

HUMEL & CLARKE RESIDENCE

88 BOWER STREET, MANLY NSW 2095

DEVELOPMENT APPLICATION SET



SUBJECT SITE

SHEET LIST - DA PLANS			
NUMBER	NAME	CURRENT REVISION	ISSUED
DA-001	COVER SHEET, DRAWING LIST, SITE LOCATION PLAN	B	11.02.22
DA-005	3D VIEW 1	B	11.02.22
DA-006	3D VIEW 2	B	11.02.22
DA-011	SITE PLAN	B	11.02.22
DA-012	SITE ANALYSIS PLAN	B	11.02.22
DA-019	EXISTING LOWER GROUND LEVEL	A	25.06.21
DA-020	EXISTING PLAN GROUND LEVEL	A	25.06.21
DA-021	EXISTING PLAN LEVEL 1	A	25.06.21
DA-022	EXISTING ROOF LEVEL	A	25.06.21
DA-030	DEMOLITION LOWER GROUND LEVEL	A	25.06.21
DA-031	DEMOLITION GROUND FLOOR LEVEL	A	25.06.21
DA-032	DEMOLITION LEVEL 1 PLAN	A	25.06.21
DA-033	DEMOLITION ROOF LEVEL	A	25.06.21
DA-099	FLOOR PLAN LOWER GROUND LEVEL	B	11.02.22
DA-100	FLOOR PLAN GROUND LEVEL	B	11.02.22
DA-101	FLOOR PLAN LEVEL 1	B	11.02.22
DA-102	FLOOR PLAN ENTRY LEVEL	B	11.02.22
DA-103	ROOF PLAN	B	11.02.22
DA-201	ELEVATIONS SHEET 1	B	11.02.22
DA-202	ELEVATIONS SHEET 2	B	11.02.22
DA-301	SECTIONS SHEET 1	B	11.02.22
DA-302	SECTIONS SHEET 2	B	11.02.22
DA-401	SHADOW STUDY PLAN WINTER SOLSTICE	B	11.02.22
DA-402	SHADOW STUDY PLAN WINTER SOLSTICE	B	11.02.22
DA-431	SUN'S EYE VIEW SHEET 1	B	11.02.22
DA-432	SUN'S EYE VIEW SHEET 2	B	11.02.22
DA-499	SETBACK PLAN - LOWER GROUND LEVEL	A	25.06.21
DA-500	SETBACK PLAN - GROUND LEVEL	A	25.06.21
DA-501	SETBACK PLAN - LEVEL 1	A	25.06.21
DA-502	SETBACK PLAN - ENTRY LEVEL	A	25.06.21
DA-510	GROSS FLOOR AREA CALCULATIONS	B	11.02.22
DA-511	FSR STUDY	B	11.02.22
DA-521	EXCAVATION PLAN	B	11.02.22
DA-531	OPEN SPACE & LANDSCAPE DIAGRAMS	B	11.02.22
DA-551	BUILDING HEIGHT PLANE DIAGRAM (NATURAL GROUND LEVEL)	A	11.02.22

DEVELOPMENT SUMMARY			
• SITE AREA	LOT 1 =	56.7m ²	
	LOT 3 =	679.4m ²	
	TOTAL =	736.1m ²	

• ZONE	E4 - ENVIRONMENTAL LIVING
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• BUILDING HEIGHT CONTROL	MAXIMUM 8.5m
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• FSR CONTROL LEC APPROVED*	0.45:1 0.58:1
PROPOSED (INCLUDING FLOOD PRONE AREA)	0.54:1
PROPOSED (EXCLUDING FLOOD PRONE AREA)	0.44:1

• OPEN SPACE AREA	MIN. 55% OF SITE AREA = 404.8m ² = 431.1m ²
PROPOSED	

• LANDSCAPE AREA	MIN. 35% OF TOTAL OPEN SPACE = 151.9m ² = 245m ²
PROPOSED	

• ABOVE GROUND OPEN SPACE	MAX. OF TOTAL OPEN SPACE = 108.5m ² = 74.7m ²
PROPOSED	

*PREVIOUS APPROVED DA NUMBER : 216/2007
COMMENCED ON 14.07.14
REF:DS MC/14.82959



NOTES

NOT TO SCALE

List of Amendments

- FSR reduced from 0.57 to 0.53:1
- Height plane encroachment reduced from 1190mm to 1170mm.
- Reconfigured lower ground floor, service room and stair access hall.
- Switched bedroom 3 and rumpus locations.
- Reduced extent of new rumpus.
- Increased landscaped and open space areas to ground floor.
- Reduced extent of formal dining room.
- Increased landscaped and open space areas to garden and deck.
- Reduced extent of entry hall and study at entry level.
- Reduced extent of roof overhang over deck and formal dining.
- Reduced extent of roof overhang over roof terrace and study.



