

DEVELOPMENT APPLICATION

ADDITION AND ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22-26 ADDISON ROAD, MANLY 2095



LOCATION MAP
NTS

DRAWING LIST

Sheet No.	Sheet Name	Size	Scale	Rev. No.	Rev. Date
DA_00	COVERSHEET	ISO A1	NTS	2	4/10/23
DA_01	EXISTING SITE ANALYSIS	ISO A1	1:200 @ A1 1:400 @ A3	2	4/10/23
DA_02	PROPOSED SITE PLAN	ISO A1	1:200 @ A1 1:400 @ A3	2	4/10/23
DA_10	EXISTING/DEMOLITION : LEVEL 02 & 01	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_11	LEVEL 02 & 01 PLAN	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_12	EXISTING/DEMOLITION : LEVEL 03 & 04	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_13	LEVEL 03 & 04 PLAN	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_14	EXISTING/DEMOLITION : LEVEL 05 & ROOF	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_15	LEVEL 05 & ROOF PLAN	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_20	FRONT & BACK ELEVATIONS	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_21	NORTH -EAST ELEVATION	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_22	SOUTH-WEST ELEVATION	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_30	PARTIAL SECTION + VIEWS/ MATERIAL PALLETE	ISO A1	AS NOTED	2	4/10/23
DA_31	SHADOW ANALYSIS	ISO A1	AS NOTED	2	4/10/23
DA_40	STORMWATER MANAGEMENT PLAN	ISO A1	1:200 @ A1 1:400 @ A3	2	4/10/23
DA_50	LANDSCAPE PLAN	ISO A1	1:200 @ A1 1:400 @ A3	2	4/10/23

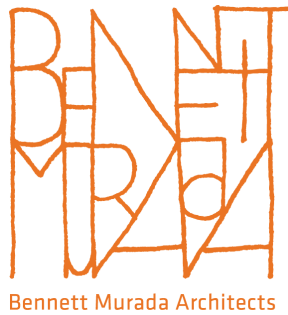
NOTES

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY			
BAL 01,02,...	BALUSTRADE		EXISTING WALLS
CT	CERAMIC TILES		EXISTING (NO WORKS)
EXG	EXISTING		PROPOSED WORKS
FNC 1,2,3...	FENCE		DEMOLISHED
MHWM	MEAN HIGH WATER MARK		
SCN 1,2,3....	SCREEN		



Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
COVERSHEET

Job Number:
2149

Scale:
NTS

Plot Date:
5/10/23

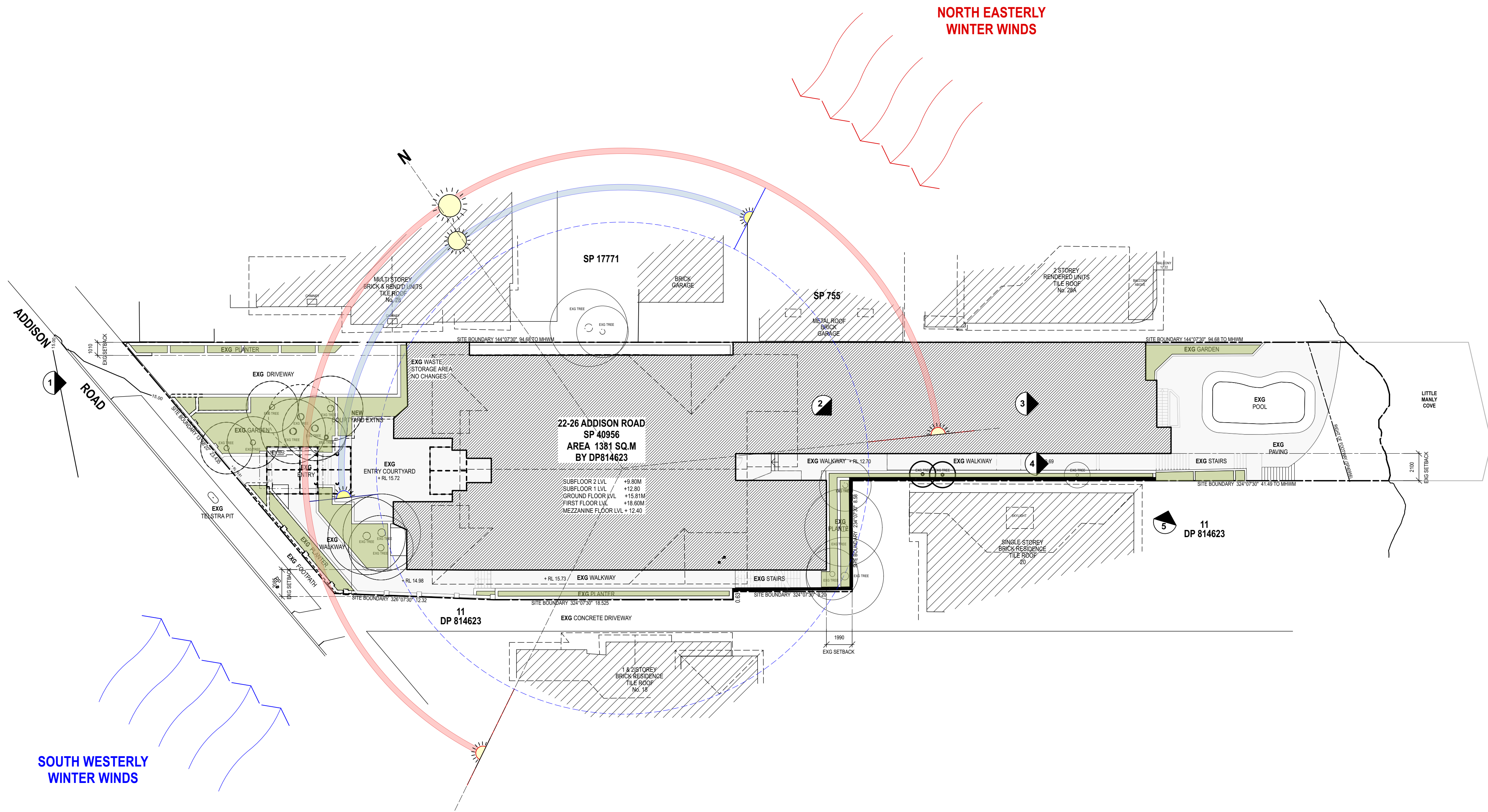
Drawing Status:
DA

Drawing No:
DA_00

Drawn By:
RY

Revision:
2

nominated architect: Dominic Bennett 7365 (NSW)



VIEW 1 - 22-26 ADDISON ROAD MANLY



VIEW 2 - SOUTH TO HARBOUR



VIEW 3 - SOUTH EAST TO HARBOUR



VIEW 4 - SOUTHERN WALKWAY



VIEW 5 - NORTH EAST TO LITTLE MANLY BEACH



NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02...	BALUSTRADE	EXISTING WALLS
CT	CERAMIC TILES	EXISTING (NO WORKS)
EXG	EXISTING	PROPOSED WORKS
FNC 1,2,3...	FENCE	DEMOLISHED
MHWM	MEAN HIGH WATER MARK	
SCN 1,2,3....	SCREEN	



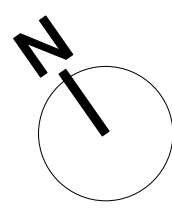
Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

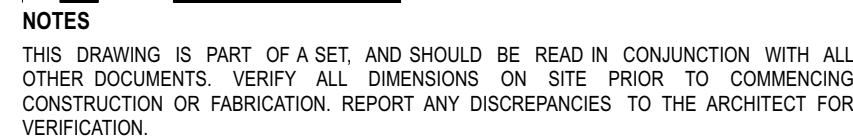
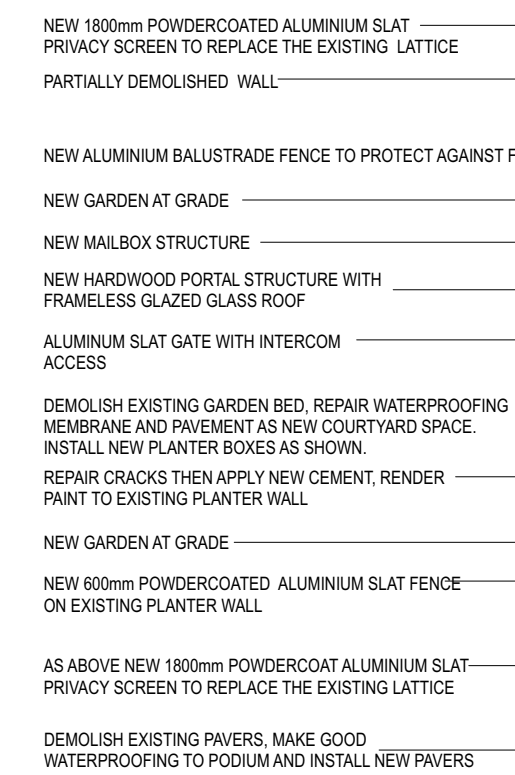
Client:
STRATA PLAN No.40956

Drawing Name:
EXISTING SITE ANALYSIS

Job Number:
2149
Scale:
1:200 @ A1 1:400 @ A3
Plot Date:
5/10/23

Drawing Status:
DA
Drawing No:
DA_01
Revision:
2





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[illegible]

LEGEND / KEY			
BAL 01,02...	BALUSTRADE		EXISTING WALLS
CT	CERAMIC TILES		EXISTING (NO WORKS)
EXG	EXISTING		PROPOSED WORKS
FNC 1,2,3...	FENCE		DEMOLISHED
MHWM	MEAN HIGH WATER MARK		
SCN 1,2,3....	SCREEN		



