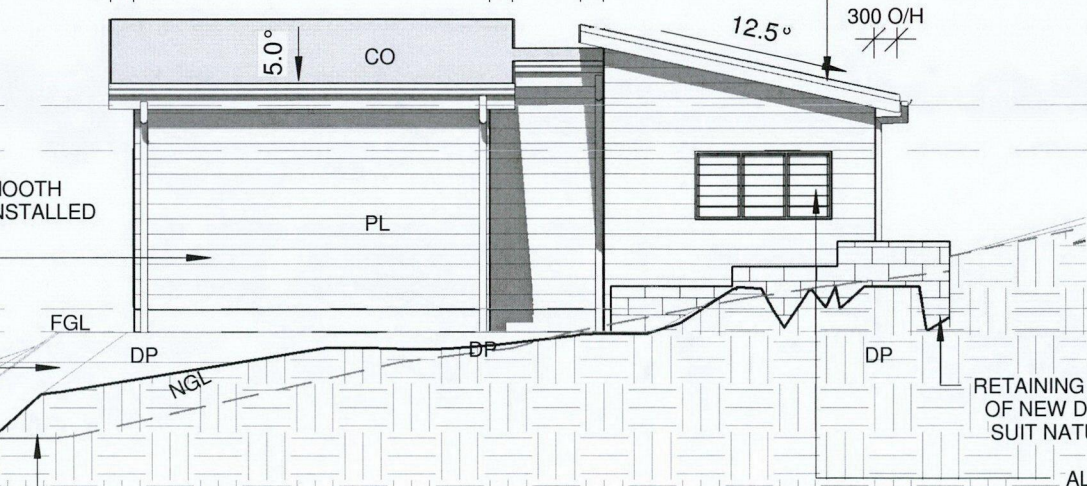
1 NORTH ELEVATION
A9 1 : 100

300 O/H

300 O/H 300 O/H

300 O/H

COLORBOND ROOF SHEETING @ 12.5° FIXED TO NON-CYCLONIC CONDITIONS & MANUFACTURERS SPECIFICATIONS



WEATHERTEX PRIMELOK SMOOTH (200mm WIDTH) CLADDING INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

EXISTING FILL ON-SITE (EXACT HEIGHTS & EXTENT TBC ON-SITE)

RED DASH LINE = NATURAL GROUND LINE

RETAINING WALL MAX. 1m IN HEIGHT ALONG SIDE OF NEW DWELLING, STEPPING DOWN WITH & TO SUIT NATURAL GROUND LINE AT FRONT & REAR

ALUMINUM FRAMED DOORS & WINDOWS FIXED TO NON-CYCLONIC CONDITIONS & MANUFACTURERS SPECIFICATIONS

2100
2700
FFL RL: 11.70 m
Ceiling
Joinery
FFL Pad Level

2 EAST ELEVATION
A9 1 : 100

ISSUES

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AGF 2152

Sheet No:
A10

PROPOSED SECONDARY DWELLING
for
PAUL & SUZANNE O'KEEFE
at
100 IRRUBEL ROAD, NEWPORT, NSW 2106

GENERAL NOTES

Roof water to be discharged to rainwater tank in accordance with Local Authority requirements.

Wind Speed is to be confirmed with Wind Report completed for this Site. All construction is to comply with the specified wind rating. This information may not have been available during Drawings stage, & will over ride wind rating noted in these Drawings.

TERMITE PROTECTION
As per Australian Standard AS 3660.1 - 2000.