PERSPECTIVE OF EXISTING DWELLING FROM MARINE PARADE



PERSPECTIVE OF PROPOSED DWELLING FROM MARINE PARADE

NOTES

NOT TO SCALE

List of Amendments

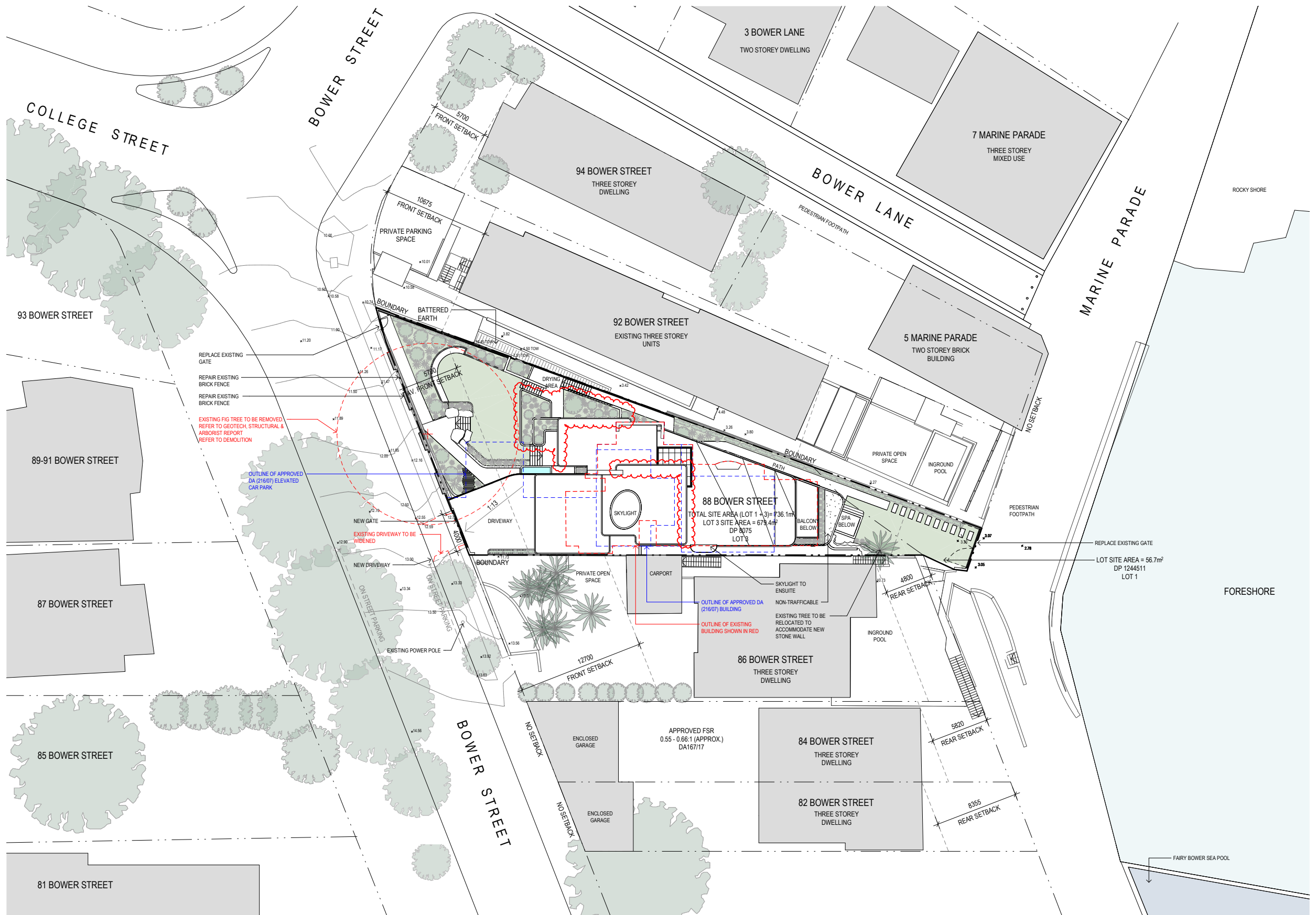
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EXISTING VIEW - VIEW FROM GARDEN FACING NORTH EAST



PROPOSED VIEW - VIEW FROM GARDEN FACING NORTH EAST



- LEGEND**
- PROPOSED WALLS
 - EXISTING WALLS
 - DA PROPOSAL (2021/1400) OUTLINE
 - APPROVED DA (216/07) OUTLINE
 - EXISTING BUILDING OUTLINE

1 **SITE PLAN.**
1:200 @ A1

STATUS
DEVELOPMENT APPLICATION
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ISS	DATE	PURPOSE OF ISSUE
B	11.02.22	REVISED DA
A	25.06.21	ISSUE FOR DA

- NOTES**
- 1:200 @ A3
1:100 @ A1
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 - Reduced extent of roof overhang over roof terrace and study.