Project:
**ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095**

Client:
STRATA PLAN No.40956

Drawing Name:
PROPOSED SITE PLAN

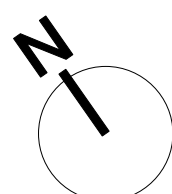
Job Number:
2149

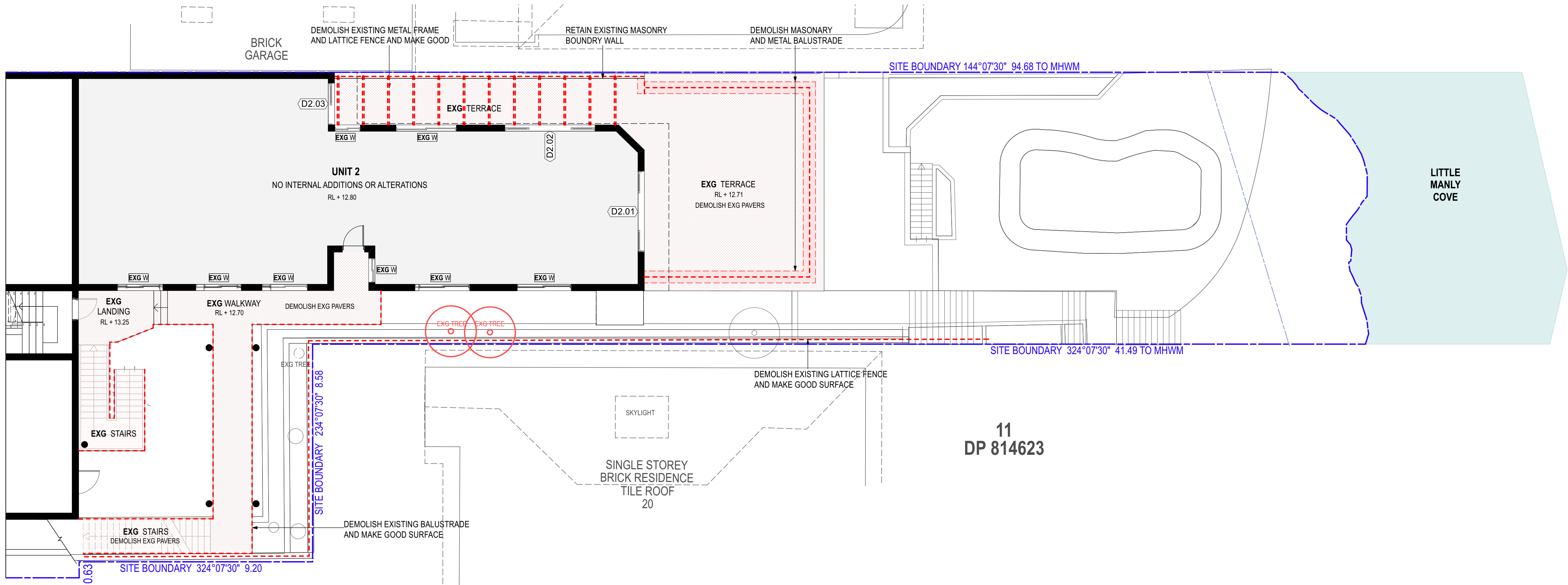
Scale:
1:200 @ A1 1:400 @ A3

Plot Date:
5/10/23

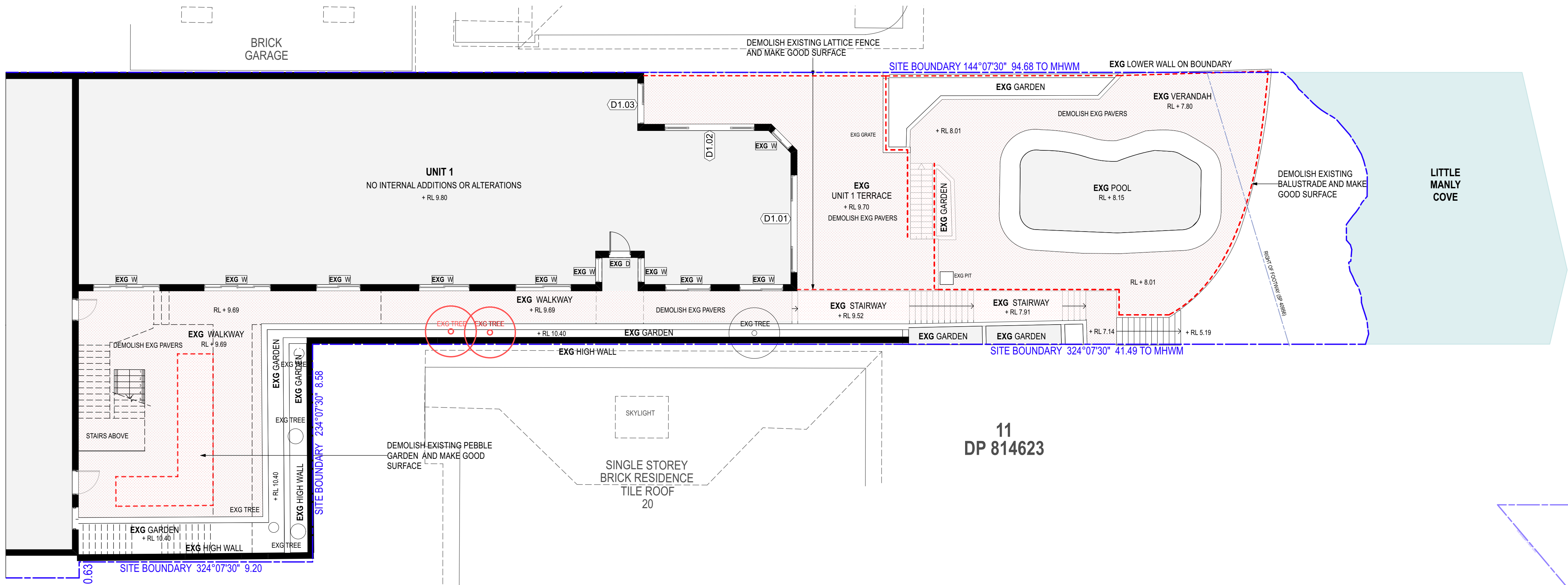
Drawing Status:
DA

Drawing No:
DA 02

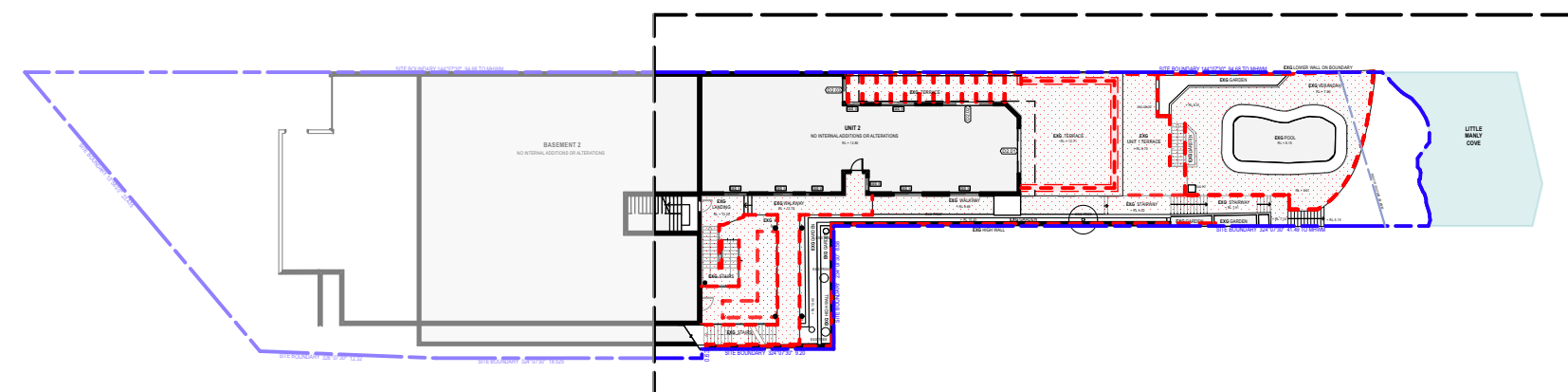




2 FLOOR PLAN - LEVEL 02
Scale: 1:100



1 FLOOR PLAN - LEVEL 01
Scale: 1:100



3 KEYPLAN
Scale: 1:500



NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02...
CT
EXG
FNC 1,2,3...
MHW
SCN 1,2,3....

BALUSTRADE
CERAMIC TILES
EXISTING
FENCE
MEAN HIGH WATER MARK
SCREEN

EXISTING WALLS
EXISTING (NO WORKS)
PROPOSED WORKS
DEMOLISHED



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Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

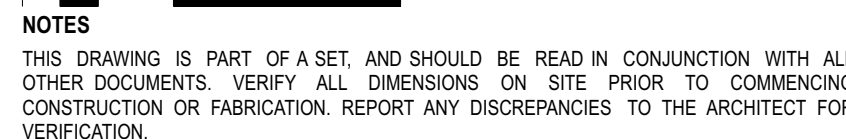
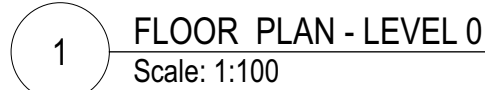
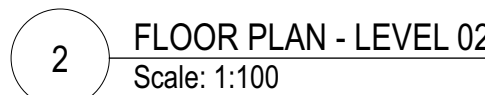
Client:
STRATA PLAN No.40956

Drawing Name:
EXISTING/DEMOLITION : LEVEL 02 & 01

Job Number:
2149
Scale:
1:100 @ A1 1:200 @ A3
Plot Date:
5/10/23

Drawing Status:
DA
Drawing No:
DA_10
Revision:
2

Drawn By:
RY
Revision:
2
nominated architect: Dominic Bennett 7365 (NSW)



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[illegible]

LEGEND / KEY

BAL 01,02,...	BALUSTRADE
CT	CERAMIC TILES
EXG	EXISTING
FNC 1,2,3...	FENCE
MHWM	MEAN HIGH WATER MARK
SCN 1,2,3...	SCREEN

 EXISTING WALLS
 EXISTING (NO WORKS)
 PROPOSED WORKS
 DEMOLISHED



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Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
LEVEL 02 & 01 PLAN

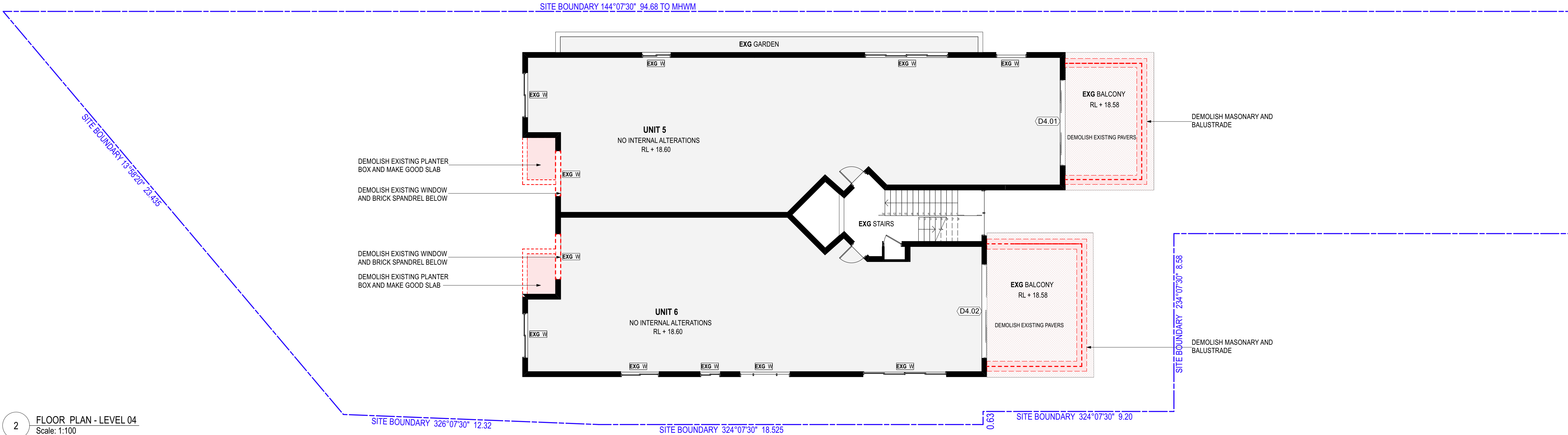
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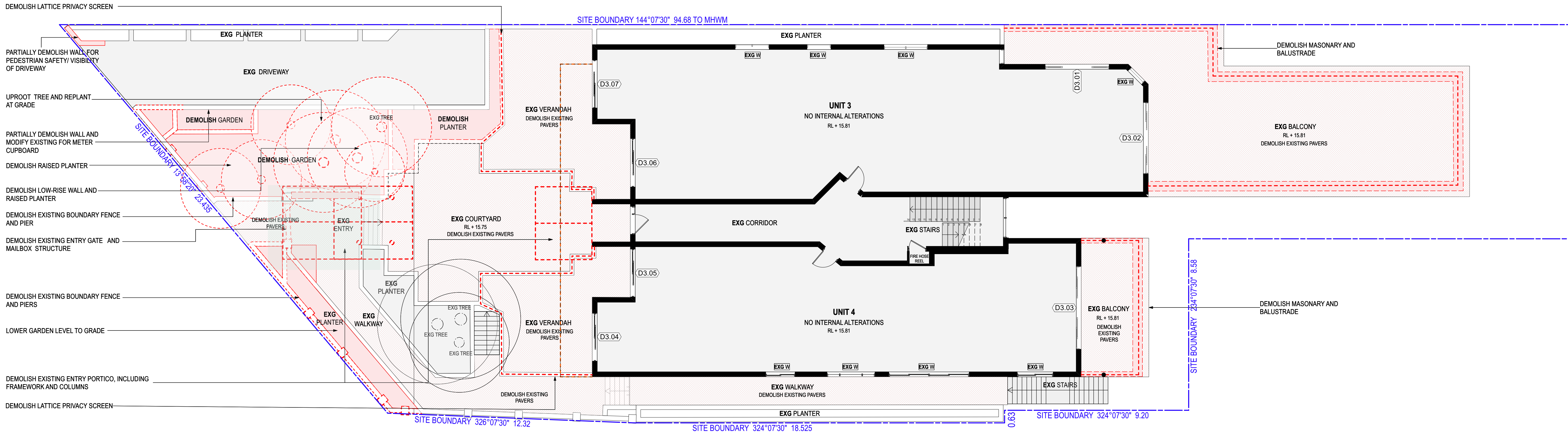
Plot Date:
5/10/23

Drawing Status:	Drawn By:
DA	RY
Drawing No:	Revision:
DA_11	2

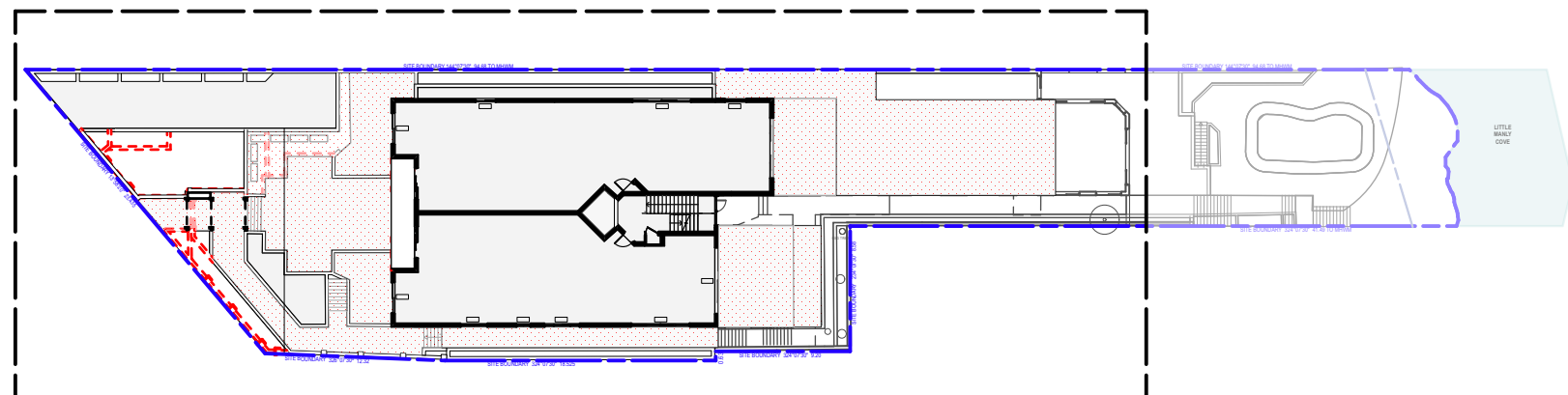
nominated architect: Dominic Bennett 7365 (NSW)



2 FLOOR PLAN - LEVEL 04
Scale: 1:100



1 FLOOR PLAN - LEVEL 03
Scale: 1:100



3 KEYPLAN
Scale: 1:500



NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	18/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02,...
CT
EXG
FNC 1,2,3...
MHHW
SCN 1,2,3....