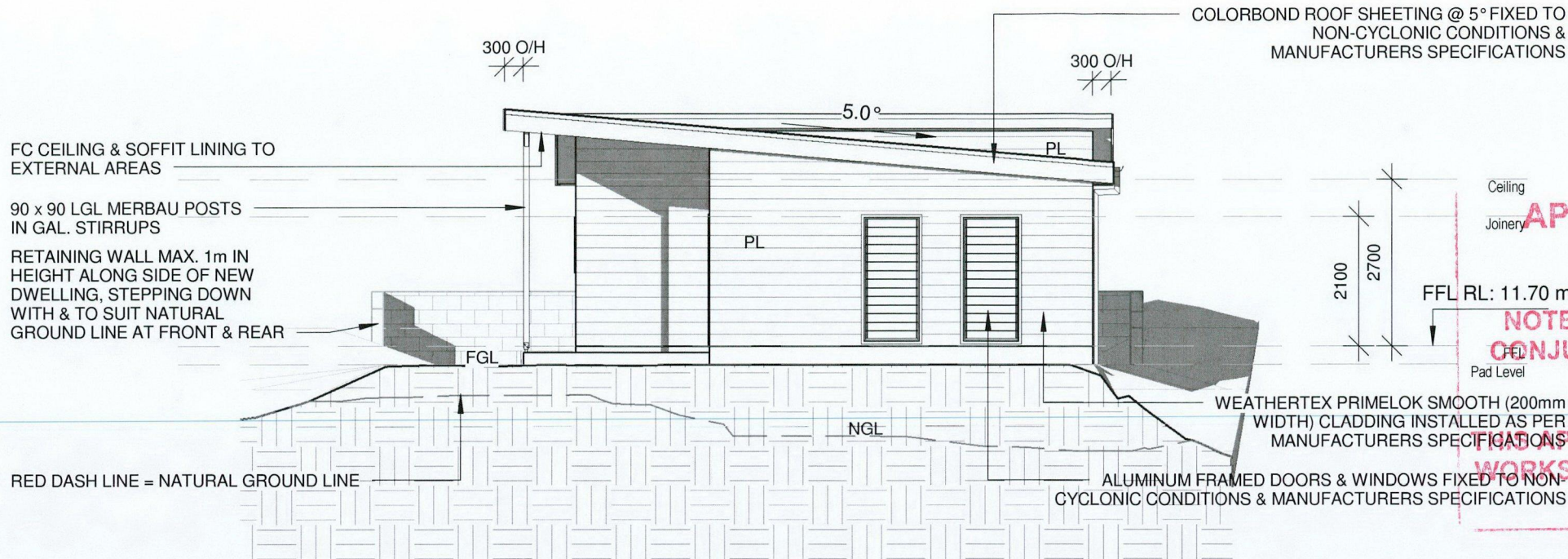
Hatchings and fittings are indicative only. Refer Builders Specifications.

Line underside of external covered areas with FC sheeting

All doors and windows are to be aluminium framed unless noted otherwise.

LEGEND:

O/H	Overhang
DP	Downpipe
PL	Weatherex Primelok Smooth 200mm Profile
FC	Fiber Cement Cladding / Sheeting
CO	Colorbond Custom Orb Cladding
MB	Meterbox
NGL	Natural Ground Line
FGL	Finished Ground Line

