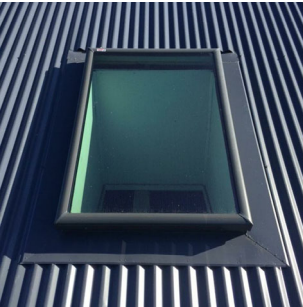




VELUX SKYLIGHTS



CORRUGATED ROOF SHEETING  
COLORBOND 'BASALT'

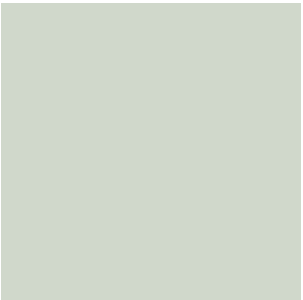
BASALT®



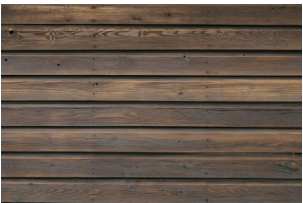
WHITE ALUMINIUM  
WINDOWS & DOORS



SANDSTONE FINISH TO  
RET. WALLS



RENDER, PAINTED LIGHT TO  
MID GREY FINISH TO RET.  
WALLS



NATURAL FINISH  
WEATHERBOARD  
CLADDING TO MATCH  
EXG

ABBREVIATIONS:

|      |                               |
|------|-------------------------------|
| AC   | AIR CONDITIONING              |
| AL   | ALUMINIUM                     |
| AS   | ADJUSTABLE SHELF              |
| BL1  | BALUSTRADE TYPE 1             |
| BLK  | BLOCKWORK                     |
| C1   | CORNICE                       |
| CJ   | CONTROL JOINT                 |
| CL   | CEILING LEVEL                 |
| CONC | CONCRETE                      |
| COS  | CHECK ON SITE                 |
| CPT  | CARPET                        |
| CR   | CEMENT RENDER                 |
| CT   | CERAMIC TILE                  |
| CTS  | CENTRES                       |
| DM   | DEMOLISH                      |
| DP   | DOWNPIPE                      |
| DU   | DRAWER UNIT                   |
| DW   | DISHWASHER                    |
| EDB  | ELECTRICAL DISTRIBUTION BOARD |
| EJ   | EXPANSION JOINT               |
| EW1  | EXTERNAL WALL TYPE 1          |
| EX   | EXISTING                      |
| EXH  | EXHAUST                       |
| FBK  | FACE BRICKWORK                |
| FC   | FIBRE CEMENT                  |
| FCU  | FAN COIL UNIT                 |
| FFL  | FINISHED FLOOR LEVEL          |
| FG   | FIXED GLAZING                 |
| FL   | FLASHING                      |
| FR   | FRIDGE                        |
| FT1  | FLOOR TILE TYPE 1             |
| FW   | FLOOR WASTE                   |
| G    | GUTTER                        |
| GALV | GALVANISED                    |
| GL   | GLAZING                       |
| GD   | GRATED DRAIN                  |
| HC   | HOSE COCK                     |
| HGR  | HANGING RAIL                  |
| HJ   | HORIZONTAL JOINT              |
| HL   | HEAD LEVEL                    |
| HR   | HANDRAIL                      |
| HTR  | HEATED TOWEL RAIL             |
| HWD  | HARDWOOD                      |
| LB   | LETTERBOX                     |
| MDF  | MEDIUM DENSITY FIBREBOARD     |
| MR   | METAL ROOF                    |
| MS   | MILD STEEL                    |
| MW   | MICROWAVE                     |
| OG   | OPAQUE GLAZING                |
| OpG  | OPAQUE GLAZING                |
| OV   | OVEN                          |
| PB   | PLASTERBOARD                  |
| PMC  | PRESSED METAL CAPPING         |
| PT   | PAINT                         |
| PV   | PAVING                        |
| RA   | RETURN AIR                    |
| RH   | RANGEHOOD                     |
| RL   | REDUCED LEVEL                 |
| RT   | ROOF TILES                    |
| RW   | RETAINING WALL                |
| RWH  | RAINWATER HEAD                |
| SC   | STEEL COLUMN                  |
| SCR  | SCREEN                        |
| SH   | SHELF                         |
| SIP  | SEWER INSPECTION PIT          |
| SK   | SKIRTING                      |
| SKY  | SKYLIGHT                      |
| SL   | SILL LEVEL                    |
| SS   | STAINLESS STEEL               |
| SWP  | STORMWATER PIT                |
| T&G  | TONGUE & GROOVE               |
| TBA  | TO BE ADVISED                 |
| TF   | TIMBER FLOOR                  |
| TFC  | STEEL TROWEL FINISH CONCRETE  |
| TP   | TEXTURED PAINT                |
| TPH  | TOILET PAPER HOLDER           |
| U/S  | UNDERSIDE                     |
| VT   | VITRIFIED TILE                |
| WB   | WEATHERBOARD CLADDING         |
| WF   | WINE FRIDGE                   |
| WL   | WALL LIGHT                    |
| WPB  | WATER RESISTENT PLASTERBOARD  |
| WPM  | WATERPROOF MEMBRANE           |
| WS   | WALL SHEETING                 |
| WT1  | WALL TILE TYPE 1              |



source: Google Maps



location plan  
113 Gondola Rd, North Narrabeen, NSW 2101

SHEET LIST

|           |                           |
|-----------|---------------------------|
| S4.55_001 | COVER SHEET               |
| S4.55_010 | SITE ANALYSIS             |
| S4.55_101 | GROUND & LANDSCAPING PLAN |
| S4.55_102 | ROOF & DRAINAGE PLAN      |
| S4.55_200 | NORTH & WEST ELEVATIONS   |
| S4.55_201 | SOUTH & EAST ELEVATIONS   |
| S4.55_300 | SECTION - LONG            |
| S4.55_700 | CALCULATIONS PLAN         |

