

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes Existing Wall
Denotes Demolished Item

Fixtures and systems

Lighting

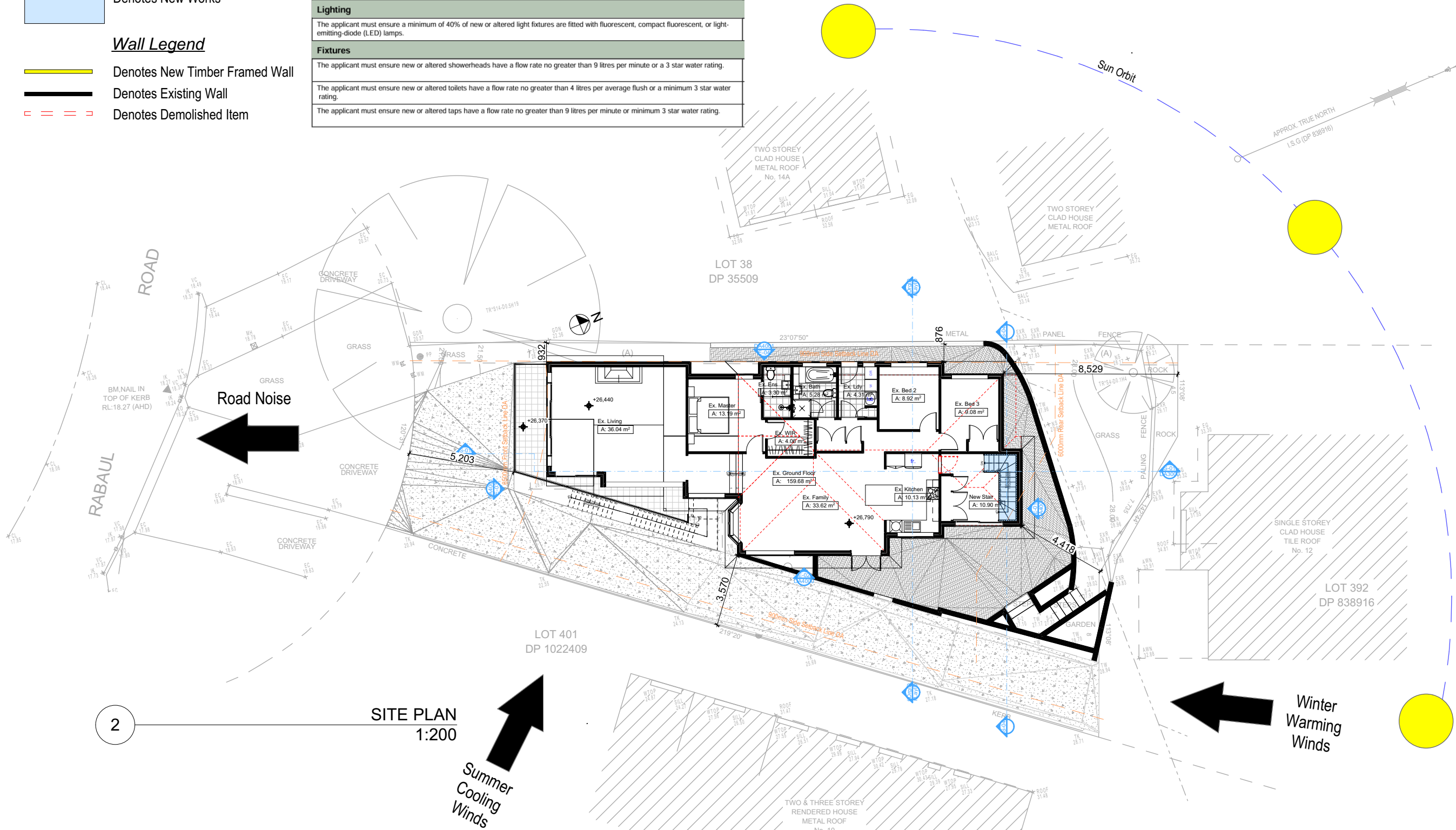
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1601

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Rapid Plans
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Email: info@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

12a Rabaul Road North Curl Curl is zoned R2 Low Density Residential. 12a Rabaul Road North Curl Curl is not considered a Heritage Item. All Plans to be read in conjunction with Basic Certificate.

New Works to be constructed shown in Shaded Blue.

Construction
Timber Framed Floor, Cladded Stud Walls
Roof Sheet Metal to have R1.24 insulation
Insulation to External Cladded Stud Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3745
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Existing
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.

Basic Certificate Number A1771162
All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the highest part of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the highest part of the window or glazed door and no more than 2400 mm above the sill.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