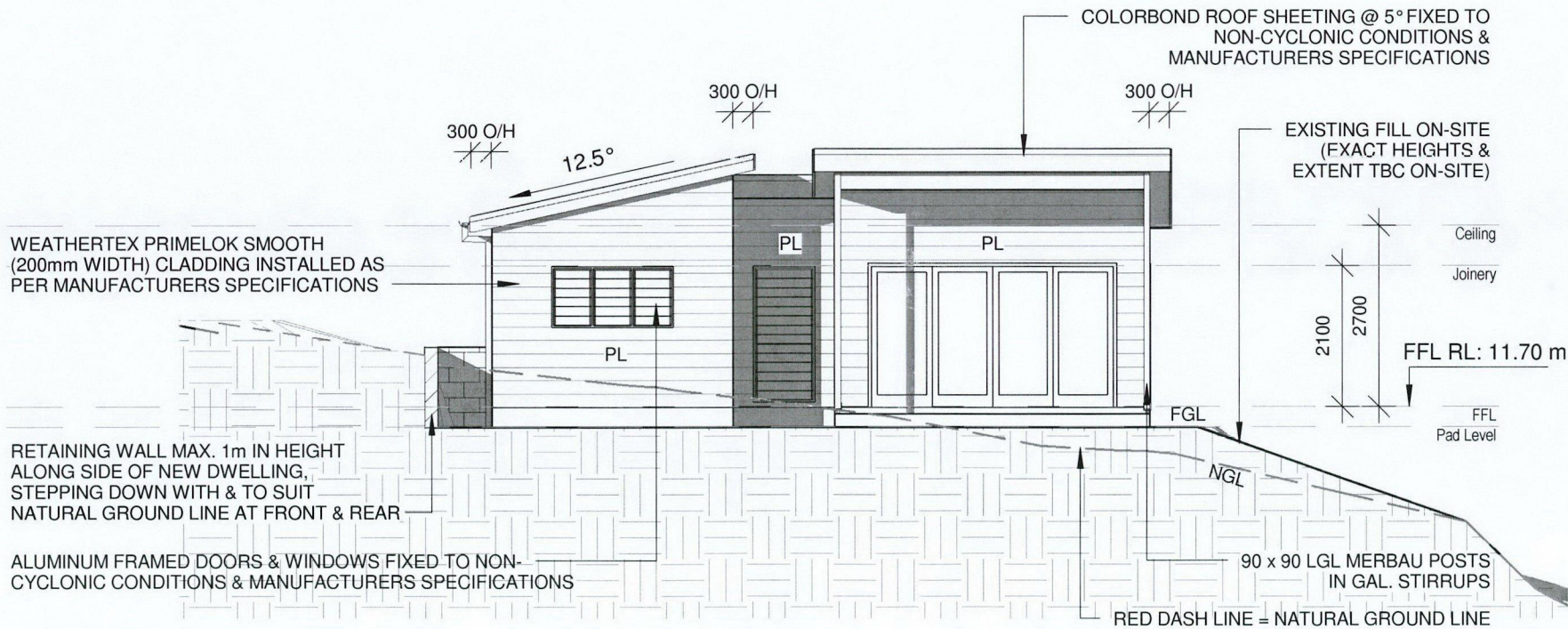


APPROVED DEVELOPMENT
CONSENT PLANS

NOTE: THESE PLANS MUST BE USED IN
CONJUNCTION WITH THE
DEVELOPMENT CONSENT

THIS APPROVAL DOES NOT AUTHORISE ANY
WORKS ON THE ADJACENT ROAD RESERVE
OR ANY COUNCIL RESERVE.

1 SOUTH ELEVATION
A9 1 : 100



2 WEST ELEVATION
A9 1 : 100

ISSUES

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PROPOSED SECONDARY DWELLING
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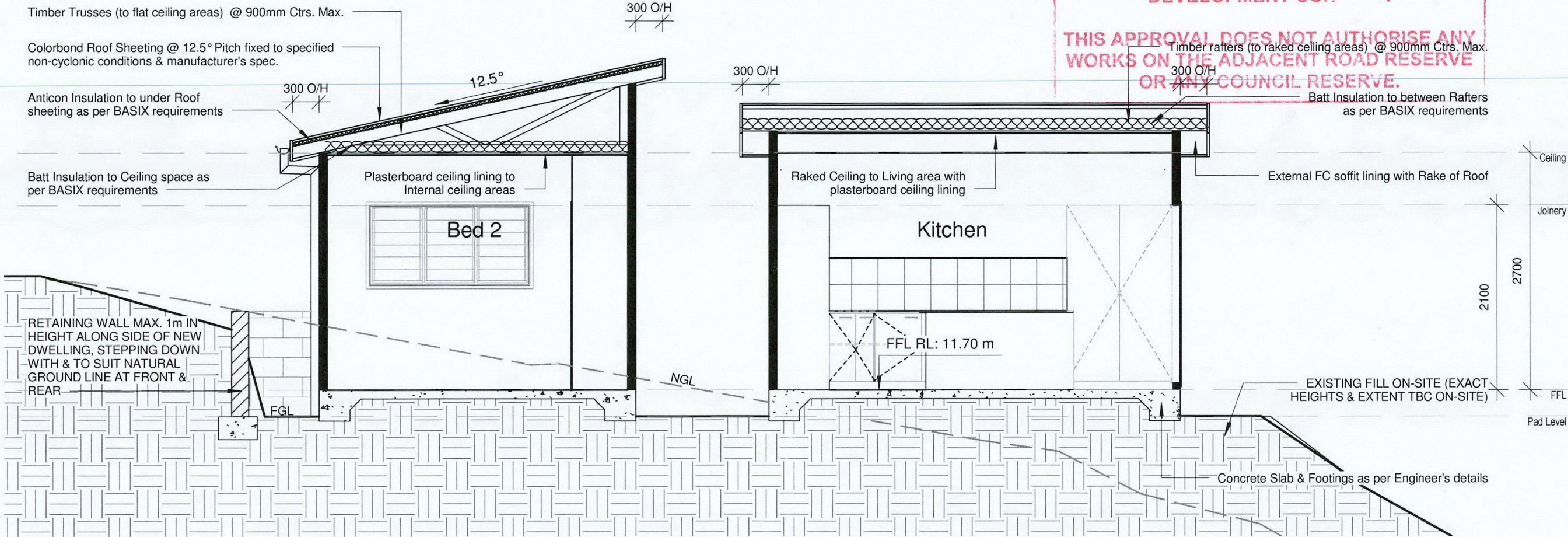
TERMITE PROTECTION NOTE:
TERMITE PROTECTION FOR SLAB ON GROUND:
SLAB EDGE EXPOSURE OF 75mm MIN. & CHEMICAL TERMITE BARRIER TO SLAB PERIMETER & ALL SLAB PENETRATIONS & CONTROL JOINTS.
A DURABLE NOTICE IS TO BE FIXED INSIDE THE METER BOX & KITCHEN CABINET. (REFER TO BCA PART 3.1.3 FOR MORE INFORMATION)