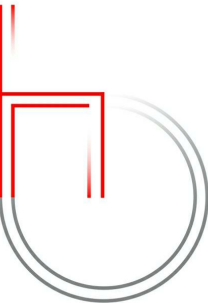
CONSULTATNTS:

Designer:  
**HOT HOUSE STUDIO**  
DESIGN, DRAFTING AND VISUALISATION  
PO Box 26, NEWPORT NSW 2106  
0433 775 490  
wade@hthousestudio.com

Surveyor:  
**TSS TOTAL SURVEYING SOLUTIONS**  
SUITE 5 / 21 ELIZABETH ST  
CAMDEN NSW 2507  
Phone: (02) 4655 4035  
Email: tss@totalsurveying.com.au

S4.55

For alterations and additions to existing building at:  
**113 GONDOLA RD, NORTH NARRABEEN**



m: 0433 775 490  
p.o. box 26 newport nsw 2106  
info@hthousestudio.com  
abn: 355 0579 1074

Nominated Architect: Wade Stewart Cogle  
NSW ARB Registration # 10971

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|        |                                                                                                                                                                                                                                                                                                |
|--------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| NOTES: | PRINT DATE: 6/07/2020 2:40:28 PM PRINT SIZE: A3                                                                                                                                                                                                                                                |
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| ISSUE | DESCRIPTION | DATE     |
|-------|-------------|----------|
| A     | S4.55       | 29/06/20 |

|          |                                 |                          |
|----------|---------------------------------|--------------------------|
| CLIENT:  | PHILLIP TORRANCE & TINA WILD    | COVER SHEET              |
| PROJECT: | ALTERATIONS AND ADDITIONS       | PROJECT NO. 18164        |
|          |                                 | DATE 29 June 2020        |
| ADDRESS: | 113 GONDOLA RD, NORTH NARRABEEN | LOT: 243 DRAWN BY: MS    |
|          |                                 | DP: 16212 CHECKED BY: WC |
|          |                                 | SCALE:                   |