BALUSTRADE
CERAMIC TILES
EXISTING
FENCE
MEAN HIGH WATER MARK
SCREEN

EXISTING WALLS
EXISTING (NO WORKS)
PROPOSED WORKS
DEMOLISHED



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Project:
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22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

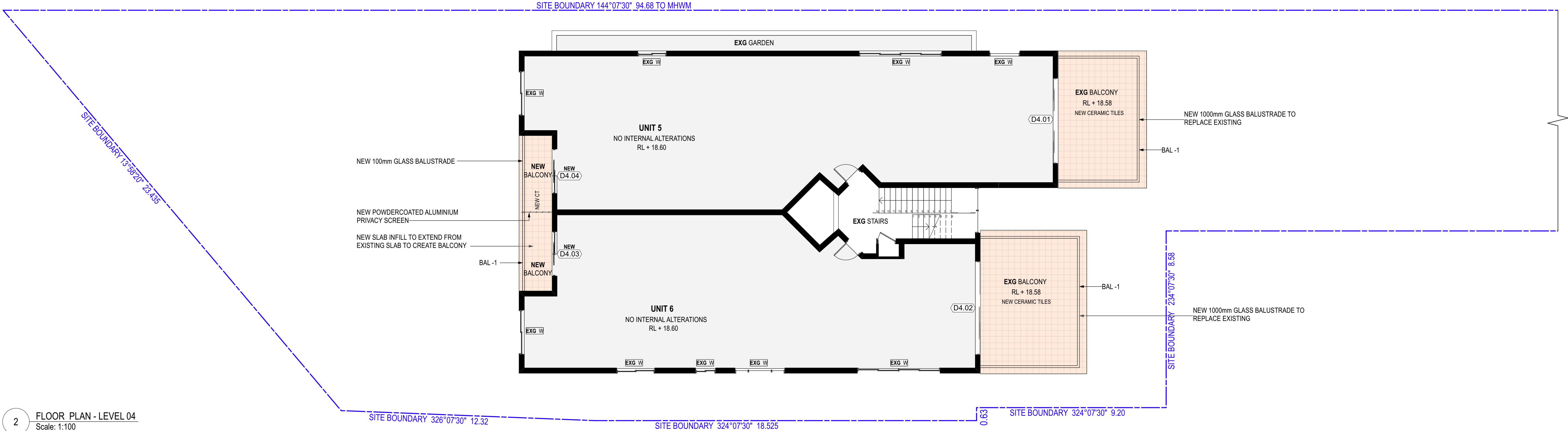
Drawing Name:
EXISTING/DEMOLITION : LEVEL 03 & 04

Job Number:
2149
Scale:
1:100 @ A1 1:200 @ A3
Plot Date:
5/10/23

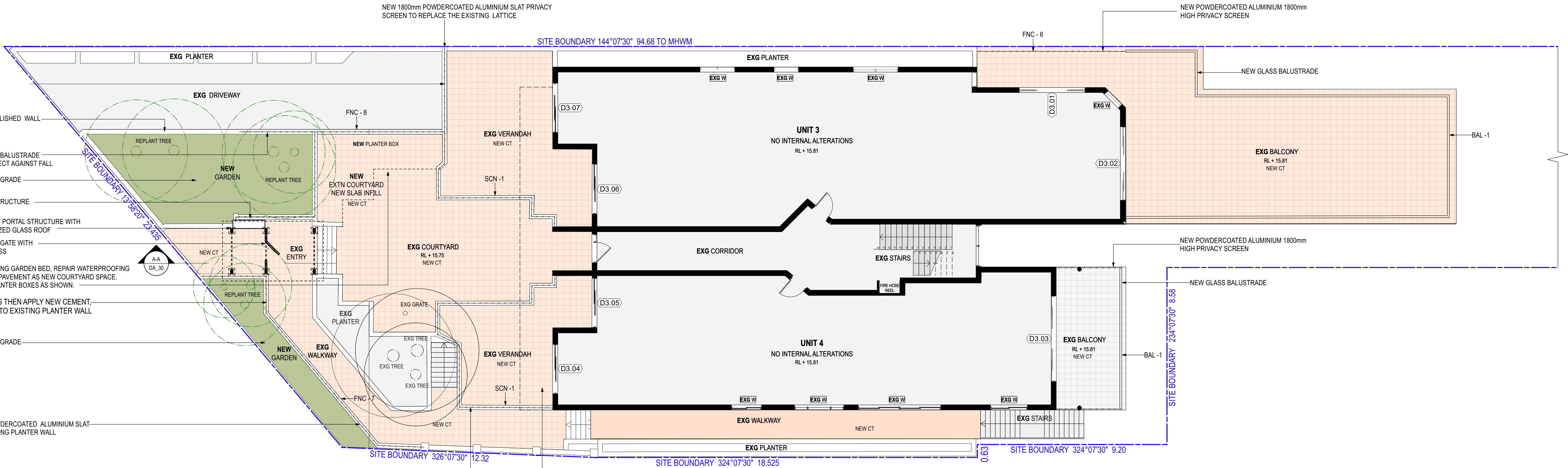
Drawing Status:
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Drawing No:
DA_12

Drawn By:
RY
Revision:
2

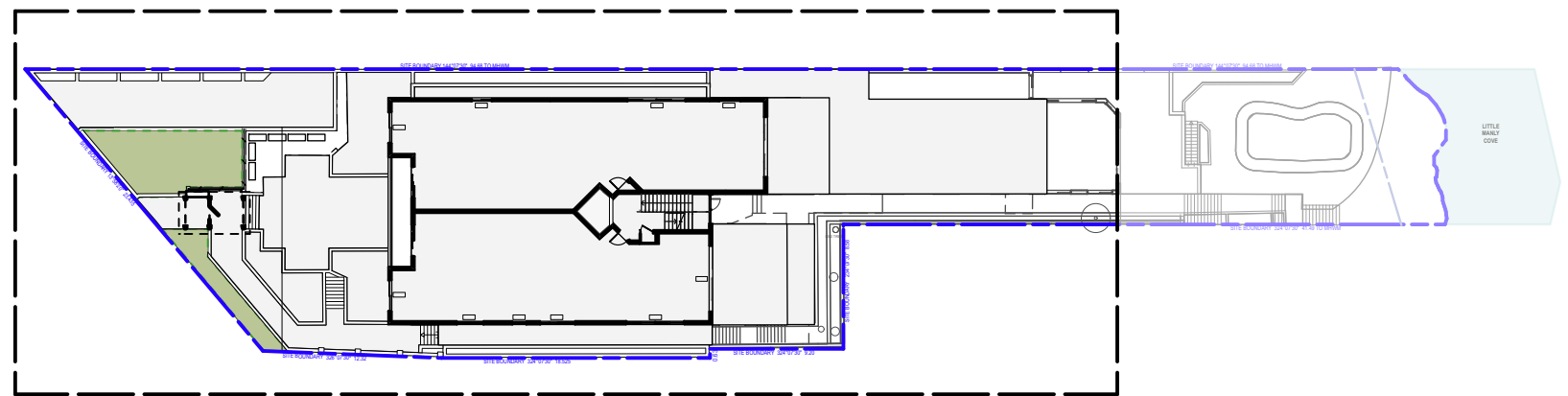
nominated architect: Dominic Bennett 7365 (NSW)



2 FLOOR PLAN - LEVEL 04
Scale: 1:100



1 FLOOR PLAN - LEVEL 03
Scale: 1:100



7 KEYPLAN
Scale: 1:500



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02,...	BALUSTRADE	EXISTING WALLS
CT	CERAMIC TILES	EXISTING (NO WORKS)
EXG	EXISTING	PROPOSED WORKS
FNC 1,2,3...	FENCE	DEMOLISHED
MHWM	MEAN HIGH WATER MARK	
SCN 1,2,3,...	SCREEN	



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Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

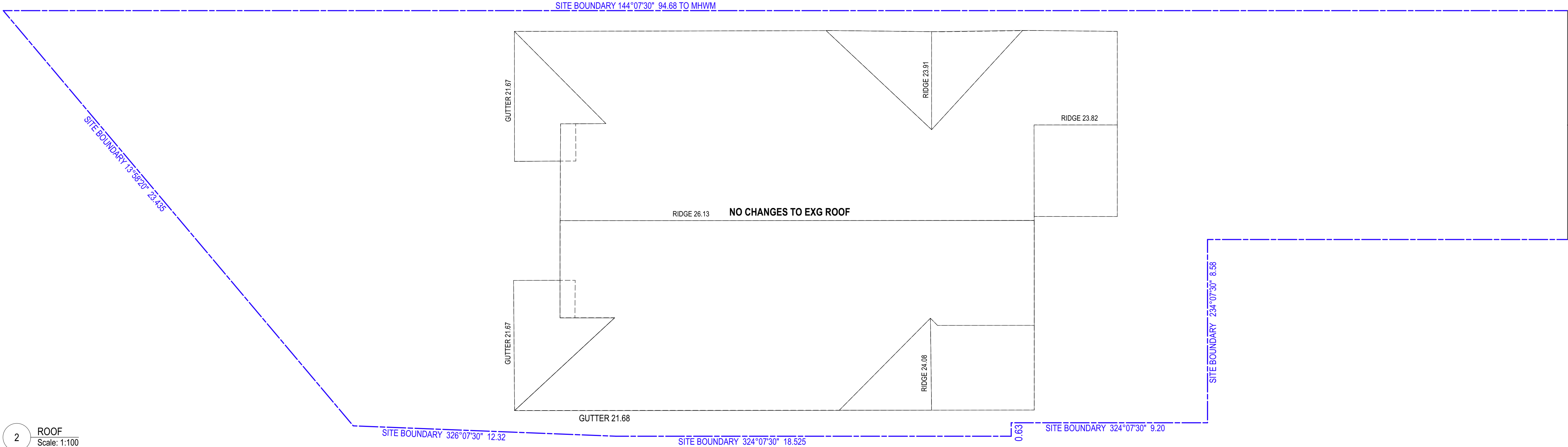
Client:
STRATA PLAN No.40956

Drawing Name:
LEVEL 03 & 04 PLAN

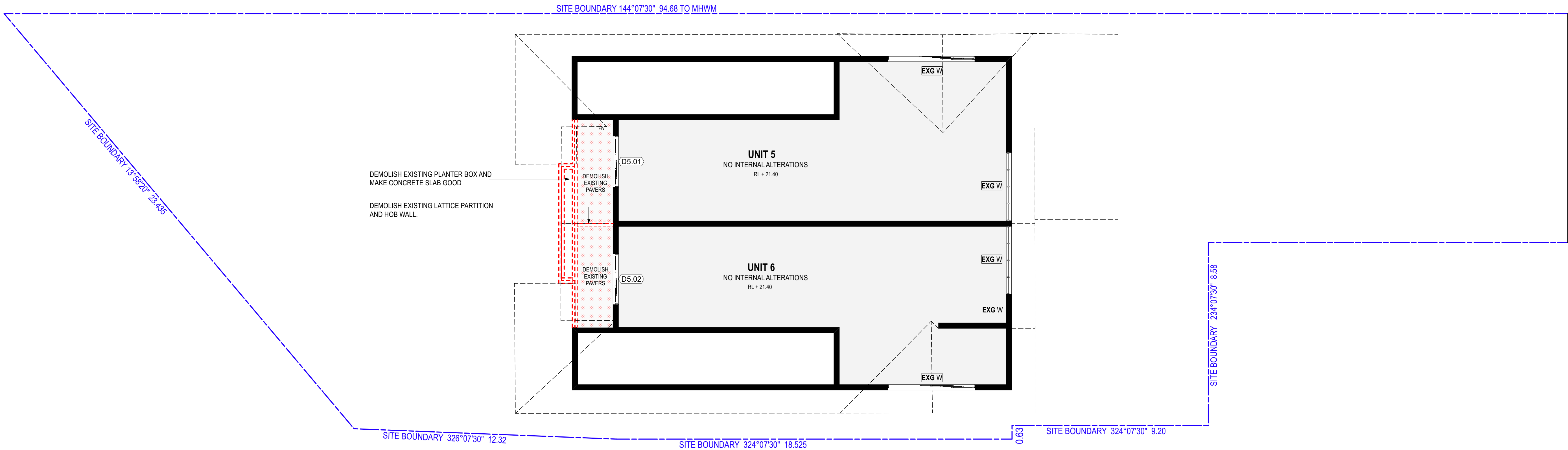
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Plot Date:
5/10/23

Drawing Status:
DA
Drawing No:
DA_13
Revision:
2

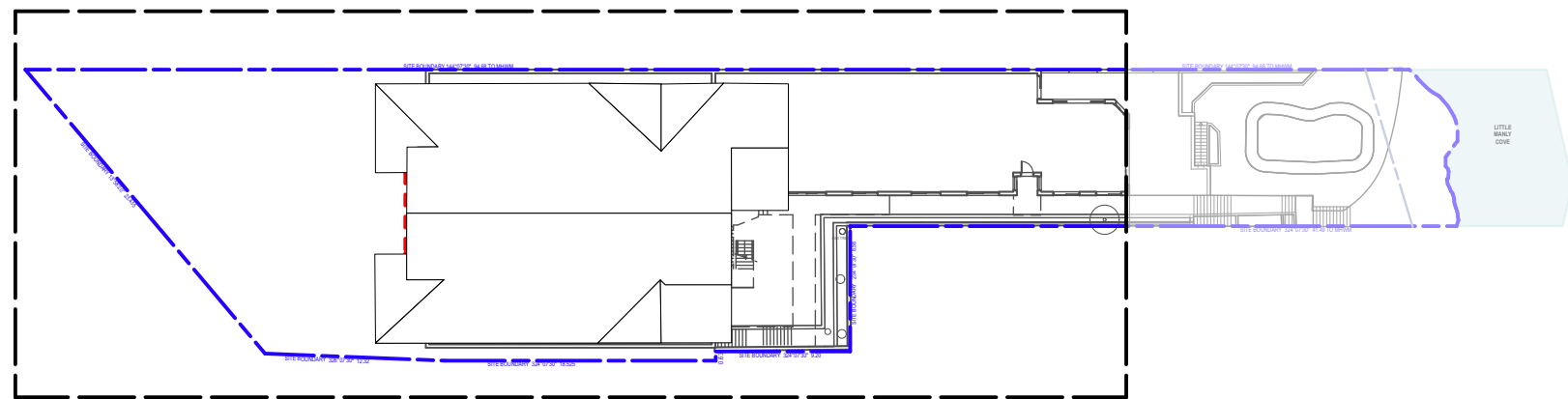
Drawn By:
RY
Revision:
2
nominated architect: Dominic Bennett 7365 (NSW)



2 ROOF
Scale: 1:100



1 FLOOR PLAN - LEVEL 05
Scale: 1:100



3 KEYPLAN
Scale: 1:500



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02,...
CT
EXG
FNC 1,2,3...
MHHW
SCN 1,2,3....