**APPROVED DEVELOPMENT
CONSENT PLANS**

**NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
THE DEVELOPMENT CONSENT.**

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WORKS ON THE ADJACENT ROAD RESERVE
OR ANY COUNCIL RESERVE.**

Timber rafters (to raked ceiling areas) @ 900mm Ctrs. Max.
Batt Insulation to between Rafters as per BASIX requirements



SECTION A
1 : 50

ISSUES

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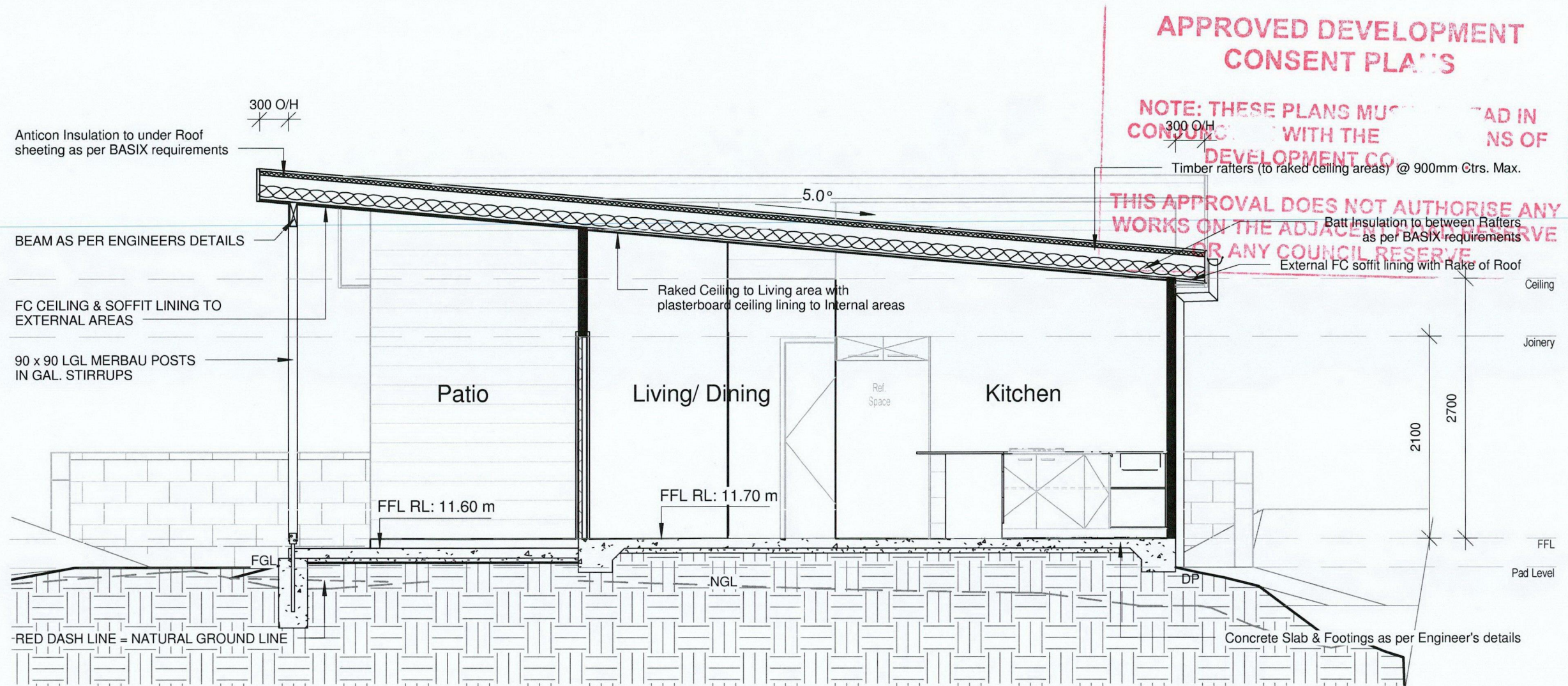
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A13