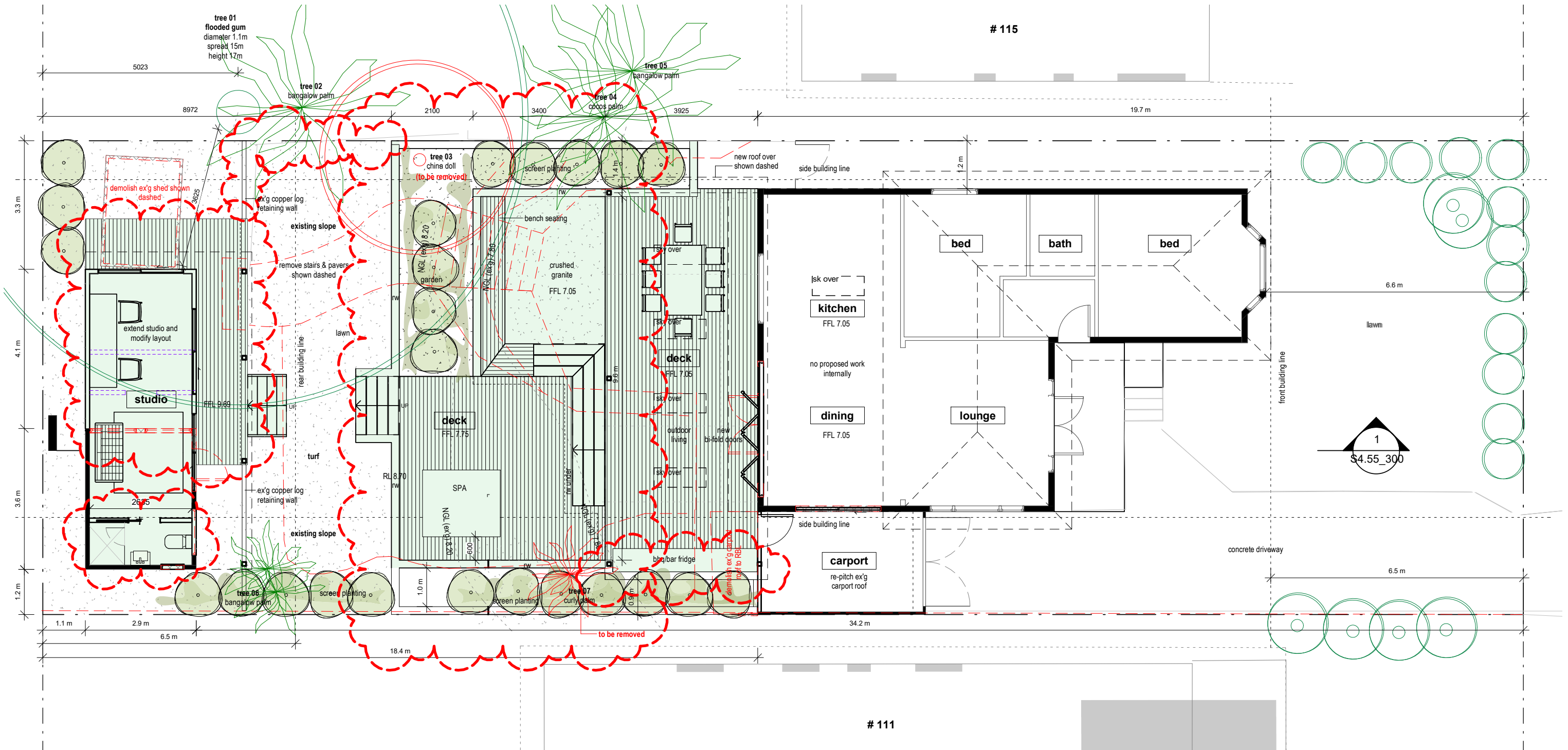


1 : 200

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|                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                 |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>BASIX COMMITMENTS:</b></p> <p>1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE</p> <p>2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS</p> | <p><b>NOTES:</b></p> <p>ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA. DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY</p> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|



1

GROUND  
1 : 100

FOR S4.55 ONLY



LEGEND:  
DEMOLISH  
NEW WORK  
BOUNDARY  
OVERHEAD  
HIDDEN  
DELETED FROM DA  
CHANGE TO APPROVED DA



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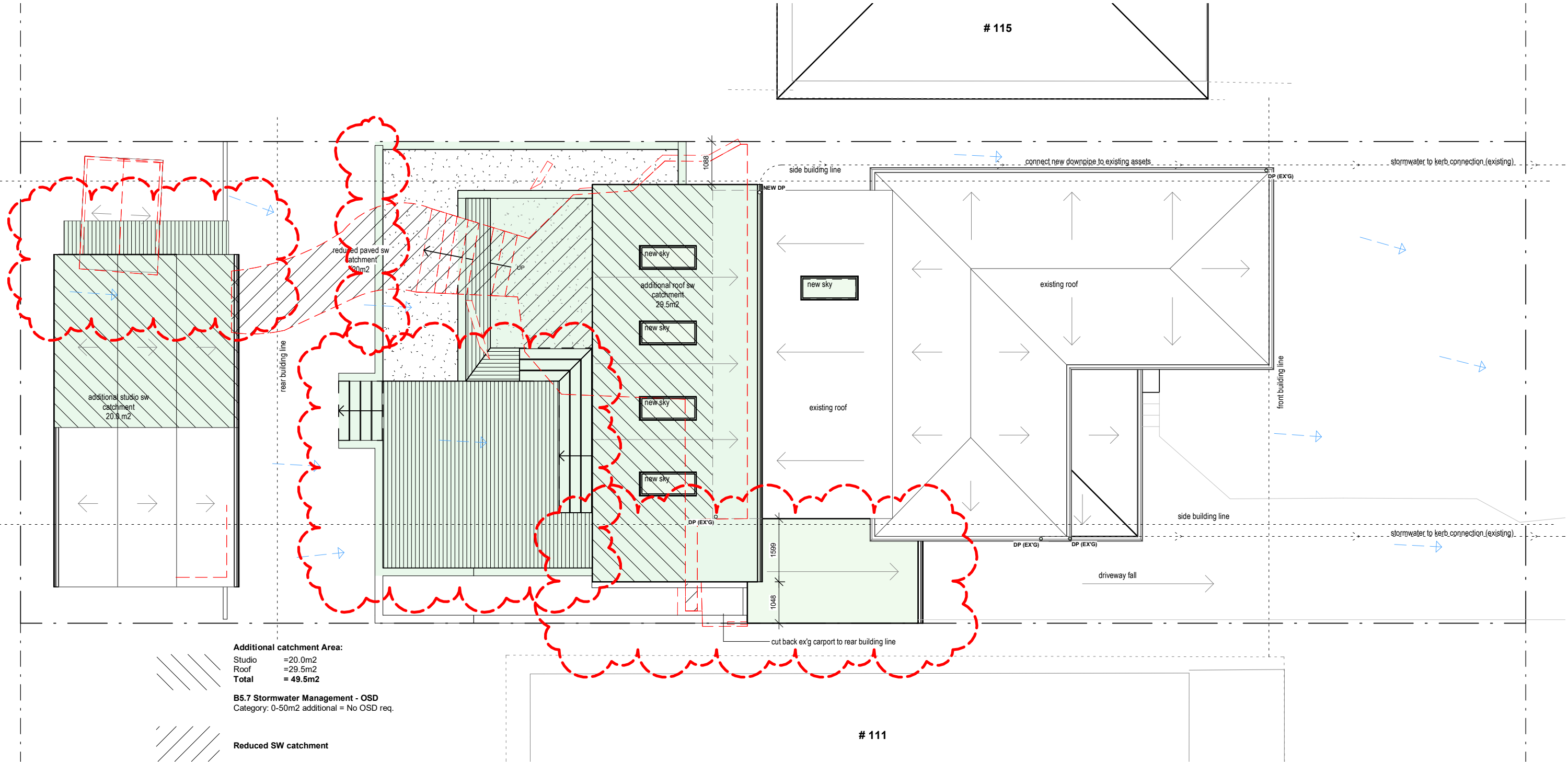
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info@hthousestudio.com  
abn: 355 0579 1074  
Nominated Architect: Wade Stewart Cogle  
NSW ARB Registration # 10971