BALUSTRADE
CERAMIC TILES
EXISTING
FENCE
MEAN HIGH WATER MARK
SCREEN

EXISTING WALLS
EXISTING (NO WORKS)
PROPOSED WORKS
DEMOLISHED



Project:
**ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095**

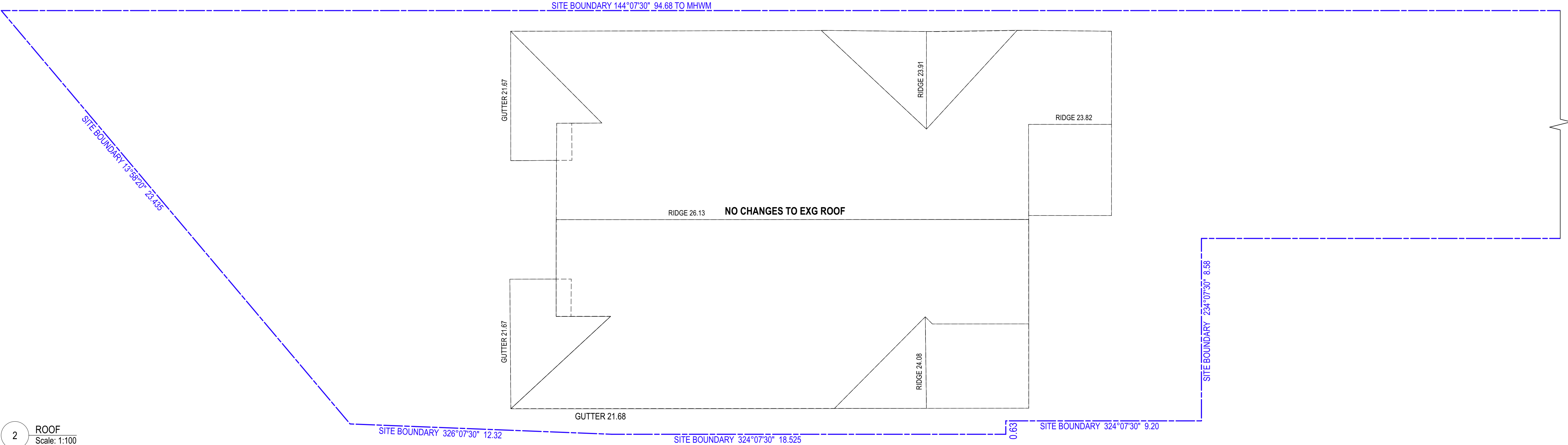
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STRATA PLAN No.40956

Drawing Name:
EXISTING/DEMOLITION : LEVEL 05 & ROOF

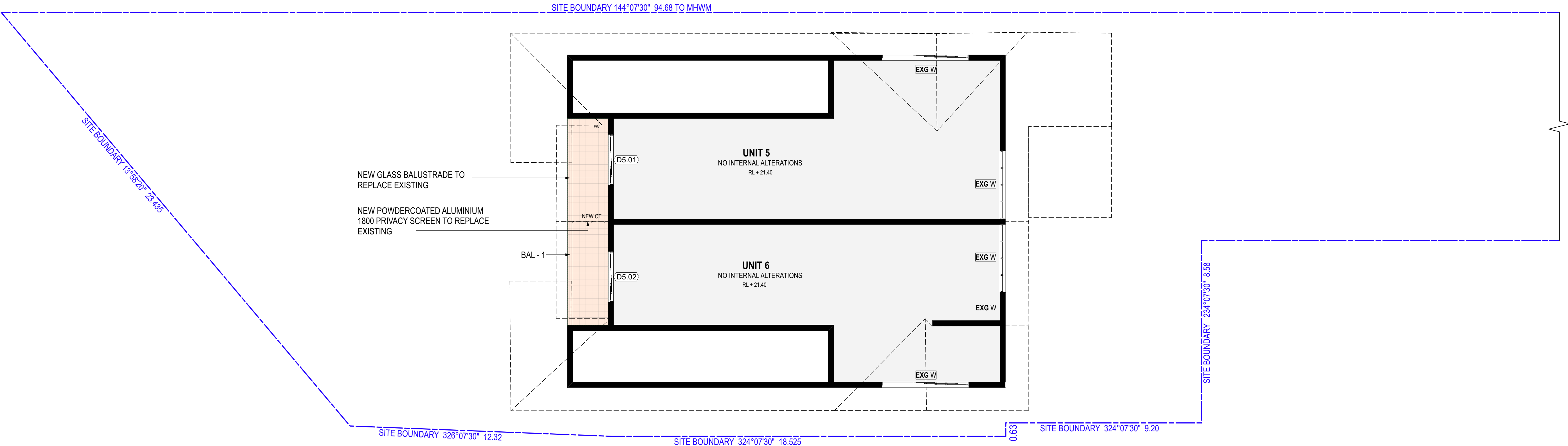
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Plot Date:
5/10/23

Drawing Status:
DA
Drawing No:
DA_14

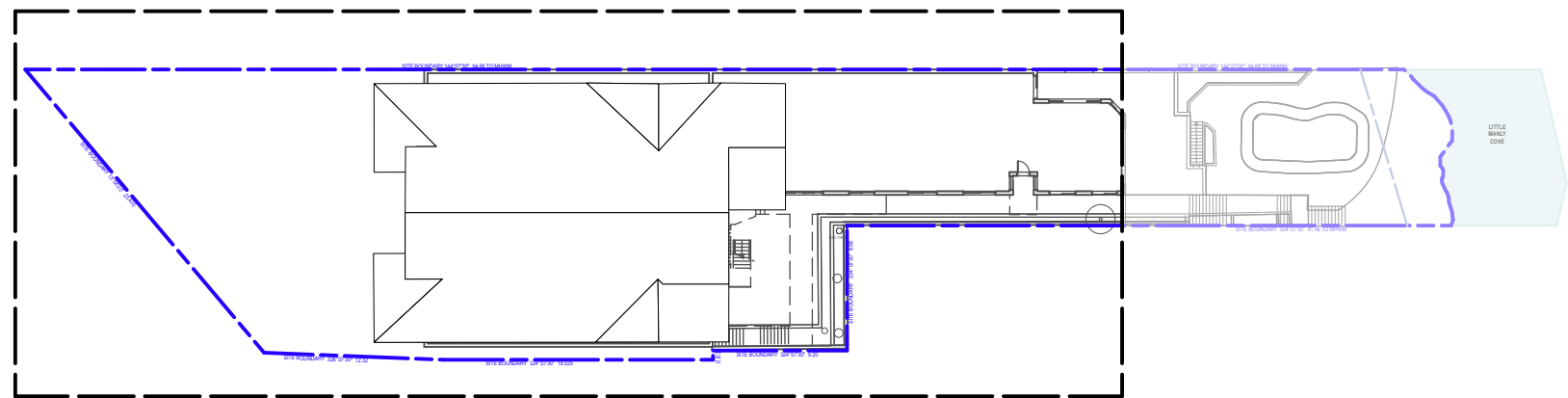
Drawn By:
RY
Revision:
2



2 ROOF
Scale: 1:100



1 FLOOR PLAN -LEVEL 05
Scale: 1:100



NOTES
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Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY			
BAL 01,02,...	BALUSTRADE	EXISTING WALLS	
CT	CERAMIC TILES	EXISTING (NO WORKS)	
EXG	EXISTING	PROPOSED WORKS	
FNC 1,2,3...	FENCE	DEMOLISHED	
MHWM	MEAN HIGH WATER MARK		
SCN 1,2,3....	SCREEN		

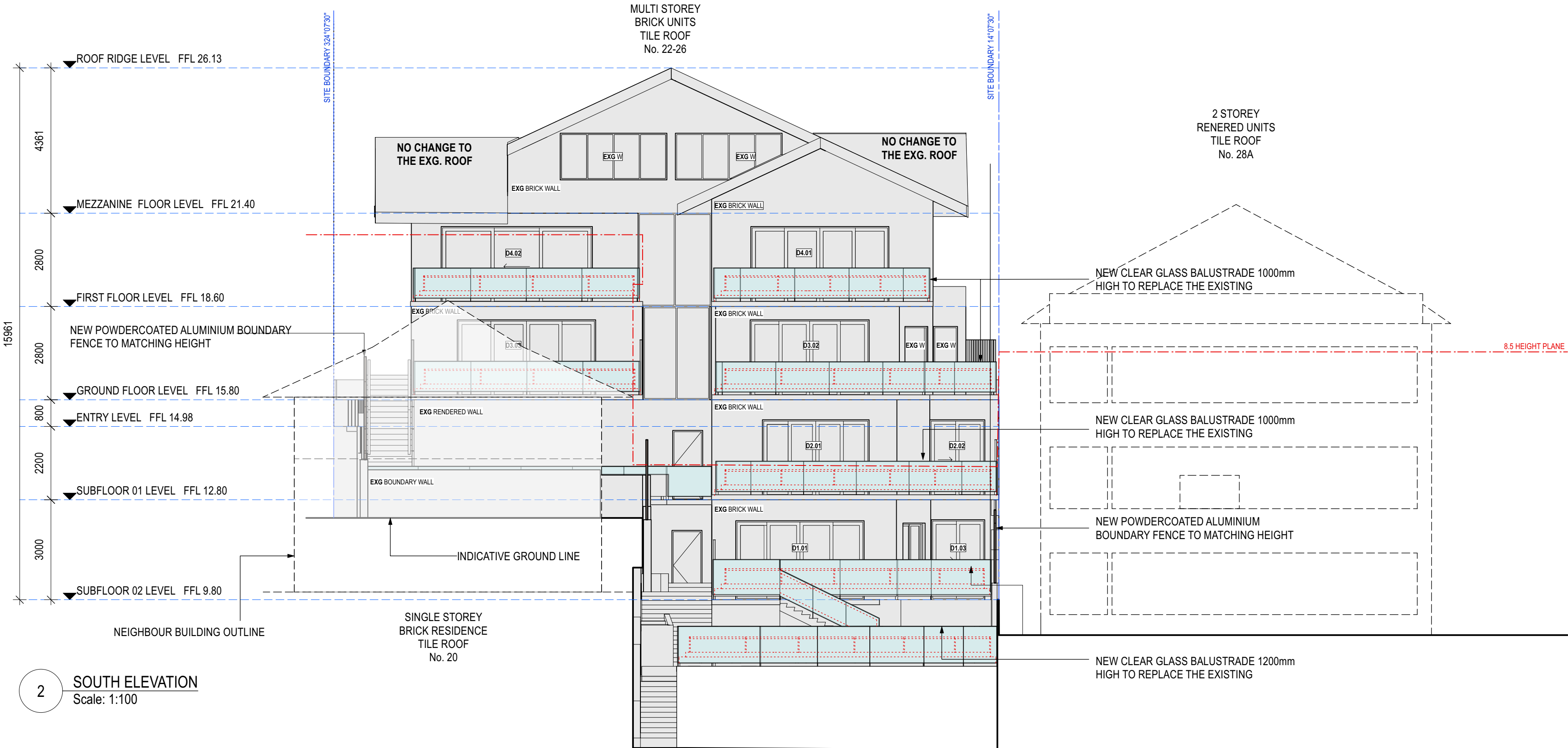
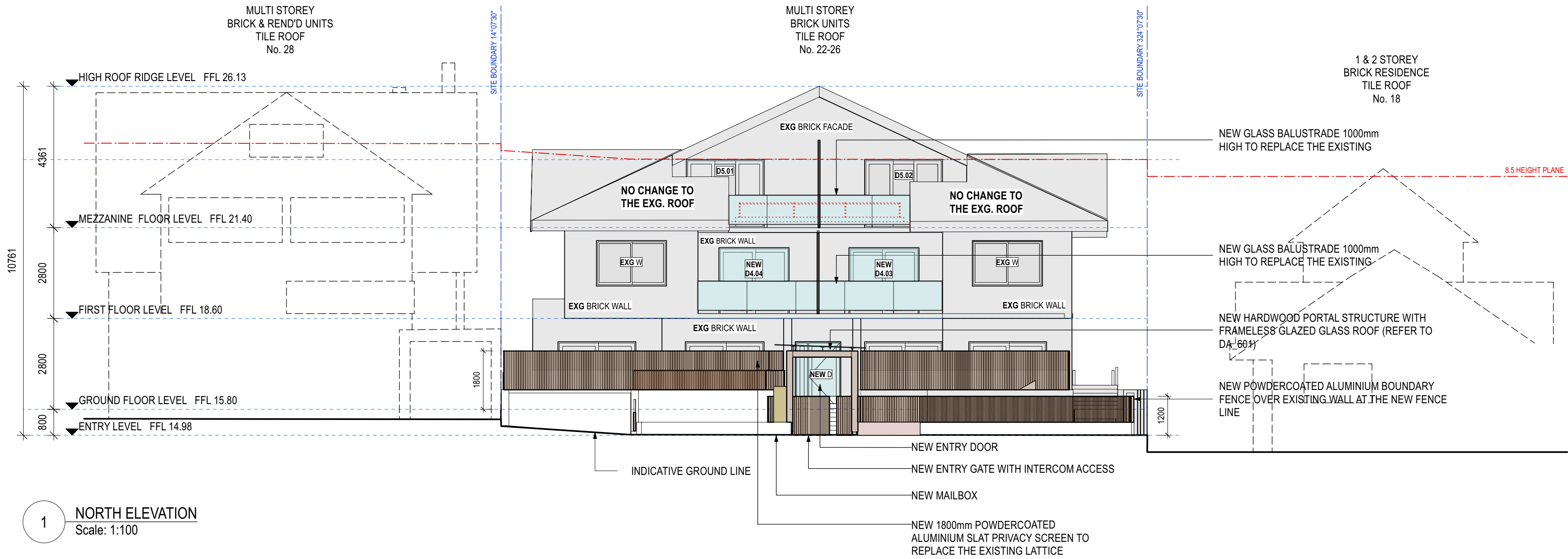


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Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095
Client:
STRATA PLAN No.40956
Drawing Name:
LEVEL 05 & ROOF PLAN

Job Number:
2149
Scale:
1:100 @ A1 1:200 @ A3
Plot Date:
5/10/23
Drawing Status:
DA
Drawing No:
DA_15
Drawn By:
RY
Revision:
2
nominated architect: Dominic Bennett 7365 (NSW)

NOTE:
NO CHANGE TO EXG BUILDING



NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02,...
CT
EXG
FNC 1,2,3...
MHWM
SCN 1,2,3....