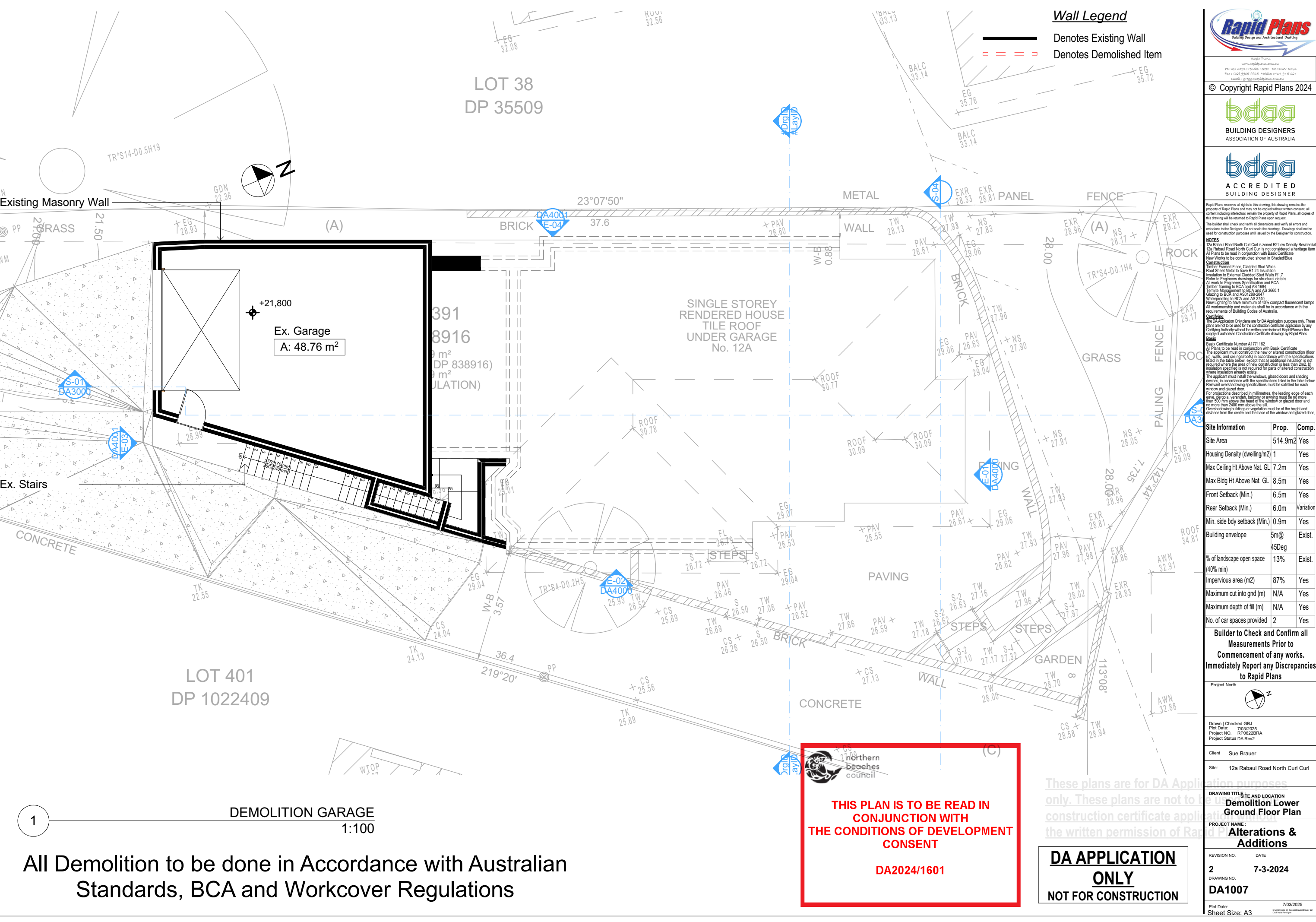
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For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the highest part of the window or glazed door and no more than 2400 mm above the sill.



Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item

Building Design and Architectural Drafting

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NOTES
12a Rabaul Road North Curl Curl is zoned R2 Low Density Residential.
12a Rabaul Road North Curl Curl is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed within ShadedBlue Construction.
Timber Framed Floor, Cladded Stud Walls.
Roof Sheet Metal to have R1.24 insulation.
Insulation to External Cladded Stud Walls R1.7.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1884.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1288-2017.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditions
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Basic Certificate Number A1771162
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of any window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	514.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	5m@45Deg	Exist.
% of landscape open space (40% min)	13%	Exist.
Impervious area (m ²)	87%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/03/2025
Project NO.: RPOK22BRA
Project Status DA Rev2

Client Sue Brauer

Site: 12a Rabaul Road North Curl Curl

DRAWING TITLE SITE AND LOCATION
Demolition Lower Ground Floor Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
2	7-3-2024

DRAWING NO. **DA1007**

Plot Date: 7/03/2025
Sheet Size: A3

1

DEMOLITION GARAGE
1:100

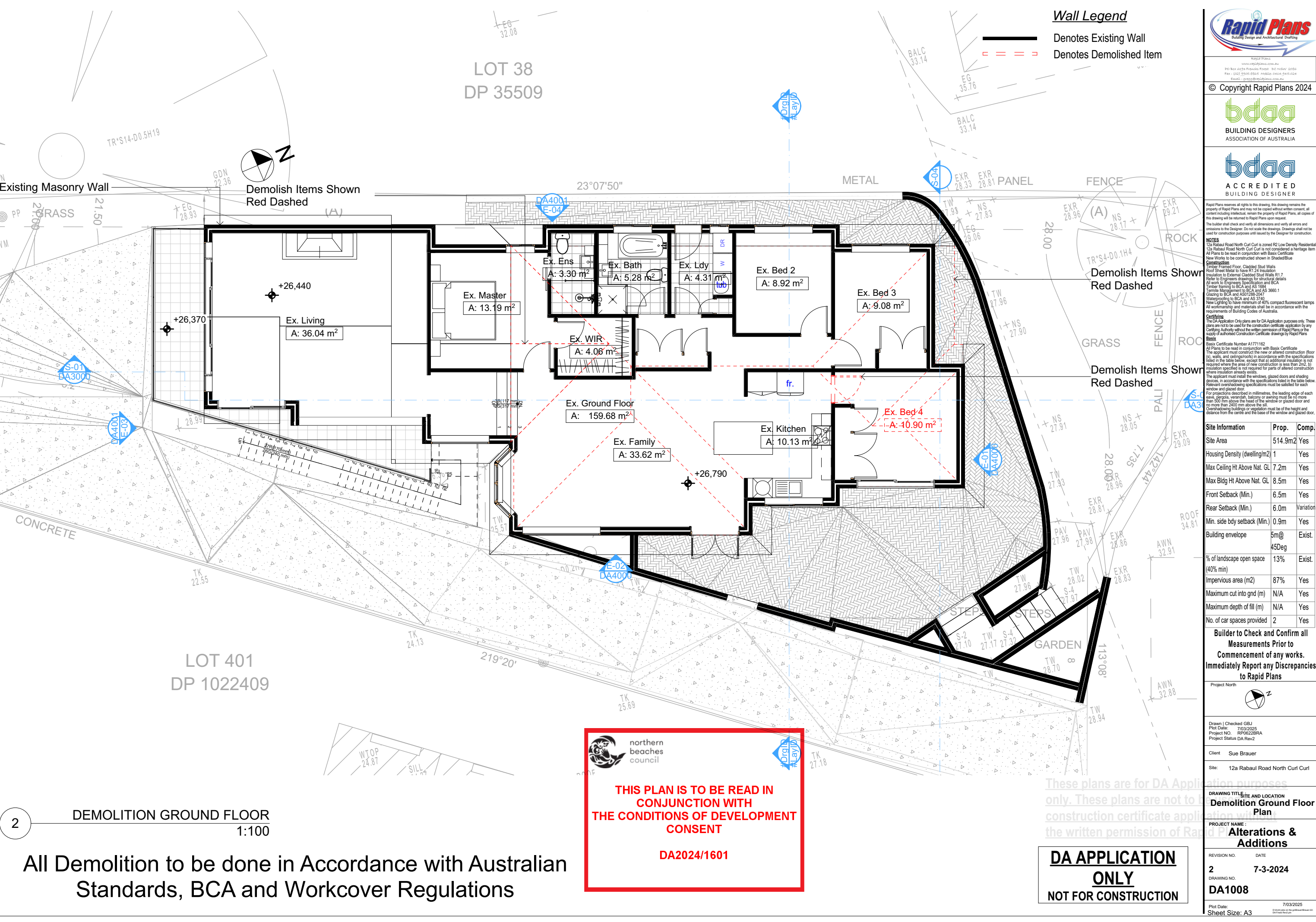
All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1601