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| A     | S4.55       | 29/06/20 |

|          |                                 |                           |                  |
|----------|---------------------------------|---------------------------|------------------|
| CLIENT:  | PHILLIP TORRANCE & TINA WILD    | GROUND & LANDSCAPING PLAN |                  |
| PROJECT: | ALTERATIONS AND ADDITIONS       | PROJECT NO.               | 18164            |
| ADDRESS: | 113 GONDOLA RD, NORTH NARRABEEN | DATE                      | 29 June 2020     |
|          |                                 | LOT:                      | 243              |
|          |                                 | DRAWN BY:                 | MS               |
|          |                                 | DP:                       | 16212            |
|          |                                 | CHECKED BY:               | WC               |
|          |                                 | SCALE:                    | @A3 As indicated |

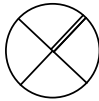


**Additional catchment Area:**  
Studio =20.0m2  
Roof =29.5m2  
Total = 49.5m2

**B5.7 Stormwater Management - OSD**  
Category: 0-50m2 additional = No OSD req.

**Reduced SW catchment**

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**LEGEND:**

DEMOLISH  
NEW WORK  
BOUNDARY  
OVERHEAD  
HIDDEN  
DELETED FROM DA  
CHANGE TO APPROVED DA

ADDITIONAL SW  
STORM WATER  
OVERLAND FLOW

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1 ROOF  
1 : 100

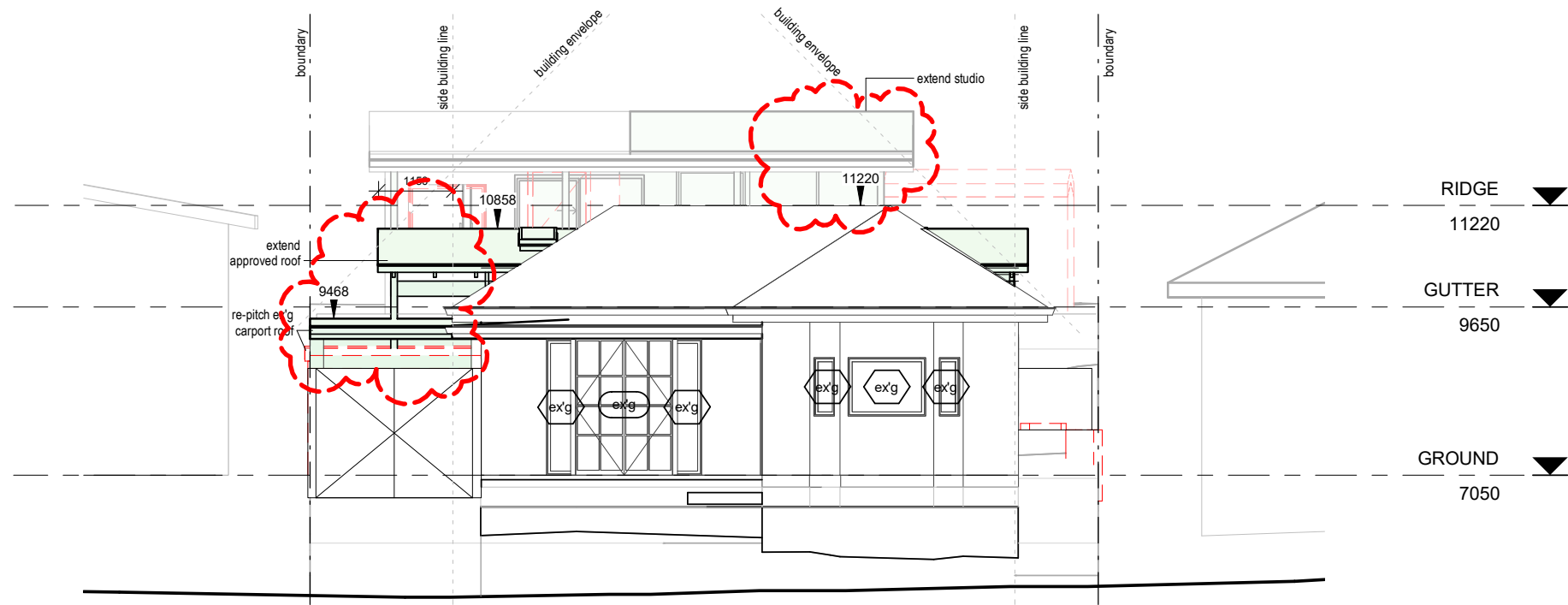
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abn: 355 0579 1074  
Nominated Architect: Wade Stewart Cogle  
NSW ARB Registration # 10971