BALUSTRADE
CERAMIC TILES
EXISTING
FENCE
MEAN HIGH WATER MARK
SCREEN

EXISTING WALLS
EXISTING (NO WORKS)
PROPOSED WORKS
DEMOLISHED



Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
FRONT & BACK ELEVATIONS

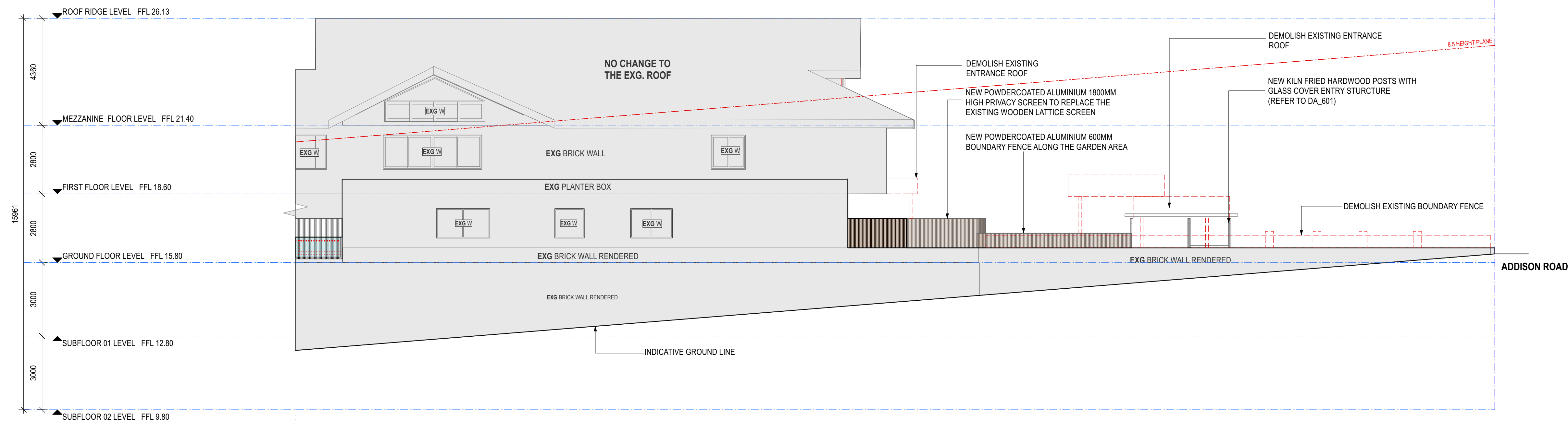
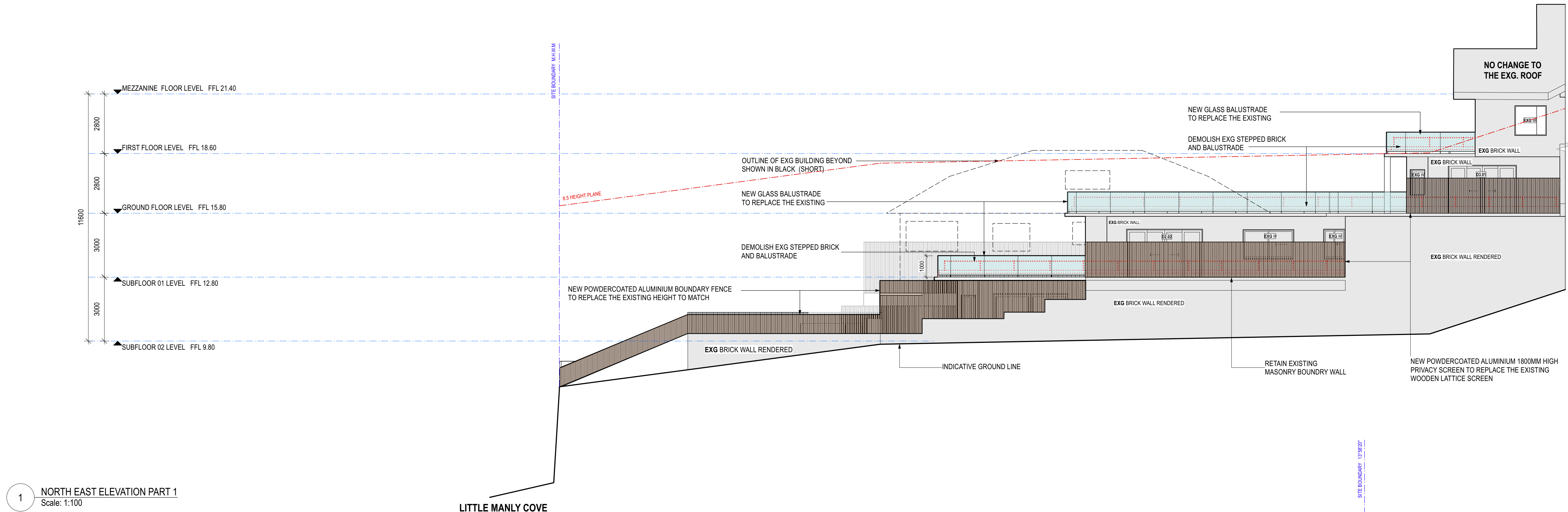
Job Number:
2149
Scale:
1:100 @ A1 1:200 @ A3
Plot Date:
5/10/23

Drawing Status:
DA
Drawing No:
DA 20
Drawn By:
RY
Revision:
2

nominated architect: Dominic Bennett 7365 (NSW)

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NOTE:
NO CHANGE TO EXG BUILDING



2 NORTH EAST ELEVATION PART 2
Scale: 1:100



NOTES

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[illegible]

LEGEND / KEY			
BAL 01,02,...	BALUSTRADE		EXISTING WALLS
CT	CERAMIC TILES		EXISTING (NO WORKS)
EXG	EXISTING		PROPOSED WORKS
FNC 1,2,3...	FENCE		DEMOLISHED
MHWM	MEAN HIGH WATER MARK		
SCN 1,2,3,...	SCREEN		



Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
NORTH -EAST ELEVATION

Job Number:
2149

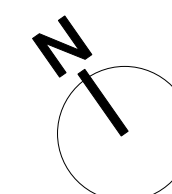
Scale:
1:100 @ A1 1:200 @ A3

Plot Date:
5/10/23

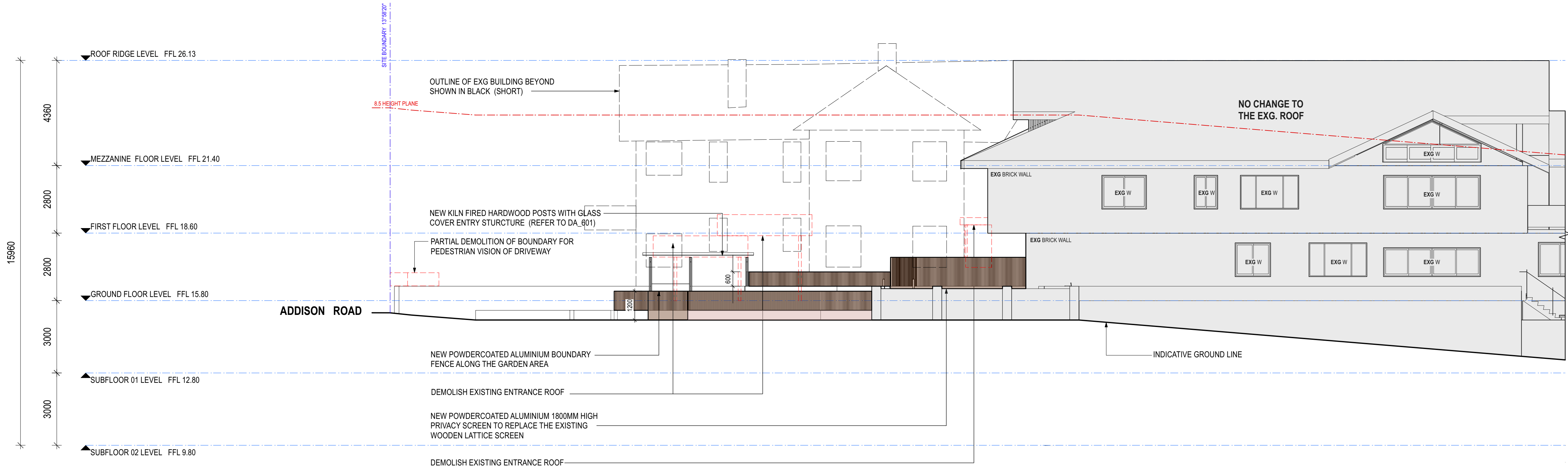
Drawing Status:	Drawn By
DA	RY
Drawing No:	Revision:
DA_21	2

Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph. (02) 9043 9968 e. info@bennettmurada.com.au

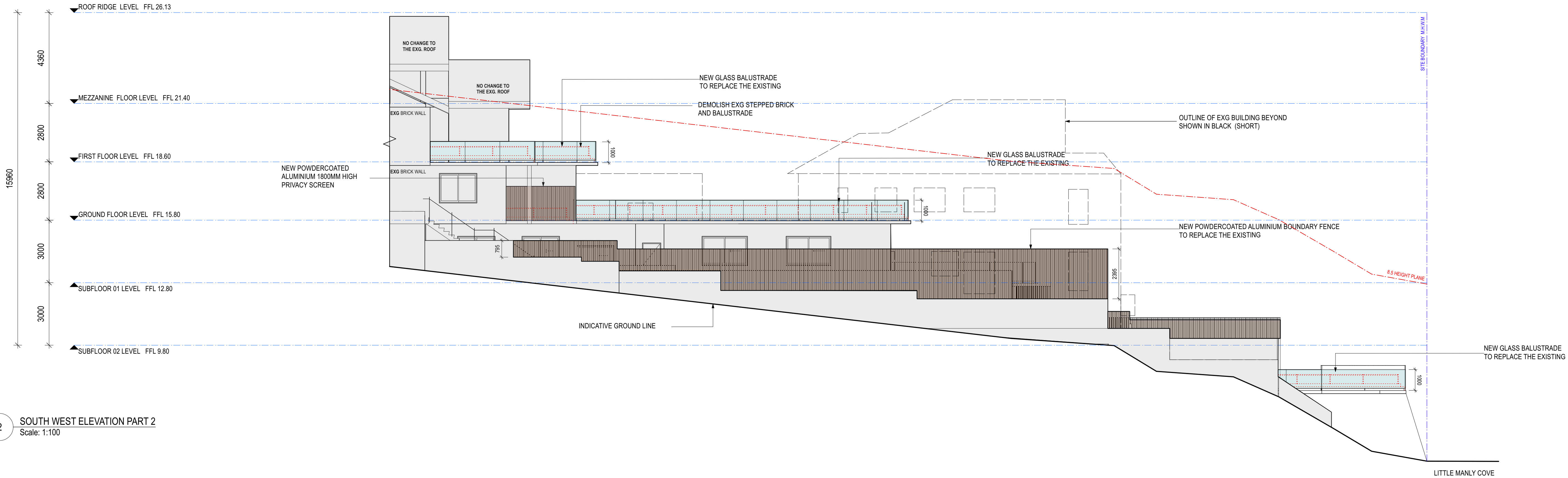
nominated architect: Dominic Bennett 7365 (NSW)



NOTE:
NO CHANGE TO EXG BUILDING



1 SOUTH WEST ELEVATION PART 1
Scale: 1:100



2 SOUTH WEST ELEVATION PART 2
Scale: 1:100



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02,...
CT
EXG
FNC 1,2,3...
MHHM
SCN 1,2,3....

BALUSTRADE
CERAMIC TILES
EXISTING
FENCE
MEAN HIGH WATER MARK
SCREEN

EXISTING WALLS
EXISTING (NO WORKS)
PROPOSED WORKS
DEMOLISHED



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Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
SOUTH-WEST ELEVATION

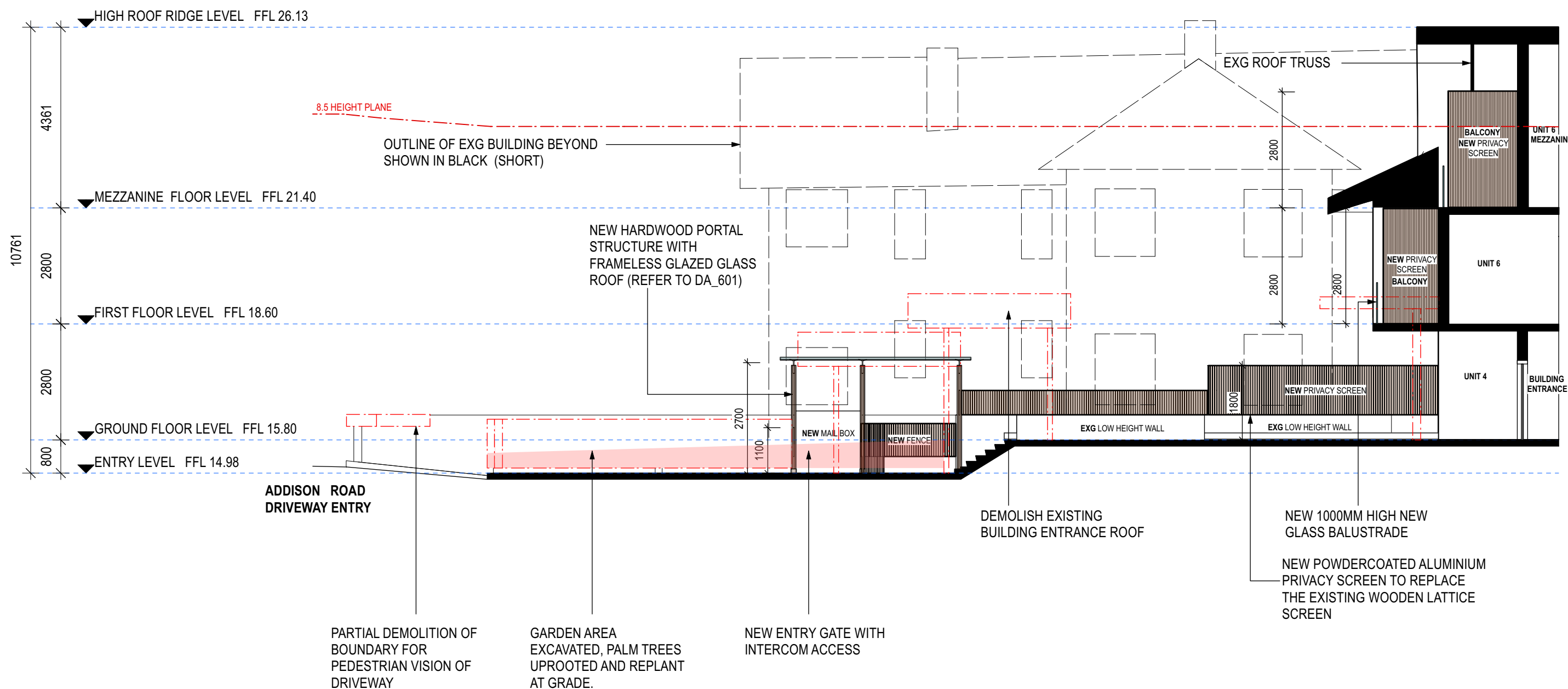
Job Number:
2149
Scale:
1:100 @ A1 1:200 @ A3
Plot Date:
5/10/23