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Wall Legend

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- Denotes Demolished Item

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NOTES
12a Rabaul Road North Curl Curl is zoned R2 Low Density Residential.
12a Rabaul Road North Curl Curl is not considered a Heritage Item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in ShadedBlue.
Construction:
Timber Framed Floor, Clad Stud Walls.
Roof Sheet Metal to have R14 insulation.
Insulation to External Clad Stud Walls R17.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1288-2017.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information

Site Information	Prop.	Comp.
Site Area	514.9m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	5m@ 45Deg	Exist.
% of landscape open space (40% min)	13%	Exist.
Impervious area (m2)	87%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/03/2025
Project NO.: RP0622BRA
Project Status DA Rev2

Client Sue Brauer

Site: 12a Rabaul Road North Curl Curl

DRAWING TITLE SITE AND LOCATION
Demolition Ground Floor Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
2	7-3-2024

DRAWING NO.
DA1008

Plot Date: 7/03/2025
Sheet Size: A3

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

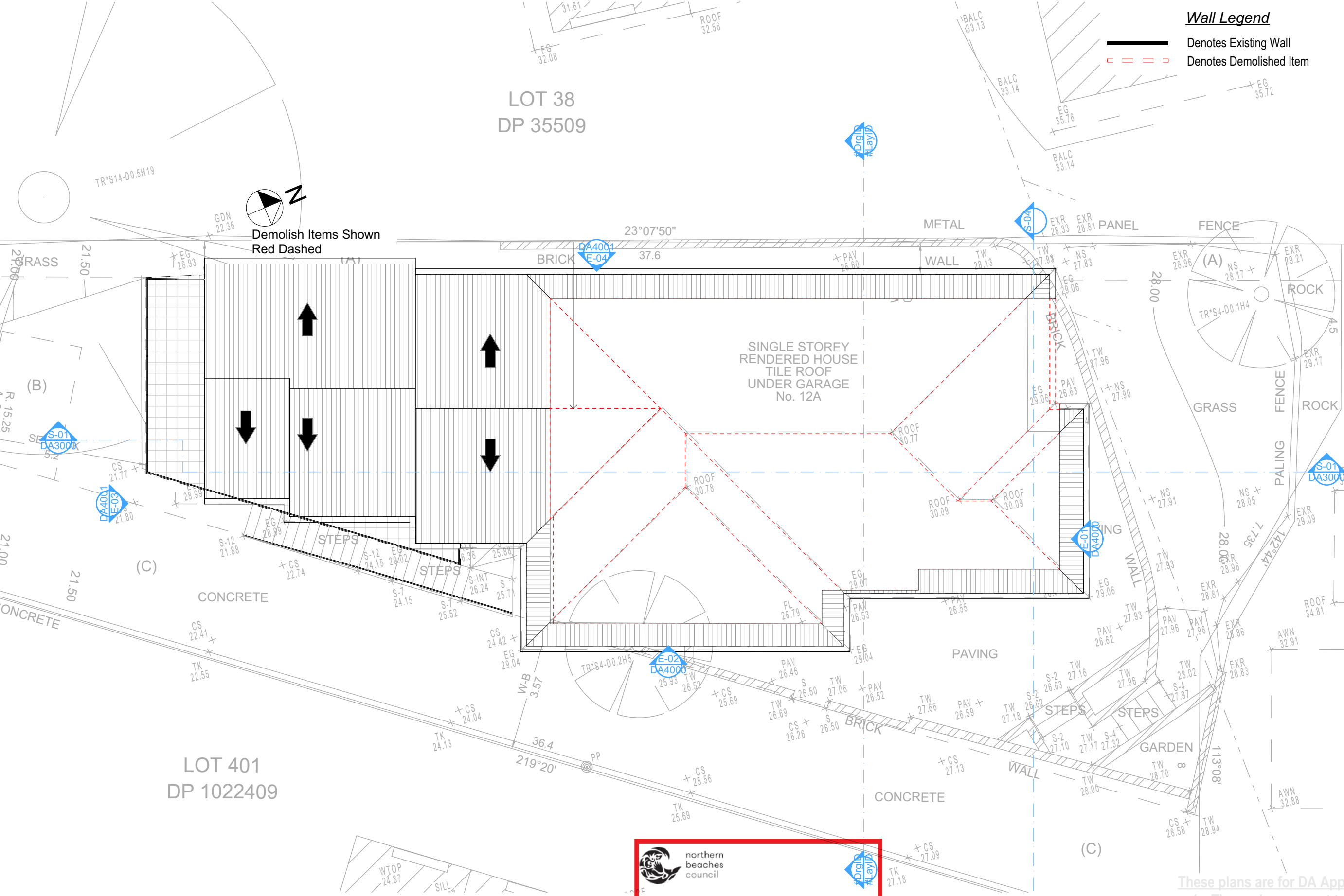
DA2024/1601

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

2 DEMOLITION GROUND FLOOR 1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



Wall Legend

———— Denotes Existing Wall

- - - - - Denotes Demolished Item

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ACCREDITED BUILDING DESIGNER