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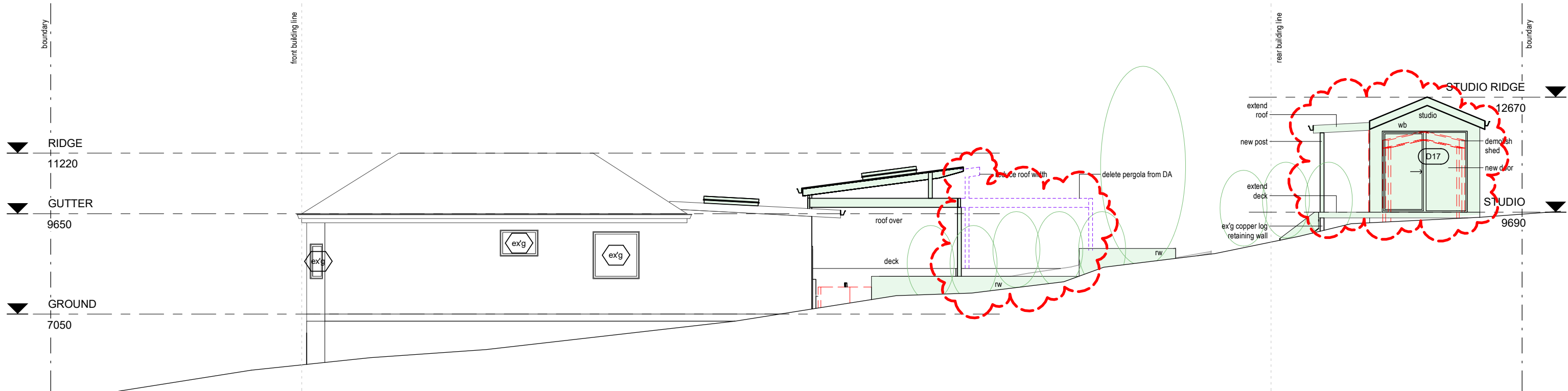
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| A     | S4.55       | 29/06/20 |

|          |                                 |                      |                  |
|----------|---------------------------------|----------------------|------------------|
| CLIENT:  | PHILLIP TORRANCE & TINA WILD    | ROOF & DRAINAGE PLAN |                  |
| PROJECT: | ALTERATIONS AND ADDITIONS       | PROJECT NO.          | 18164            |
| ADDRESS: | 113 GONDOLA RD, NORTH NARRABEEN | DATE                 | 29 June 2020     |
|          |                                 | LOT:                 | 243              |
|          |                                 | DRAWN BY:            | MS               |
|          |                                 | DP:                  | 16212            |
|          |                                 | CHECKED BY:          | WC               |
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1 NORTH  
1 : 100



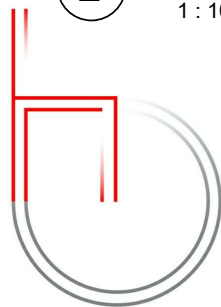
2 WEST  
1 : 100

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| LEGEND:               |     |
|-----------------------|-----|
| DEMOLISH              | --- |
| NEW WORK              | --- |
| BOUNDARY              | --- |
| OVERHEAD              | --- |
| HIDDEN                | --- |
| DELETED FROM DA       | --- |
| CHANGE TO APPROVED DA | --- |

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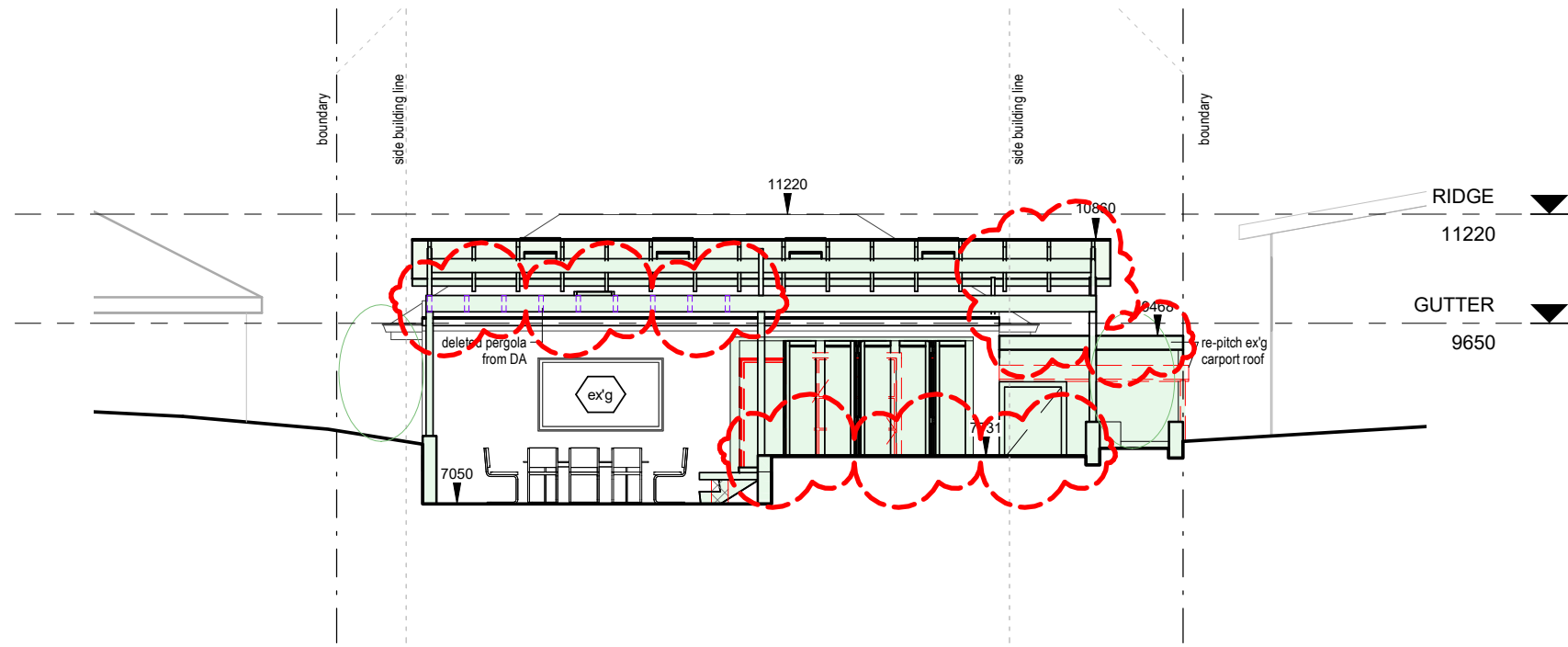
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info@hthousestudio.com  
abn: 355 0579 1074  
  