Drawing Status:
DA
Drawing No:
DA 22
Drawn By:
RY
Revision:
2

nominated architect: Dominic Bennett 7365 (NSW)



1 VIEWS/ MATERIAL PALLETE
Scale: 1:60



3 SECTION A-A
Scale: 1:100

NOTES

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY	
BAL 01,02... CT	BALUSTRADE CERAMIC TILES
EXG	EXISTING
FNC 1,2,3...	FENCE
MHWM	MEAN HIGH WATER MARK
SCN 1,2,3...	SCREEN
	EXISTING WALLS
	EXISTING (NO WORKS)
	PROPOSED WORKS
	DEMOLISHED



Project:
**ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095**

Client:
STRATA PLAN No.40956

Drawing Name:
PARTIAL SECTION + VIEWS/ MATERIAL PALLETE

Job Number:
2149

Scale:
AS NOTED

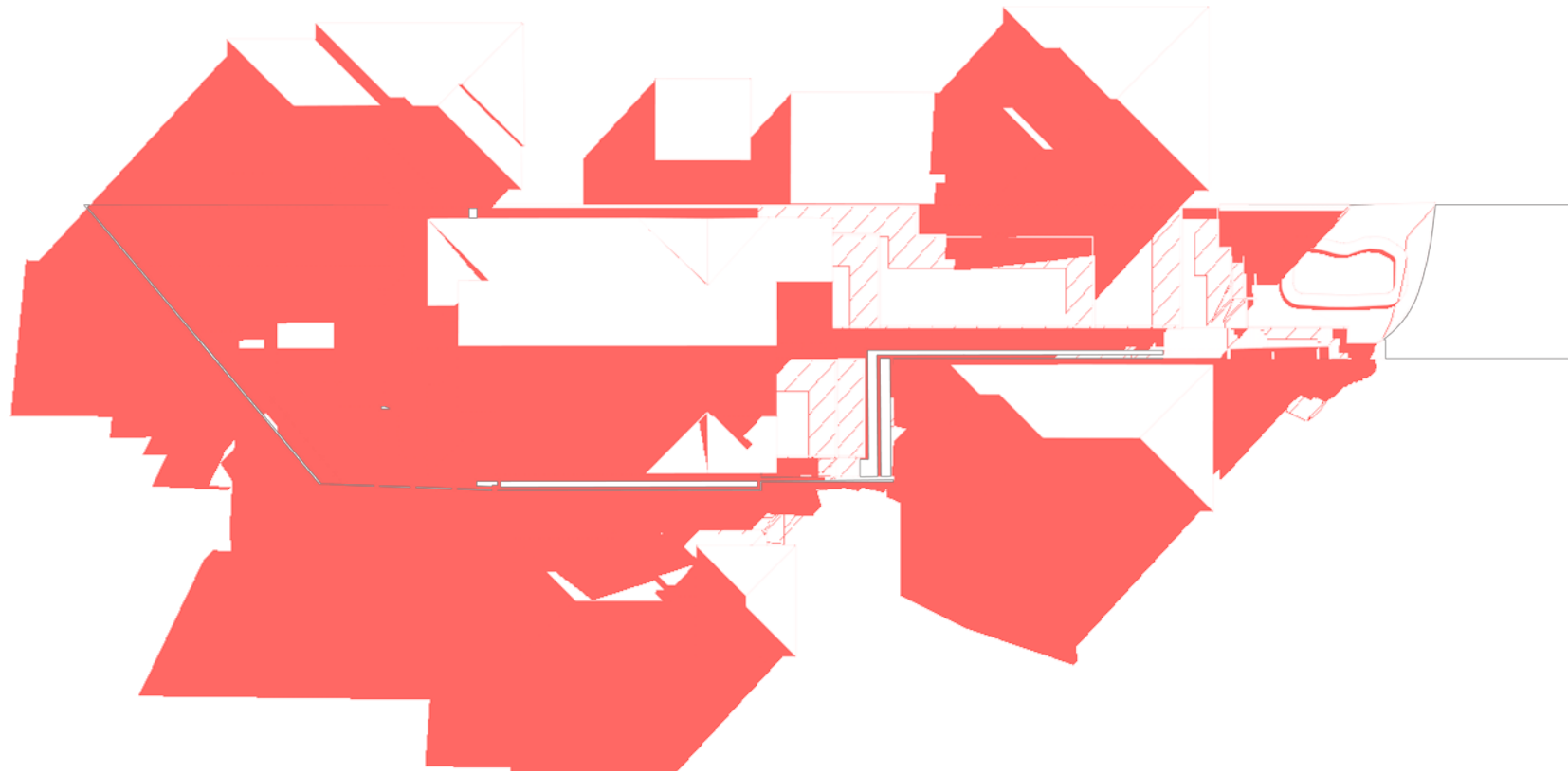
Plot Date:
5/10/23

Drawing Status:
DA

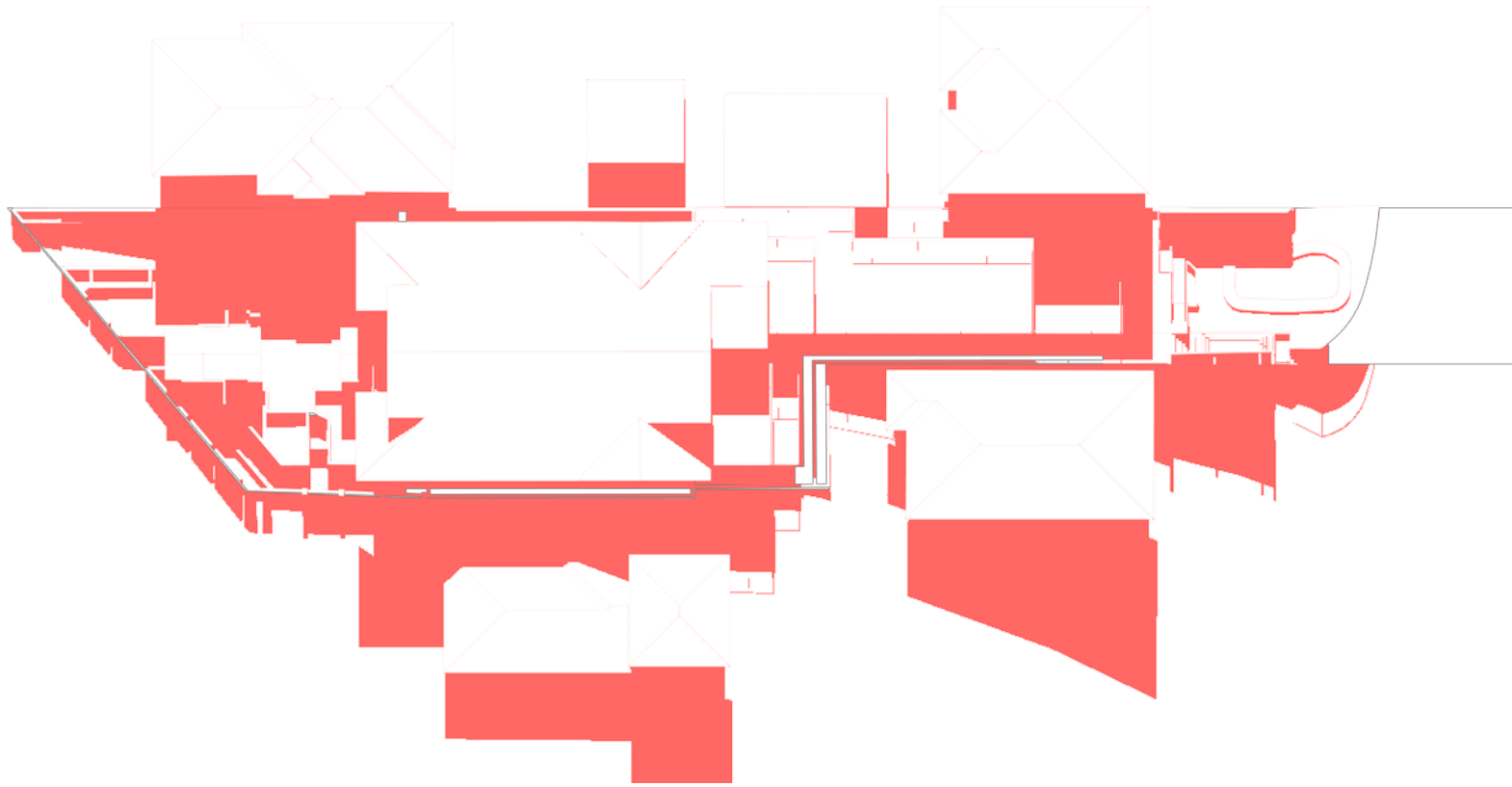
Drawing No:
DA_30

Drawn By:
RY

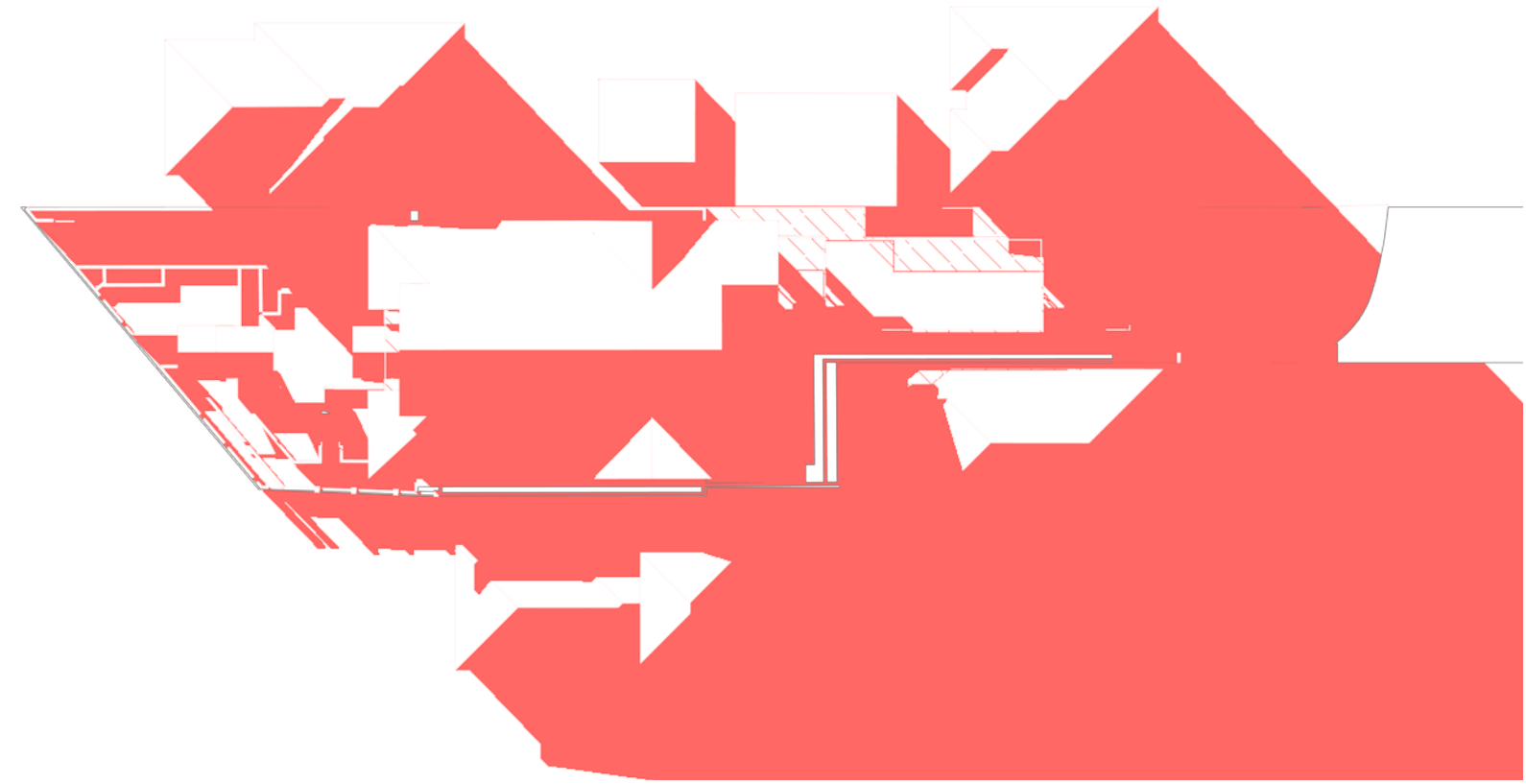
Revision:
2



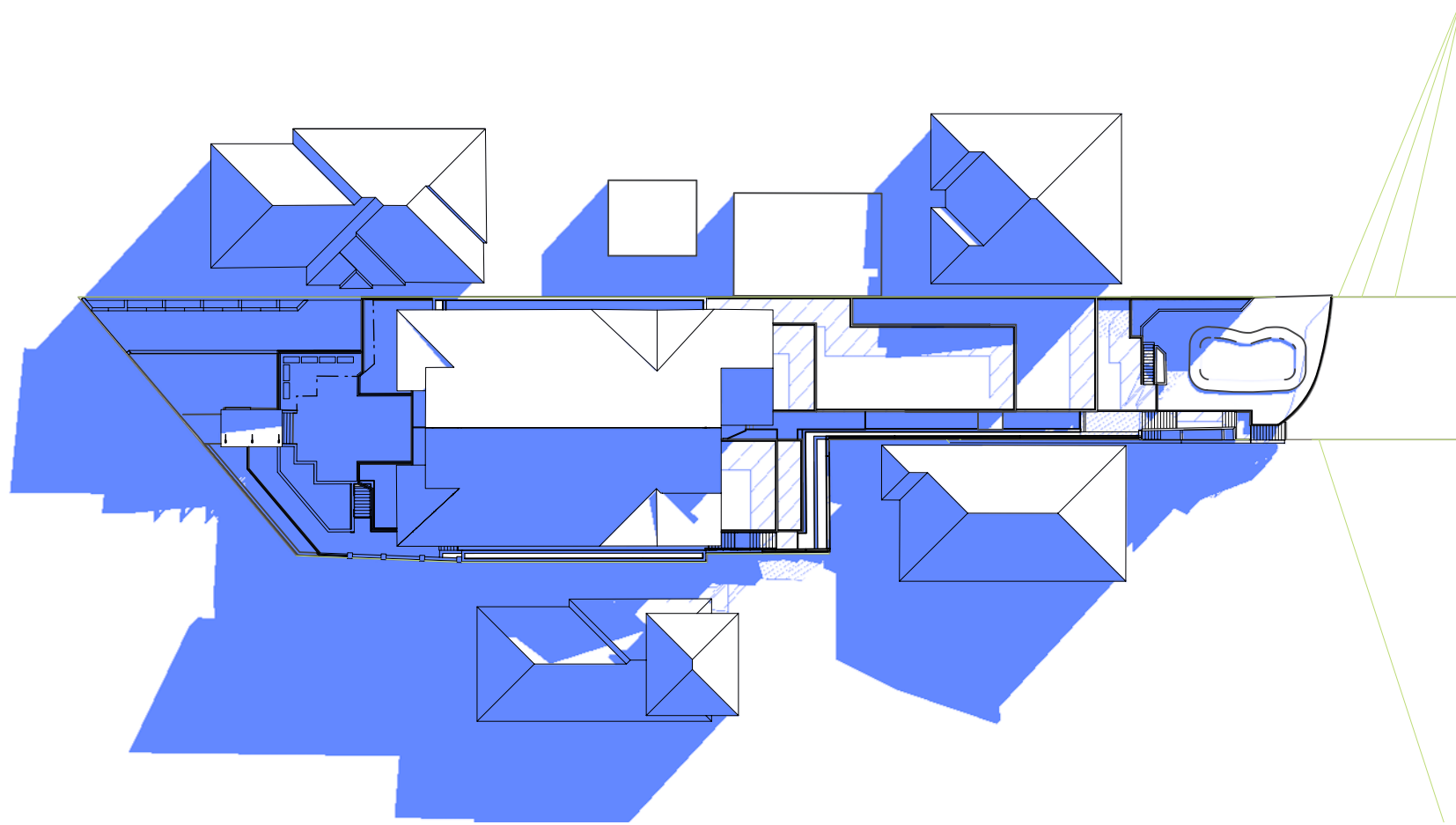
1 EXISTING @ JUNE 21 9am
Scale: Actual Size



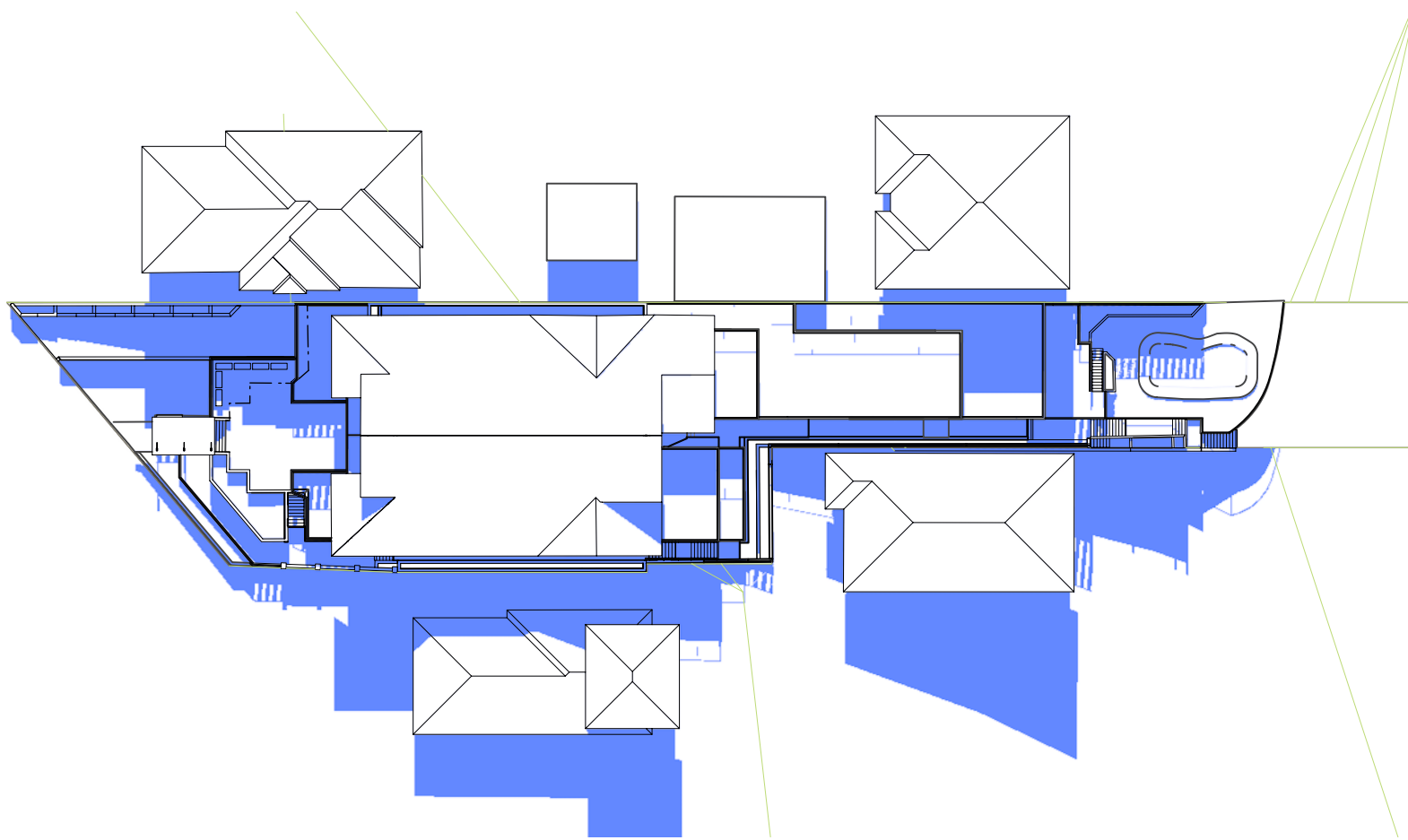
4 EXISTING @ JUNE 21 9am
Scale: Actual Size



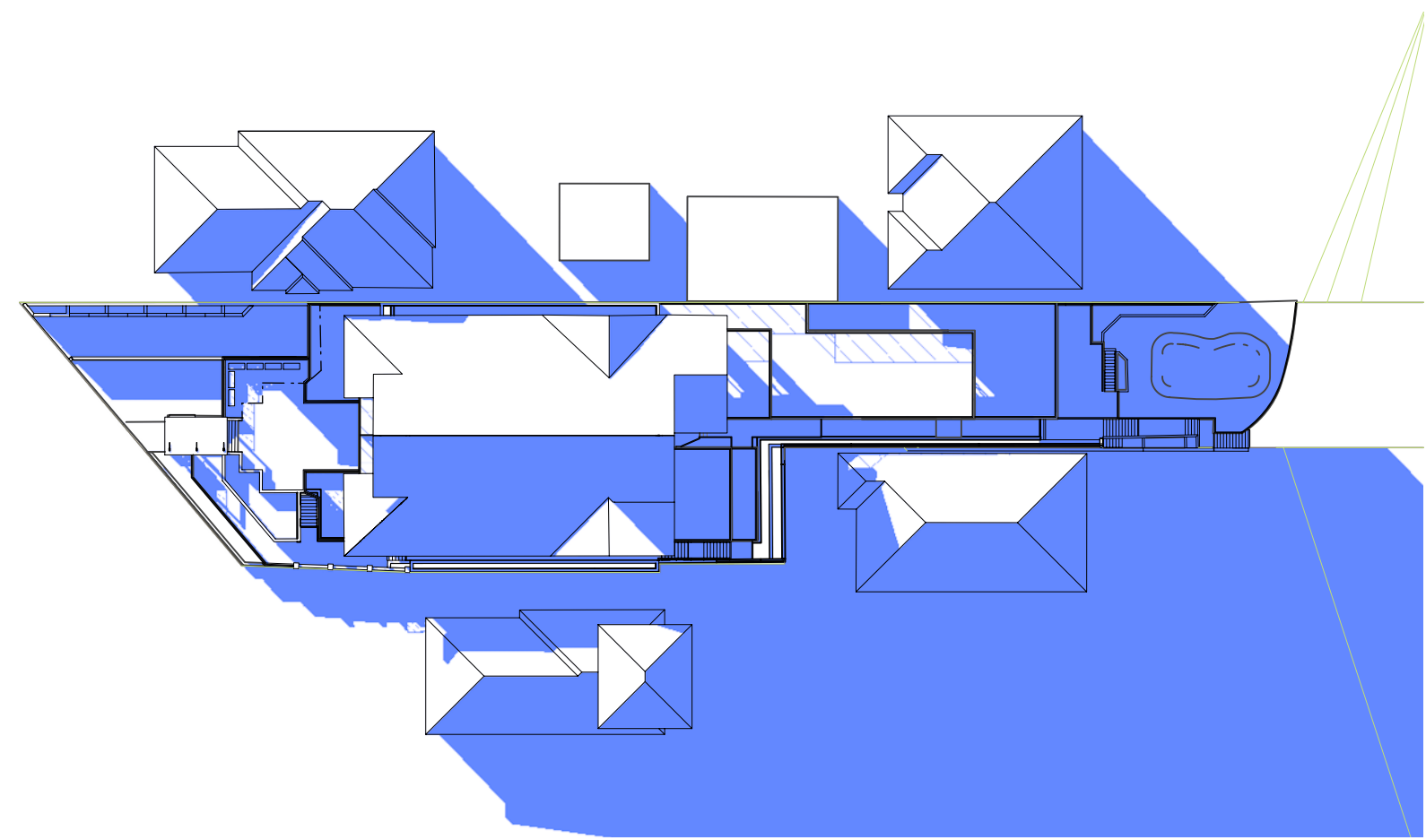
7 EXISTING @ JUNE 21 9am
Scale: Actual Size



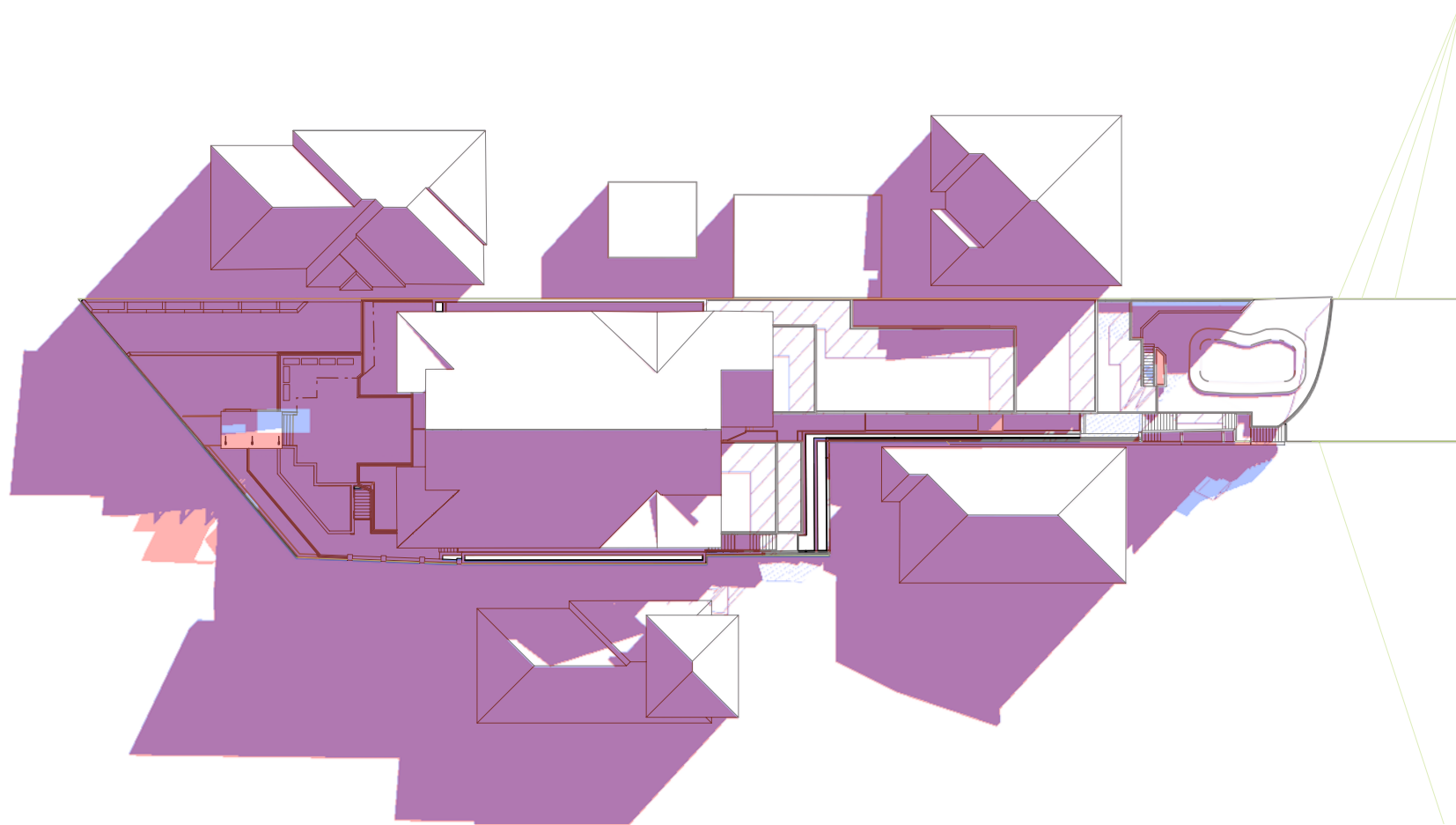
2 PROPOSED @ JUNE 21 9am
Scale: Actual Size