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NOTES

12a Rabaul Road North Curl Curl is zoned R2 Low Density Residential

12a Rabaul Road North Curl Curl is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in ShadedBlue

Construction

Timber Framed Floor, Cladded Stud Walls

Road Sheet Metal to have R1.24 insulation

Insulation to External Cladded Stud Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1728-2017

Waterproofing to BCA and AS 3745

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks

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Basic Certificate Number A1771162

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	514.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	5m@45Deg	Exist.
% of landscape open space (40% min)	13%	Exist.
Impervious area (m ²)	87%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/03/2025
Project NO.: RP06228RA
Project Status DA Rev2

Client Sue Brauer

Site: 12a Rabaul Road North Curl Curl

DRAWING TITLE:
SITE AND LOCATION
Demolition Roof Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
2	7-3-2024

DRAWING NO.
DA1009

Plot Date: 7/03/2025
Sheet Size: A3

northern beaches council

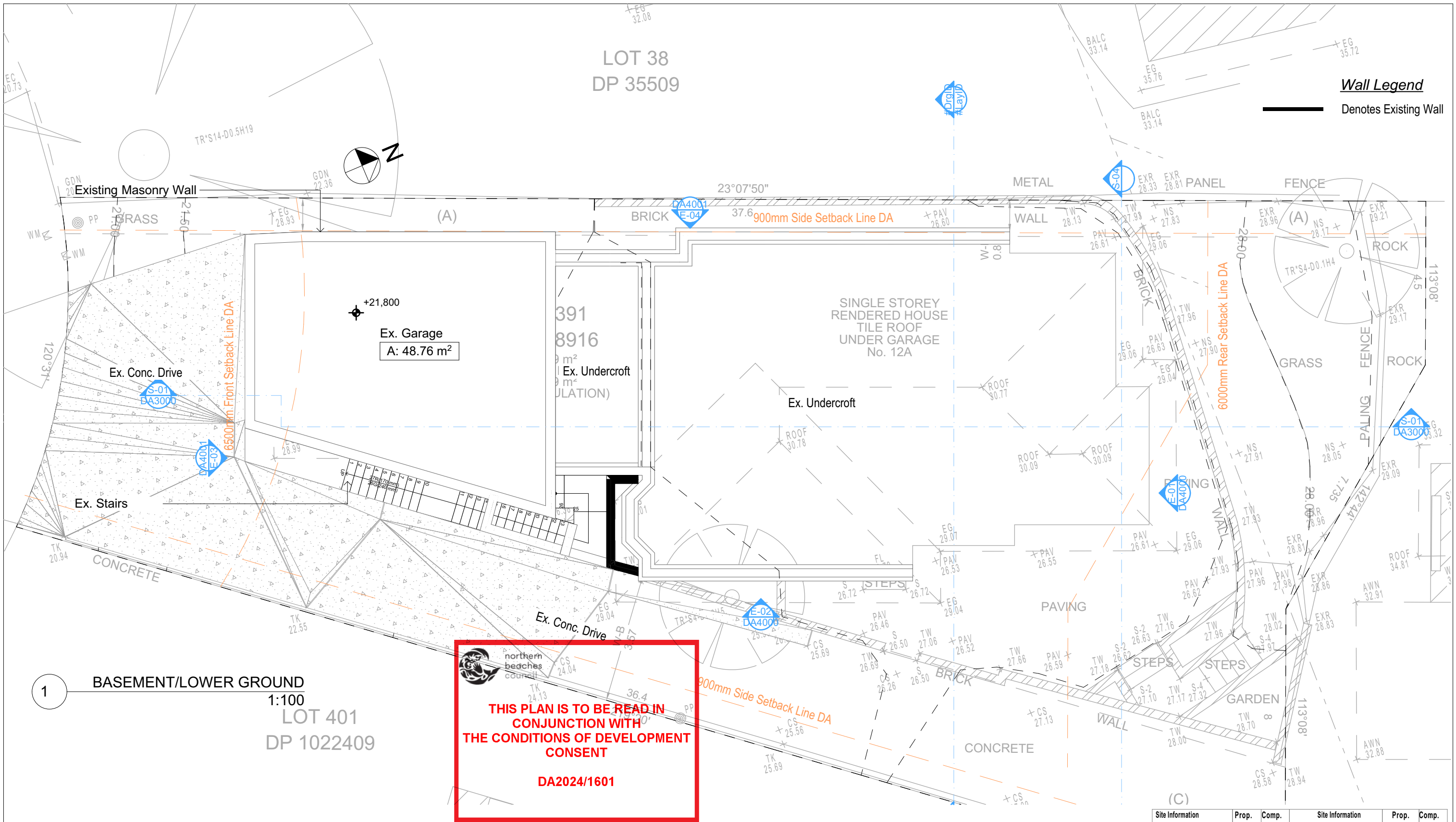
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1601

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DA APPLICATION ONLY

NOT FOR CONSTRUCTION



Wall Legend
Denotes Existing Wall

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
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All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
12a Rabaul Road North Curl Curl is not considered a heritage item
Certifying
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Construction
Timber Framed Floor, Cladded Stud Walls
Roof Sheet Metal to have R1.24 Insulation
Insulation to External Cladded Stud Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1771162
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	514.9m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	13%	Exist.
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	87%	Exist.
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North
Checked
Plot Date: 7/03/2025
Project NO: RP06228RA
Project Status: DA Rev2
Client: Sue Brauer
Site: 12a Rabaul Road North Curl Curl
Sheet Size: A3