Nominated Architect: Wade Stewart Cogle  
NSW ARB Registration # 10971

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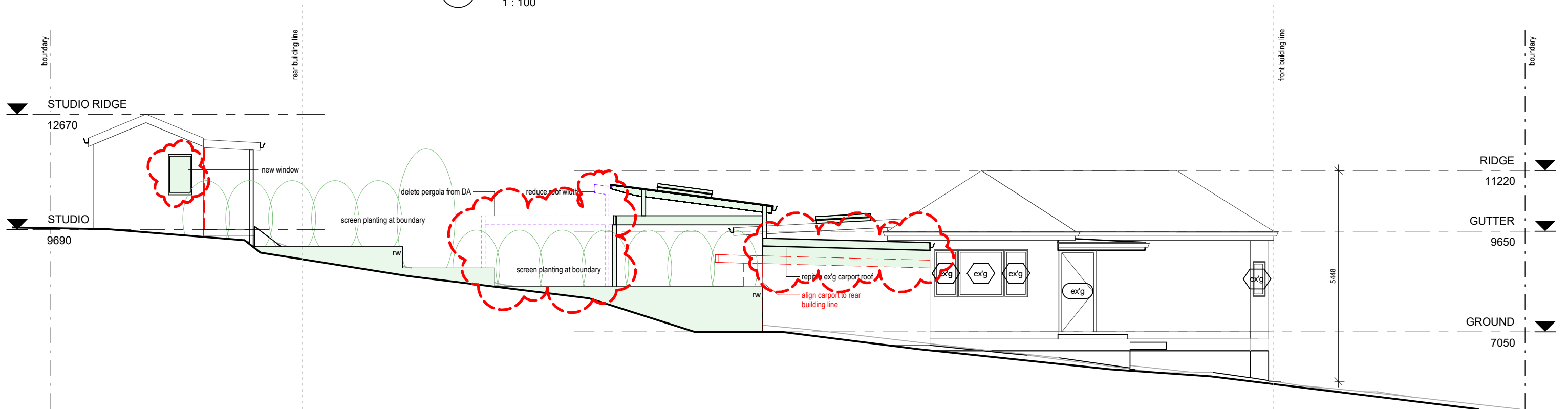
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| A     | S4.55       | 29/06/20 |

|          |                                 |                         |                  |
|----------|---------------------------------|-------------------------|------------------|
| CLIENT:  | PHILLIP TORRANCE & TINA WILD    | NORTH & WEST ELEVATIONS |                  |
| PROJECT: | ALTERATIONS AND ADDITIONS       | PROJECT NO.             | 18164            |
| ADDRESS: | 113 GONDOLA RD, NORTH NARRABEEN | DATE                    | 29 June 2020     |
|          |                                 | LOT:                    | 243              |
|          |                                 | DRAWN BY:               | MS               |
|          |                                 | DP:                     | 16212            |
|          |                                 | CHECKED BY:             | WC               |
|          |                                 | SCALE:                  | @A3 As indicated |



1 SOUTH  
1 : 100



2 EAST  
1 : 100

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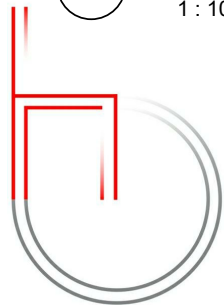
LEGEND:

|                       |     |
|-----------------------|-----|
| DEMOLISH              | --- |
| NEW WORK              | --- |
| BOUNDARY              | --- |
| OVERHEAD              | --- |
| HIDDEN                | --- |
| DELETED FROM DA       | --- |
| CHANGE TO APPROVED DA | --- |

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abn: 355 0579 1074

Nominated Architect: Wade Stewart Cogle  
NSW ARB Registration # 10971

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NOTES:

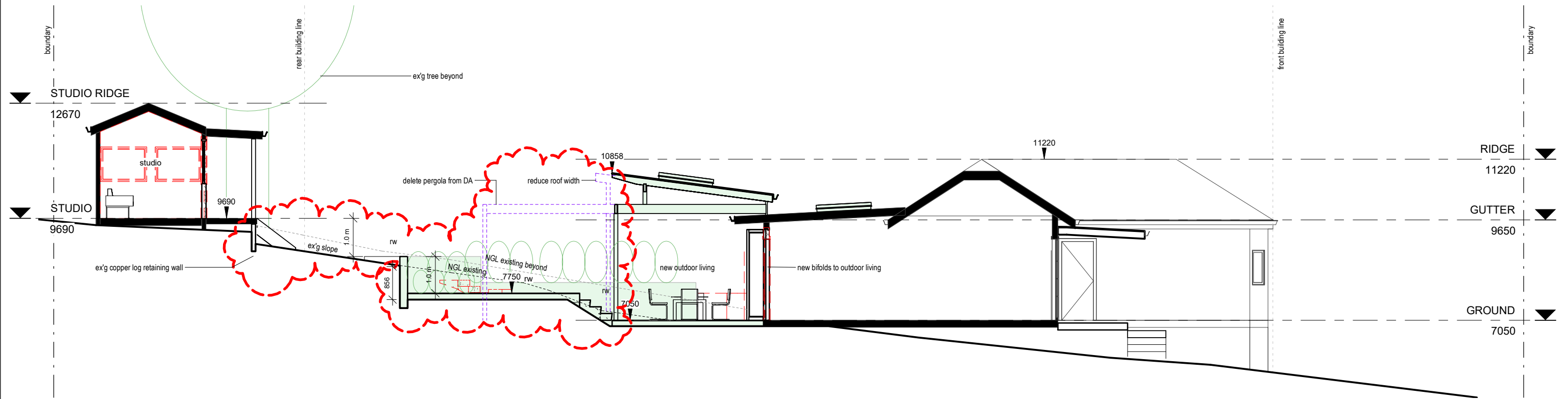
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| A     | S4.55       | 29/06/20 |