PROPOSED SECONDARY DWELLING
for
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SECTION B

1 : 50

ISSUES

Rev.	Date	Description



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Drawn:
Author

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Checker

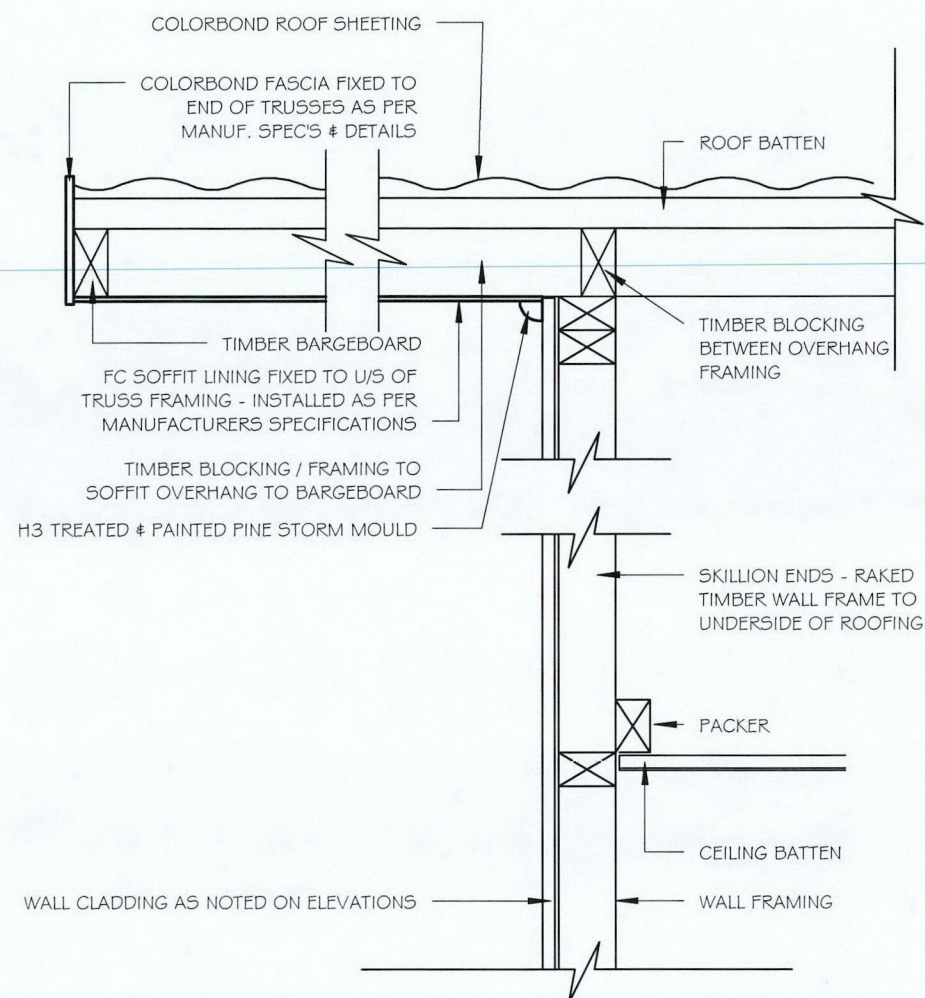
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PROPOSED SECONDARY DWELLING