DRAWING TITLE :
PLANS
GARAGE
PROJECT NAME :
Alterations & Additions

REVISION NO.
2
DATE: 7-3-2024
DRAWING NO.
DA2001

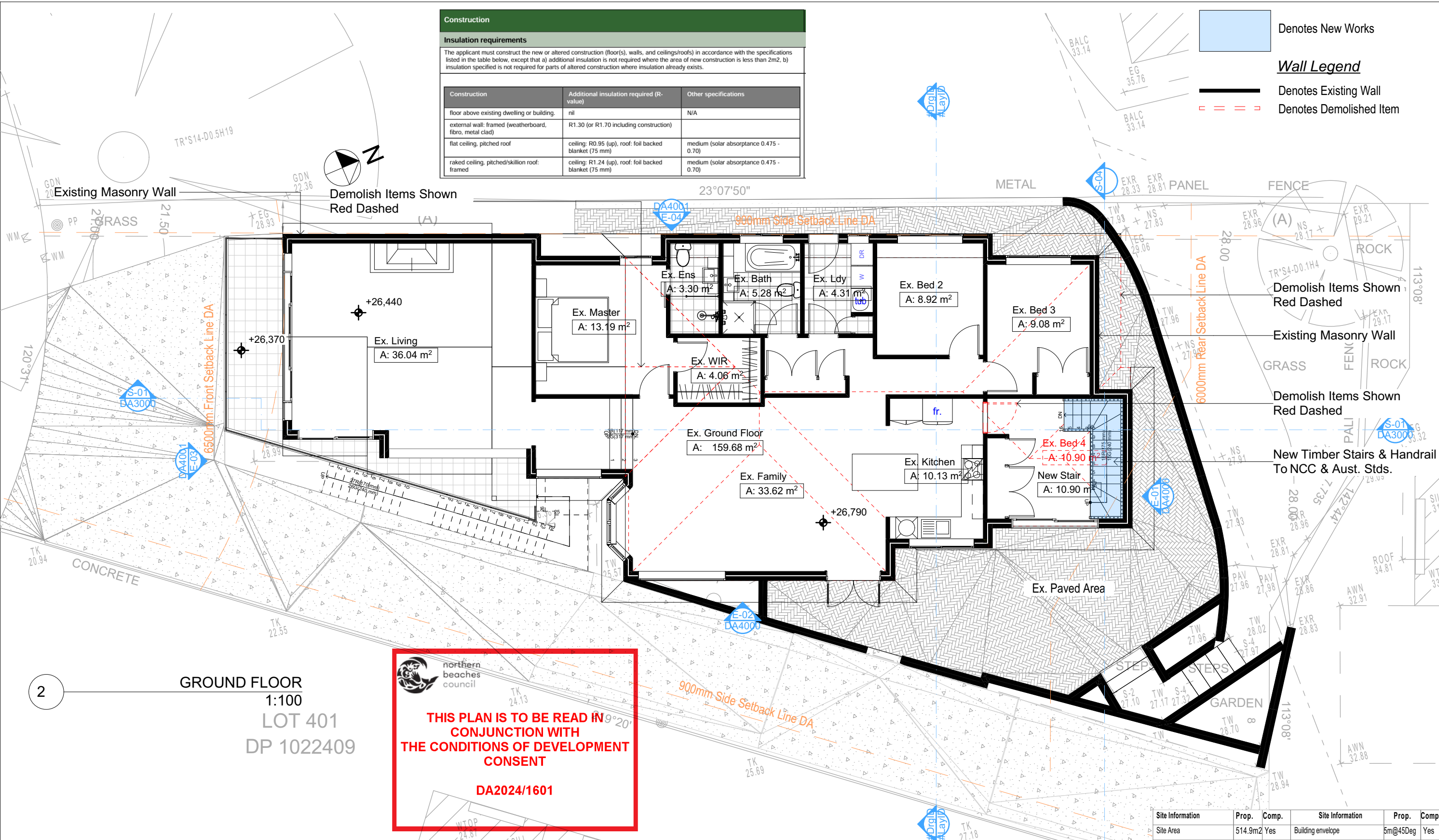
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Denotes New Works

Wall Legend

Denotes Existing Wall

Denotes Demolished Item



2

GROUND FLOOR
1:100
LOT 401
DP 1022409

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

NOTES
12a Rabaul Road North Curl Curl is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
12a Rabaul Road North Curl Curl is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Framed Floor, Cladded Stud Walls
Roof Sheet Metal to have R1.24 Insulation
Insulation to External Cladded Stud Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Termite Management to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1771162
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	514.9m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	13%	Exist.
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	87%	Exist.
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

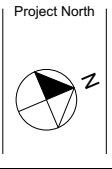


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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: 7/03/2025
Project NO: RP0622BRA
Project Status: DA Rev2

Client
Site: Sue Brauer
12a Rabaul Road North Curl Curl

Sheet Size: A3

DRAWING TITLE :
**PLANS
GROUND FLOOR**

PROJECT NAME :
Alterations & Additions

REVISION NO.
2
DATE:
7-3-2024
DRAWING NO.
DA2002

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

LOT 38
DP 35509

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Demolished Item

Wet Areas To Be
—Waterproofed To NCC &
Aust. Stds.

New 90mm Cladded Timber Framed Wall

New Timber Stairs &
Handrail To NCC &
Aust. Stds.

New Waterproofed &
Tiled Timber Landing
To NCC & AS1684
Line Of Skivight Above

Demolish Items Shown
Red Dashed

New Sheet Metal Roofing To Existing Frame

Low Handrail Wall To Seal Roof Cavity

New Waterproofed & Tiled Timber Deck To NCC2022 & AS1684

New Timber Post
New Handrail To NCC &
Aust. Stds.