|          |                                 |                         |              |
|----------|---------------------------------|-------------------------|--------------|
| CLIENT:  | PHILLIP TORRANCE & TINA WILD    | SOUTH & EAST ELEVATIONS |              |
| PROJECT: | ALTERATIONS AND ADDITIONS       | PROJECT NO.             | 18164        |
| ADDRESS: | 113 GONDOLA RD, NORTH NARRABEEN | DATE                    | 29 June 2020 |
|          |                                 | LOT:                    | 243          |
|          |                                 | DP:                     | 16212        |
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S4.55\_201



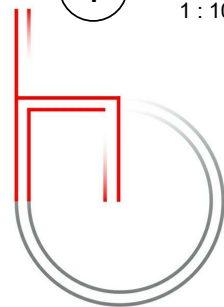
1 Section - Long  
1 : 100

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**LEGEND:**  
DEMOLISH  
NEW WORK  
BOUNDARY  
OVERHEAD  
HIDDEN  
DELETED FROM DA  
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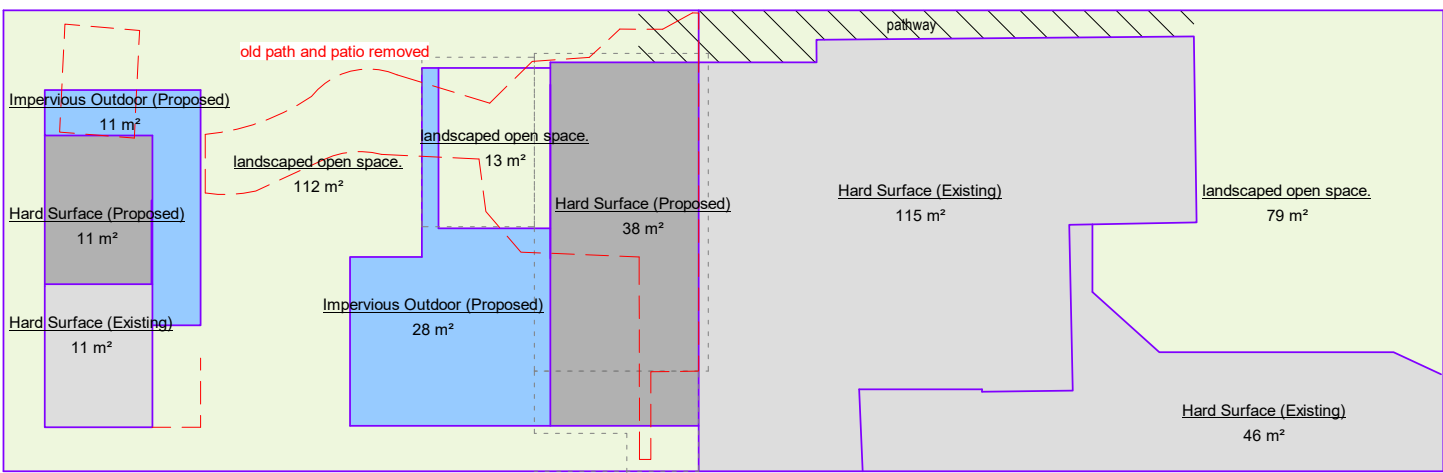
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|-------|-------------|----------|
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|          |                                 |                |              |             |              |
|----------|---------------------------------|----------------|--------------|-------------|--------------|
| CLIENT:  | PHILLIP TORRANCE & TINA WILD    | SECTION - LONG |              |             |              |
| PROJECT: | ALTERATIONS AND ADDITIONS       | PROJECT NO.    | 18164        | S4.55_300   |              |
| ADDRESS: | 113 GONDOLA RD, NORTH NARRABEEN | DATE           | 29 June 2020 |             |              |
|          |                                 | LOT:           | 243          | DRAWN BY:   | MS           |
|          |                                 | DP:            | 16212        | CHECKED BY: | WC           |
|          |                                 |                |              | SCALE:      | As indicated |