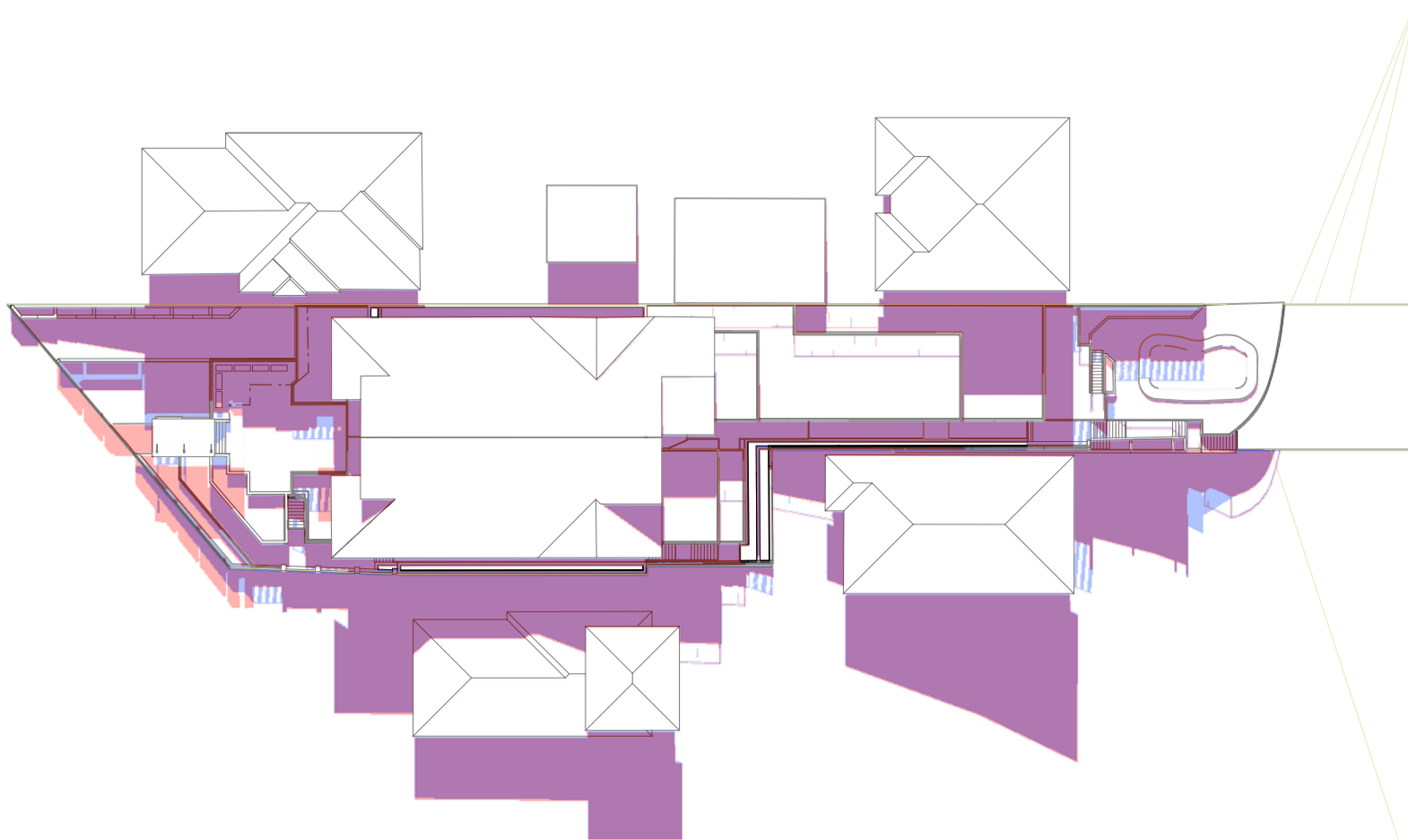
5 PROPOSED @ JUNE 21 9am
Scale: Actual Size



8 PROPOSED @ JUNE 21 9am
Scale: Actual Size



3 PROPOSED @ JUNE 21 9am
Scale: Actual Size



6 PROPOSED @ JUNE 21 9am
Scale: Actual Size



9 PROPOSED @ JUNE 21 9am
Scale: Actual Size



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02,...
CT
EXG
FNC 1,2,3...
MHWM
SCN 1,2,3....

BALUSTRADE
CERAMIC TILES
EXISTING
FENCE
MEAN HIGH WATER MARK
SCREEN

EXISTING WALLS
EXISTING (NO WORKS)
PROPOSED WORKS
DEMOLISHED



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Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

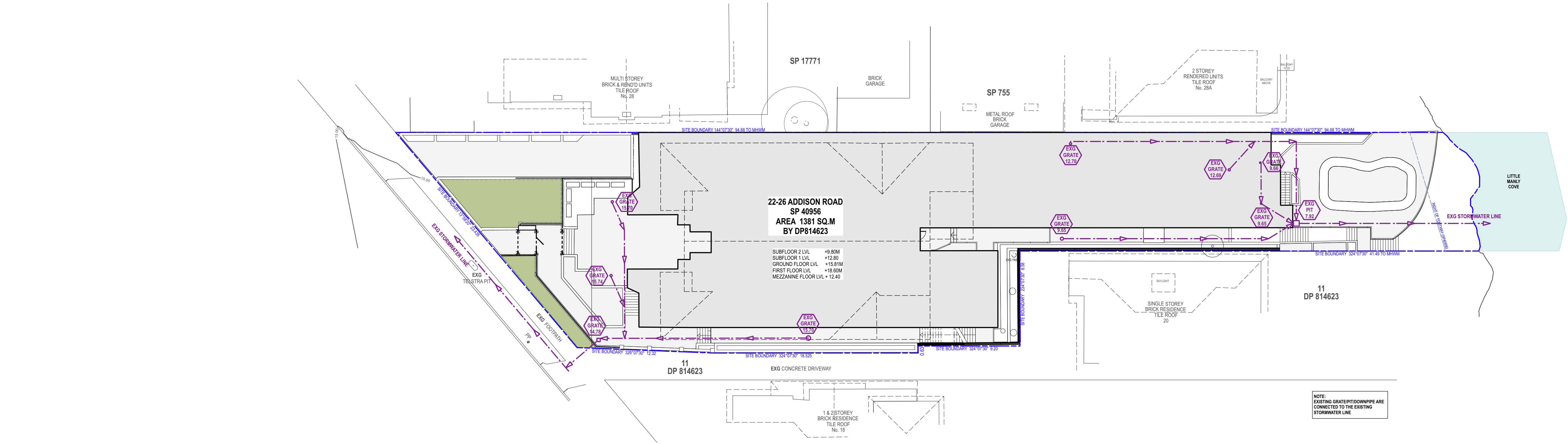
Client:
STRATA PLAN No.40956

Drawing Name:
SHADOW ANALYSIS

Job Number:
2149
Scale:
AS NOTED
Plot Date:
5/10/23

Drawing Status:
DA
Drawing No:
DA 31
Drawn By:
RY
Revision:
2

nominated architect: Dominic Bennett 7365 (NSW)



NOTES

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY			
BAL 01,02....	BALUSTRADE	EXISTING WALLS	
CT	CERAMIC TILES	EXISTING (NO WORKS)	
EXG	EXISTING	PROPOSED WORKS	
FNC 1,2,3...	FENCE	DEMOLISHED	
MHWM	MEAN HIGH WATER MARK		
SCN 1,2,3....	SCREEN		



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Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
STORMWATER MANAGEMENT PLAN

Job Number:
2149

Scale:
1:200 @ A1 1:400 @ A3

Plot Date:
5/10/23

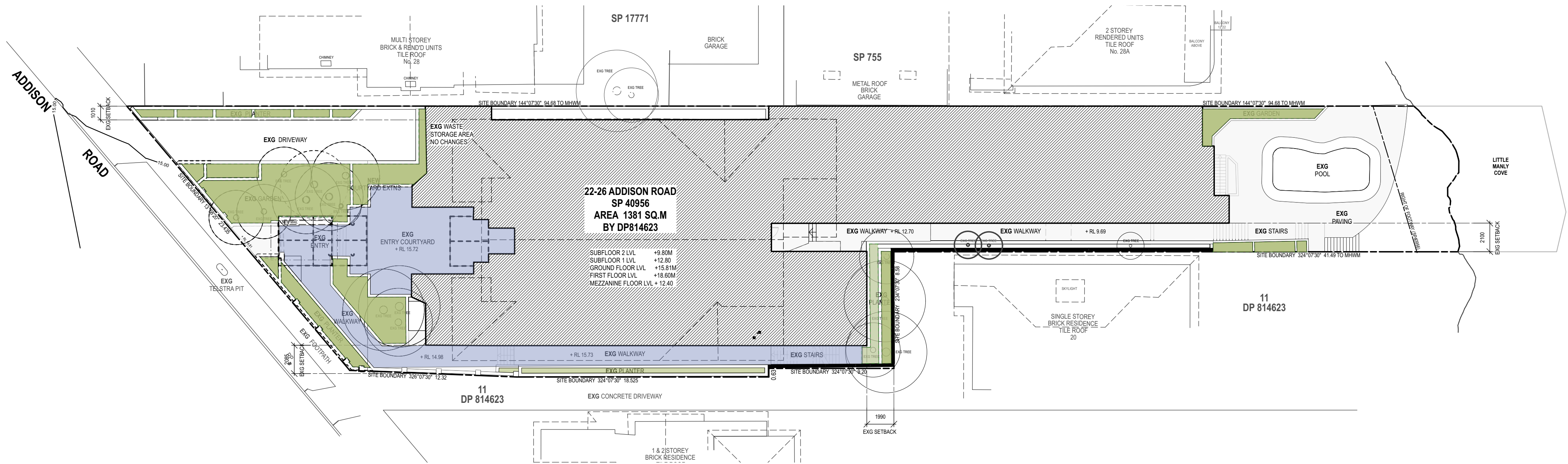
Drawing Status:
DA

Drawing No:
DA_40

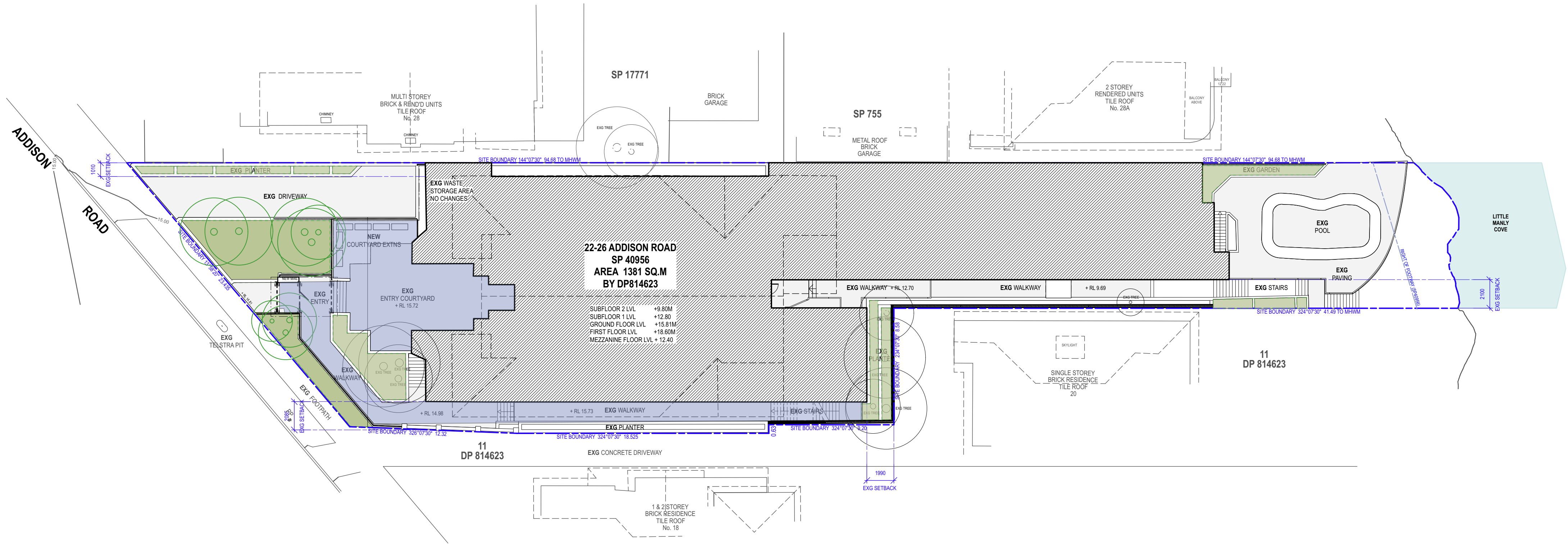
Drawn By:
RY

Revision:
2

nominated architect: Dominic Bennett 7365 (NSW)



1 EXISTING - LANDSCAPE AREA
Scale: 1:200



2 PROPOSED - LANDSCAPE AREA
Scale: 1:200

LANDSCAPE CALCULATION:

	EXISTING	PROPOSED
OPEN SPACE AREA	438 SQ.M	449 SQ.M
LANDSCAPE	111.4 SQ.M	100.4 SQ.M

NOTE:

ALL REMOVED TREES AND PLANTS ARE RETAINED AND REPLANTED AT GRADE.



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Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02...	BALUSTRADE	EXISTING WALLS
CT	CERAMIC TILES	EXISTING (NO WORKS)
EXG	EXISTING	PROPOSED WORKS
FNC 1,2,3...	FENCE	DEMOLISHED
MHWM	MEAN HIGH WATER MARK	
SCN 1,2,3...	SCREEN	



Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
LANDSCAPE PLAN

Job Number:
2149
Scale:
1:200 @ A1 1:400 @ A3
Plot Date:
5/10/23

Drawing Status:
DA
Drawing No:
DA_50
Drawn By:
RY
Revision:
2