FIRST FLOOR
1:100

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
12a Rabaul Road North Curl Curl is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
12a Rabaul Road North Curl Curl is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2024/1601

Construction
Timber Framed Floor, Cladded Stud Walls
Roof Sheet Metal to have R1.24 Insulation
Insulation to External Cladded Stud Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1771162
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
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The dimensions described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings, or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	514.9m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	13%	Exist.
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	87%	Exist.
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

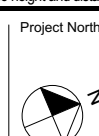


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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked	GBJ
Plot Date:	7/03/2025
Project NO.	RP0622BRA
Project Status	DA Rev2
Client	Sue Brauer
Site:	12a Rabaul Road North Curl Curl
Sheet Size: A3	

DRAWING TITLE :
PLANS
FIRST FLOOR

PROJECT NAME :
Alterations & Additions

REVISION NO.
2
DATE.
7-3-2024
DRAWING NO.
DA2003

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

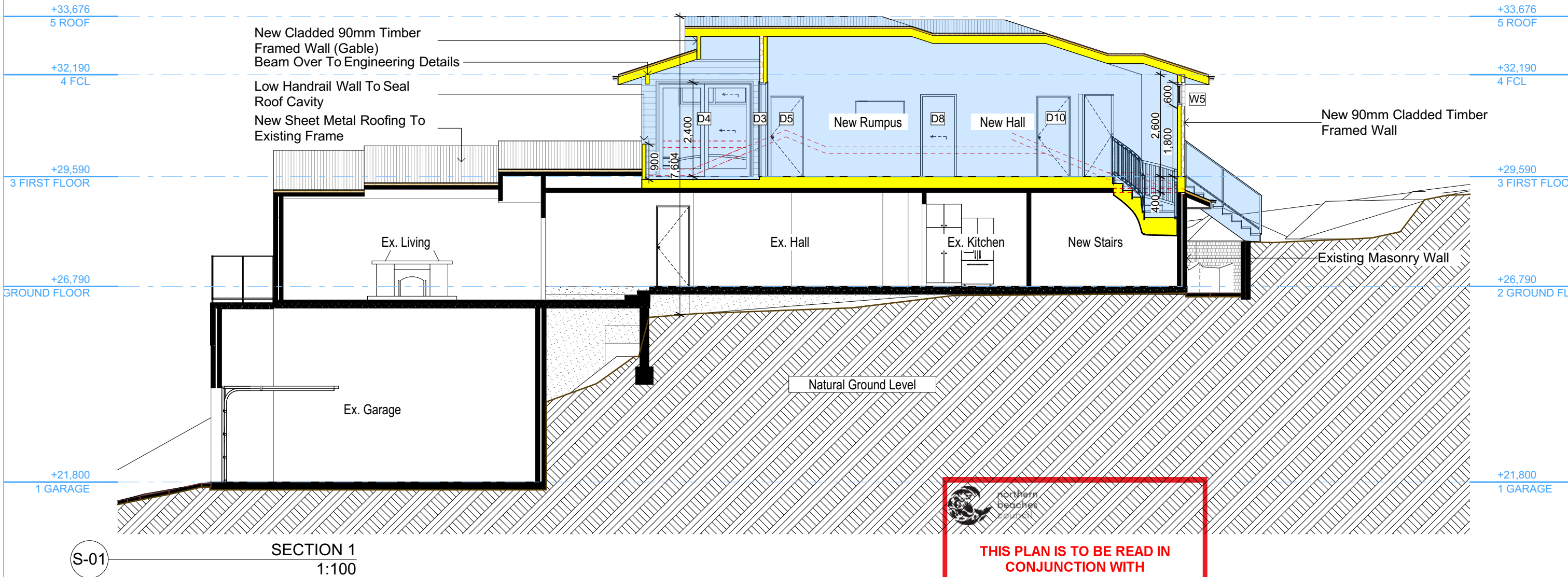
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item



DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
12a Rabaul Road North Curl Curl is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
12a Rabaul Road North Curl Curl is not considered a heritage item

Certifying
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Construction
Timber Framed Floor, Cladded Stud Walls
Roof Sheet Metal to have R1.24 Insulation
Insulation to External Cladded Stud Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1771162
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	514.9m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	13%	Exist.
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	87%	Exist.
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: 7/03/2025
Project NO. RP06228RA
Project Status DA Rev2
Client: Sue Brauer
Site: 12a Rabaul Road North Curl Curl
Sheet Size: A3