| COMPLIANCE & CALCULATION TABLE                                           |                                |                            |                                          |             |                                |
|--------------------------------------------------------------------------|--------------------------------|----------------------------|------------------------------------------|-------------|--------------------------------|
| Land Zoning (LEP)                                                        |                                | R2 Low Density Residential |                                          |             |                                |
| Heritage Item or Heritage Conservation Area                              |                                | No                         |                                          |             |                                |
| Flood Planning Zone                                                      |                                | Low Risk                   |                                          |             |                                |
| Geotechnical Hazard Zone                                                 |                                | No                         |                                          |             |                                |
| Acid Sulfate Soils Zone                                                  |                                | Class 5                    |                                          |             |                                |
| Biodiversity Zone                                                        |                                | No                         |                                          |             |                                |
| Site Area                                                                |                                | 464.4m²                    |                                          |             |                                |
| FSR                                                                      |                                | Control not implemented    |                                          |             |                                |
| Stormwater Management                                                    |                                | No                         |                                          |             |                                |
|                                                                          |                                | Existing                   | Proposed                                 | Required    | Compliance                     |
| <b>Landscaped Area</b>                                                   |                                |                            |                                          |             |                                |
| Minimum of 50% landscaped Area (incl variation ii 6% - recreational use) |                                | 227.5m²(49.0%)+(6%)        | (44%)+(6%)=50%<br>204.3 + 27.9 = 232.2m² | 50%         | Yes                            |
| <b>Private Open Space</b>                                                |                                |                            |                                          |             |                                |
| Minimum of 80m2 (not more than 75% in front yard)                        |                                | >80m²                      | >80m²                                    | Min 80m²    | Yes                            |
| Minimum Dimension                                                        |                                | 6 m                        | 6 m                                      | 3 m         | Yes                            |
| <b>Building Height</b>                                                   |                                |                            |                                          |             |                                |
| Maximum Building Height (Area J)                                         |                                | 5.3 m                      | 5.3 m                                    | Max of 8.5m | Yes                            |
| <b>Building Envelope (DCP)</b>                                           |                                |                            |                                          |             |                                |
| 3.5m, 45 deg plane to maximum building height                            |                                | -                          | -                                        | Max 3.5m    | Yes                            |
| <b>Setbacks R2 (DCP)</b>                                                 |                                |                            |                                          |             |                                |
| Front Setback (6.5m or established building line)                        | Principal Dwelling:<br>Studio: | 6.6m<br>34.2m              | 6.6m                                     | 6.5m        | Yes<br>Yes                     |
| Side Setbacks (2.5m at least one side, 1m to other)                      | Principal Dwelling:<br>Studio: | 1.2m, 2.6m<br>7.4m, 1.2m   | 1.2m, 2.6m<br>5.2m, 1.2m                 | 2.5m & 1m   | Yes<br>Yes                     |
| Rear Setback                                                             | Principal Dwelling:<br>Studio: | 18.4m<br>1.1m              | 18.4m<br>1.1m                            | 6.5m        | Yes<br>Existing - refer to SEE |



# 1 Landscaping Calculations

|                                                                                       |                               |                       |       |
|---------------------------------------------------------------------------------------|-------------------------------|-----------------------|-------|
|  | Hard Surface (Existing)       | 171.73 m <sup>2</sup> | 37.0% |
|  | Hard Surface (Proposed)       | 48.92 m <sup>2</sup>  | 10.5% |
|  | Impervious Outdoor (Existing) | 0.00 m <sup>2</sup>   | 0.0%  |
|  | Impervious Outdoor (Proposed) | 39.47 m <sup>2</sup>  | 8.5%  |
|  | landscaped open space.        | 204.26 m <sup>2</sup> | 44.0% |

### Landscaping:

Target Landscaping = 50%  
 Landscaped open space = 204.3m<sup>2</sup> (44.0%)  
 Variation ii) 6% Imperv/Outdoor allowance = 27.9m<sup>2</sup> (6%)

**Total = 232.2m2 (50%)**

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Nominated Architect: Wade Stewart Cogle  
NSW ARB Registration # 10971

Hot House Studio

PRINT DATE: 6/07/2020 2:48:43 PM  
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NOTES:  
Builder is to examine the site and verify conditions and dimensions.  
Any discrepancies must be brought to the architect's attention.  
Use figured dimensions only. Do not scale drawings.  
All work shall comply with the Building Code of Australia and relevant Australian standards.

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| ISSUE | DESCRIPTION | DATE     |
|-------|-------------|----------|
| A     | S4.55       | 29/06/20 |

FOR S4.55 ONLY

LEGEND:

DEMOLISH  
NEW WORK  
BOUNDARY  
OVERHEAD  
HIDDEN  
DELETED FROM DA  
CHANGE TO APPROVED DA

BASIC COMMITMENTS:

1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS,  
CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX  
CERTIFICATE  
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED  
AS PER BASIX GLAZING REQUIREMENTS

NOTES:  
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN  
ACCORDANCE WITH APPLICABLE AUSTRALIAN  
STANDARDS AND BUILDING CODE OF AUSTRALIA  
DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX  
CERTIFICATE AND THE SURVEY

| CLIENT:  | PHILLIP TORRANCE & TINA WILD    |  |             |       | CALCULATIONS PLAN |    |
|----------|---------------------------------|--|-------------|-------|-------------------|----|
| PROJECT: | ALTERATIONS AND ADDITIONS       |  | PROJECT NO. |       | 18164             |    |
|          |                                 |  | DATE        |       | 29 June 2020      |    |
| ADDRESS: | 113 GONDOLA RD, NORTH NARRABEEN |  | LOT:        | 243   | DRAWN BY:         | MS |
|          |                                 |  | DP:         | 16212 | CHECKED BY:       | WC |
|          |                                 |  | SCALE:      |       | As indicated      |    |