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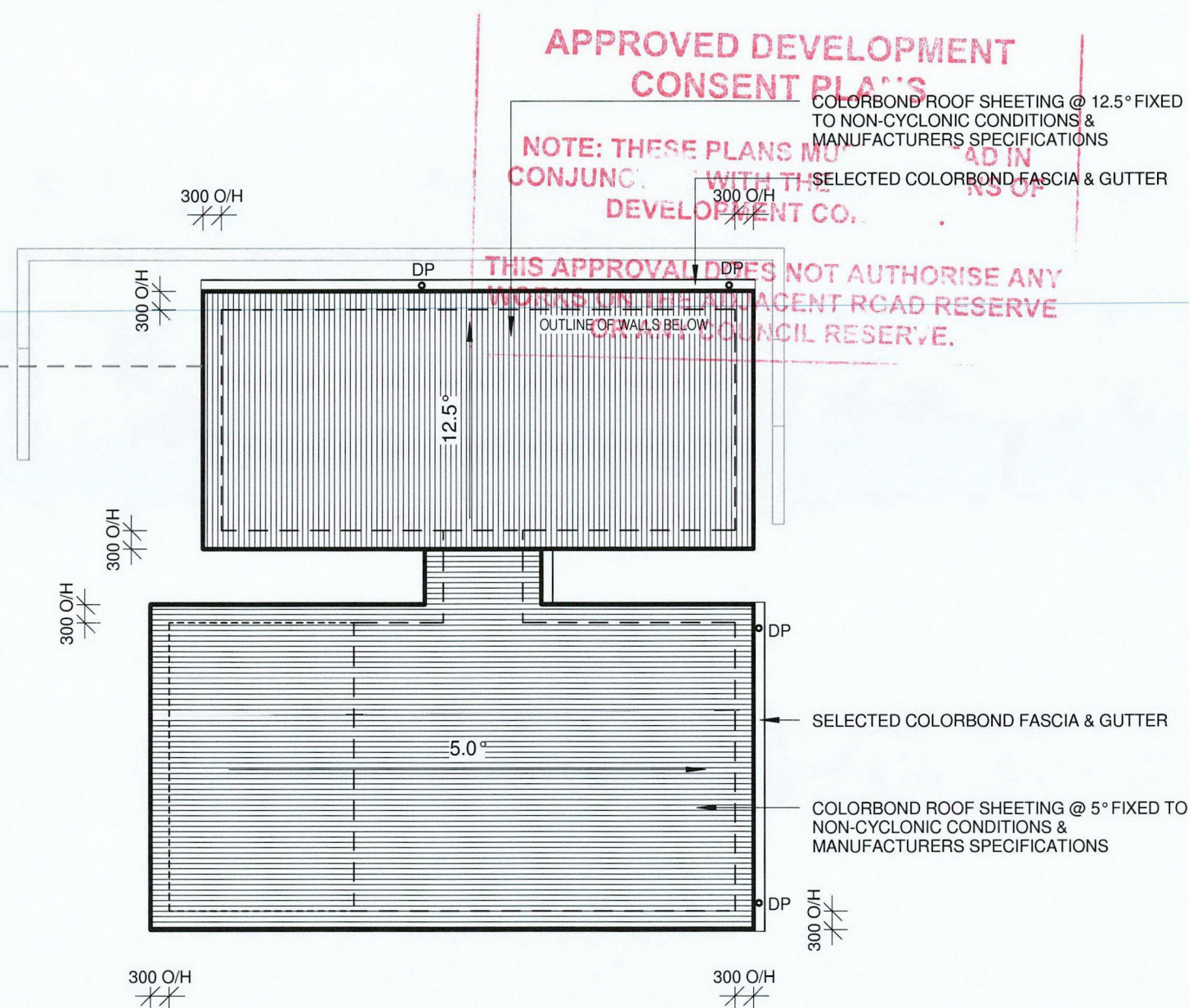
LEGEND:

DP Downpipe
O/H Overhang
Rainwater diverted to Watertanks



SKILLION WALL END DETAIL (SECTIONAL)

SCALE: 1 : 10

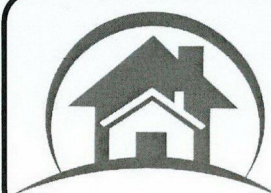


ROOF PLAN

SCALE: 1 : 100

ISSUES

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