DRAWING TITLE :
SECTIONS
SECTION 1
PROJECT NAME :
Alterations & Additions

REVISION NO.
2
DATE: 7-3-2024
DRAWING NO.
DA3000

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Denotes New Works

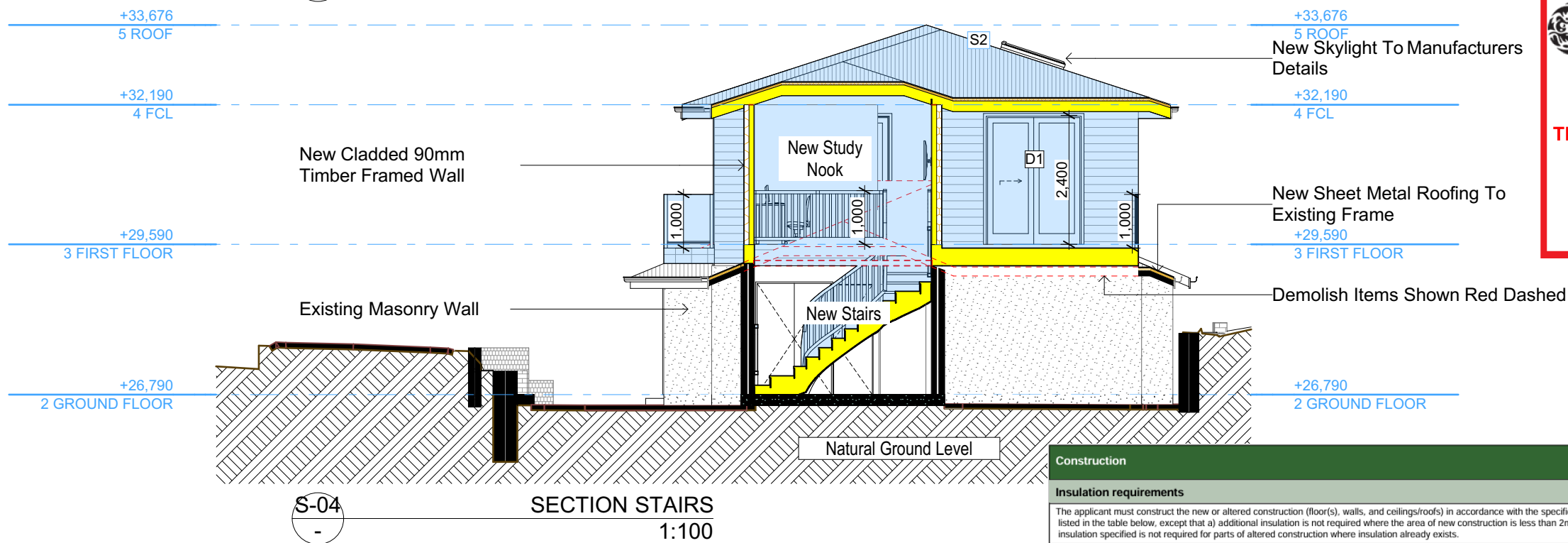
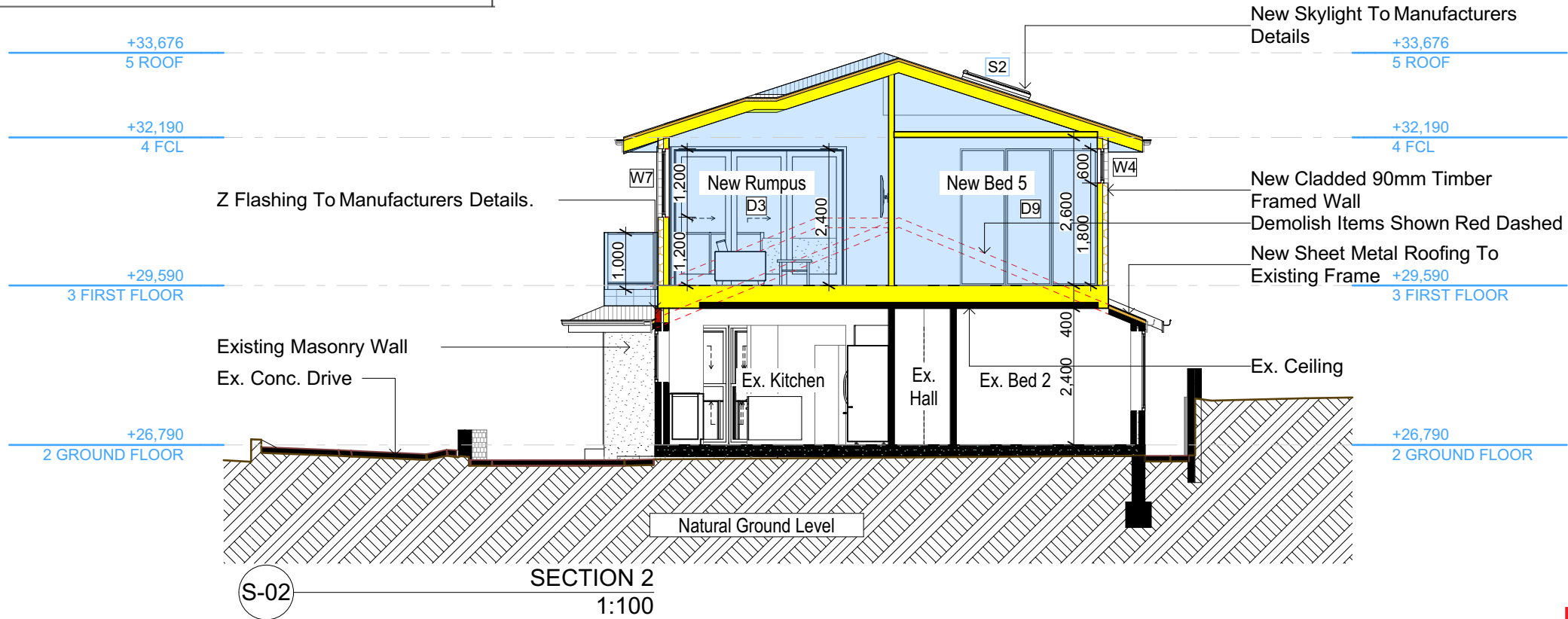
Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

= = = =

Denotes Demolished Item



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2024/1601

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



Rapid Plans

Building Design and Architectural Drafting

12a Rabaal Road North Curl Curl NSW 2260
Tel: (02) 9360-8844 Mobile: 0414-945-024
Email: info@rapidplans.com.au

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED

BUILDING DESIGNER

NOTES

12a Rabaal Road North Curl Curl is zoned R2 Low Density Residential. 12a Rabaal Road North Curl Curl is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate. New Works to be constructed shown in Shaded/Blue.

Construction

Timber Framed Floor, Cladded Stud Walls, Roof Sheet Metal to have R1.24 insulation. Insulation to External Cladded Stud Walls R1.7. Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA. Timber framing to BCA and AS 1684. Termite Management to BCA and AS 3660.1. Glazing to BCA and AS1728-2017. Waterproofing to BCA and AS 3740. New Lighting to have minimum of 40% compact fluorescent lamps. All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A1771162. All Plans to be read in conjunction with Basic Certificate. The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	514.9m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	5m@ 45Deg	Exist.
% of landscape open space (40% min)	13%	Exist.
Impervious area (m2)	87%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/03/2025
Project NO.: RPO622BRA
Project Status DA Rev2

Client Sue Brauer

Site: 12a Rabaal Road North Curl Curl

DRAWING TITLE: SECTIONS
SECTION 2

PROJECT NAME: Alterations & Additions

REVISION NO. DATE
2 7-3-2024

DRAWING NO. DA3001

Plot Date: 7/03/2025
Sheet Size: A3

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

New Timber Framed Sheet Metal Roof Pitch 18°

New 90mm Cladded Timber Framed Wall

Existing Masonry Wall

Natural Ground Level

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building:	nil	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Denotes New Works

Wall Legend

Denotes New Timber Framed Item

Denotes Existing Wall

Denotes Demolished Item



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1601

DA APPLICATION ONLY

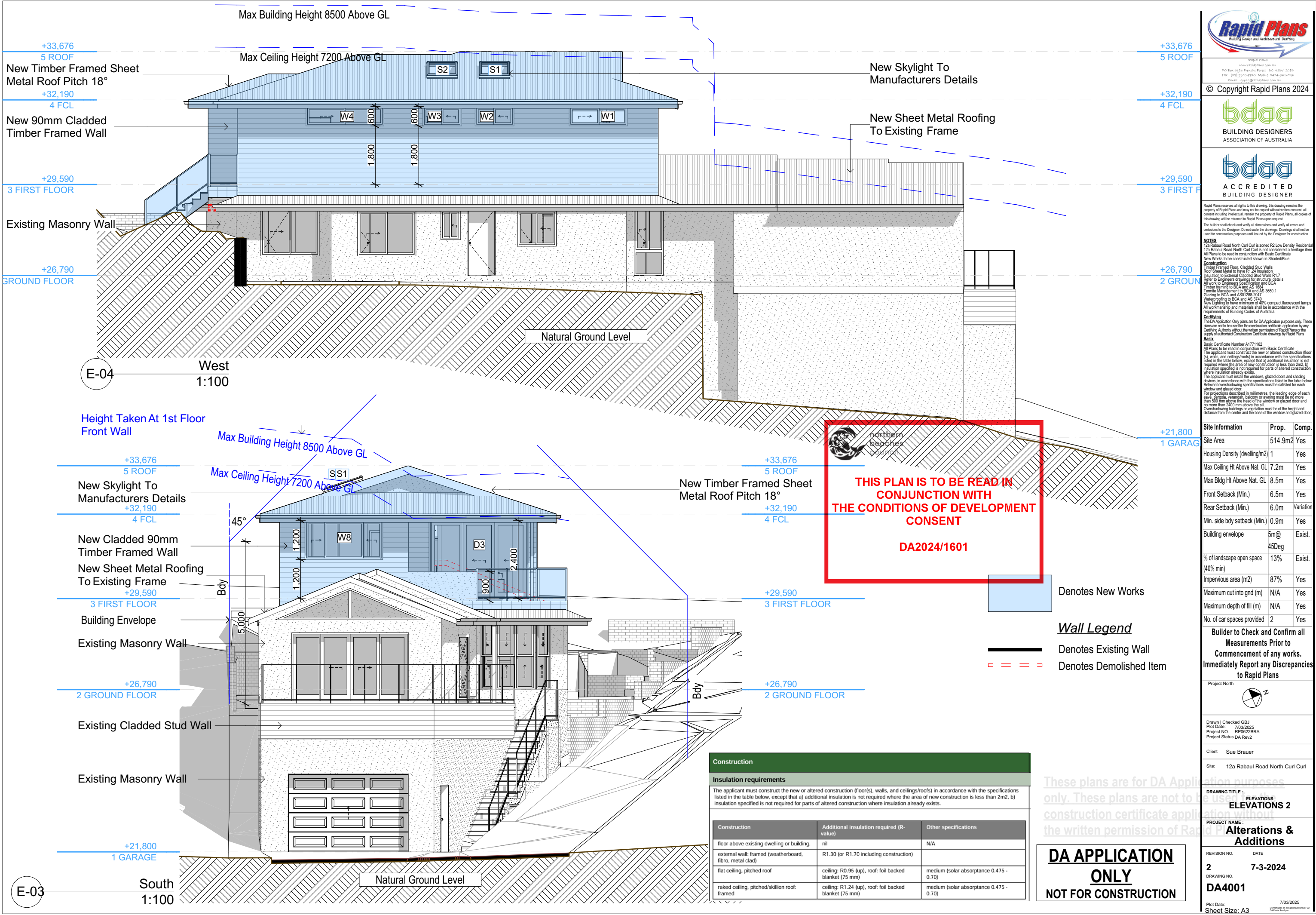
NOT FOR CONSTRUCTION

E-02

East
1:100

E-01

North
1:100



Building Design and Architectural Drafting

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

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NOTES

12a Rabaul Road North Curl Curl is zoned R2 Low Density Residential. 12a Rabaul Road North Curl Curl is not considered a Heritage Item. All Plans to be read in conjunction with Basic Certificate.

New Works to be constructed shown in Shaded Blue.

Construction

Timber Framed Floor, Cladded Stud Walls

Roof Sheet Metal to have R1.24 insulation

Insulation to External Cladded Stud Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660, 1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks

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Basic Certificate Number A1771162

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	514.9m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	5m@ 45Deg	Exist.
% of landscape open space (40% min)	13%	Exist.
Impervious area (m2)	87%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/03/2025
Project NO.: RP0622BRA
Project Status DA Rev2

Client Sue Brauer

Site: 12a Rabaul Road North Curl Curl

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DRAWING TITLE: ELEVATIONS 2

PROJECT NAME: Alterations & Additions

REVISION NO. DATE

2 7-3-2024

DRAWING NO. DA4001

Plot Date: 7/03/2025
Sheet Size: A3

DA APPLICATION ONLY
NOT FOR CONSTRUCTION