PROJECT
BOWER STREET RESIDENCE
88 BOWER STREET

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Vince Squillace Reg No. 6468 (NSW),
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DRAWING NO.
DA-011

ISSUE
B

DRAWN BY
JP

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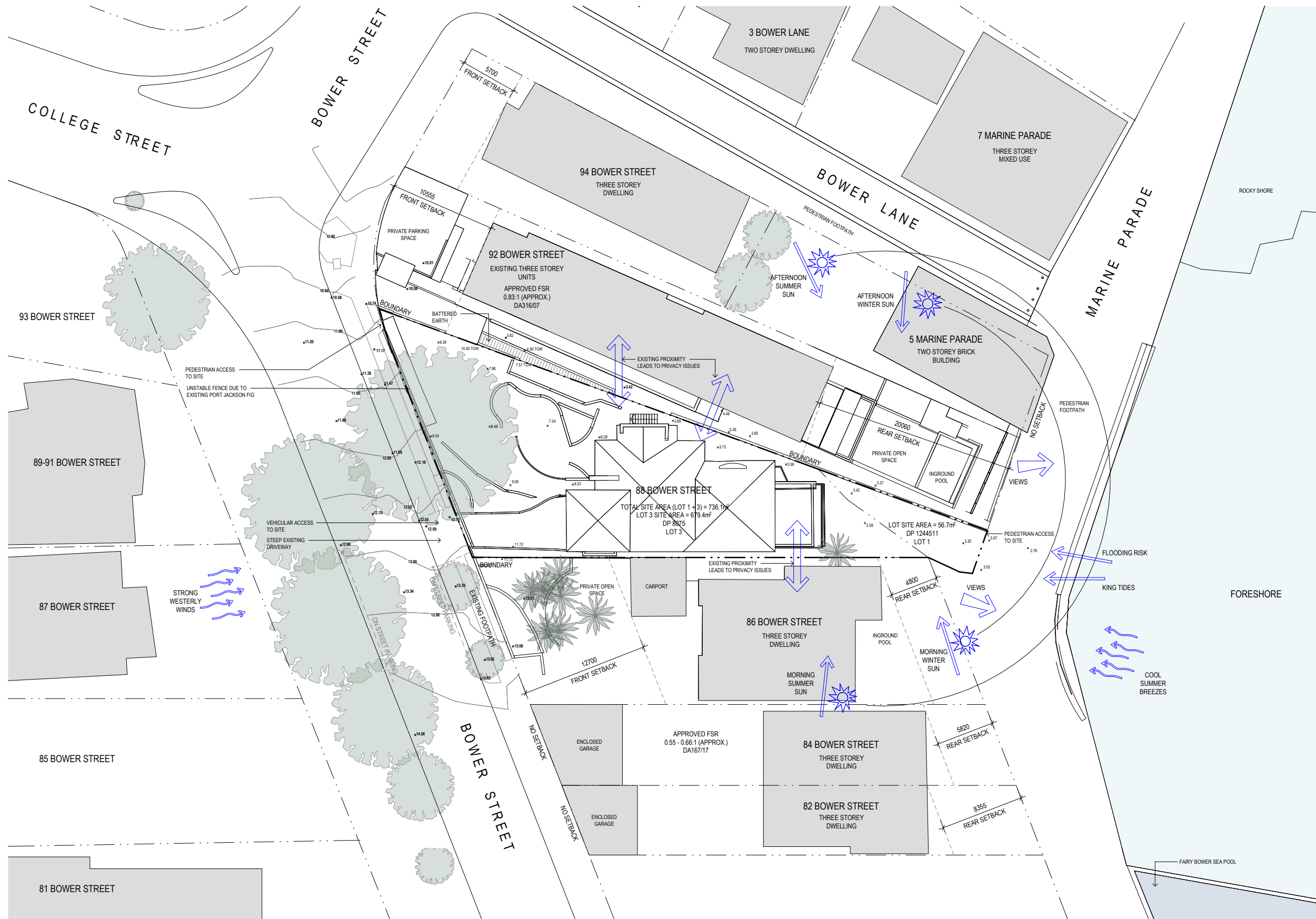
SCALE
As indicated @ A1

DATE
11.02.22

DRAWING TITLE
SITE PLAN

JOB NO.
BOW2010

North Arrow



1 **SITE ANALYSIS PLAN.**
1:200 @ A1

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1:400 @ A3
1:200 @ A1

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DA-012

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DRAWING TITLE
SITE ANALYSIS PLAN

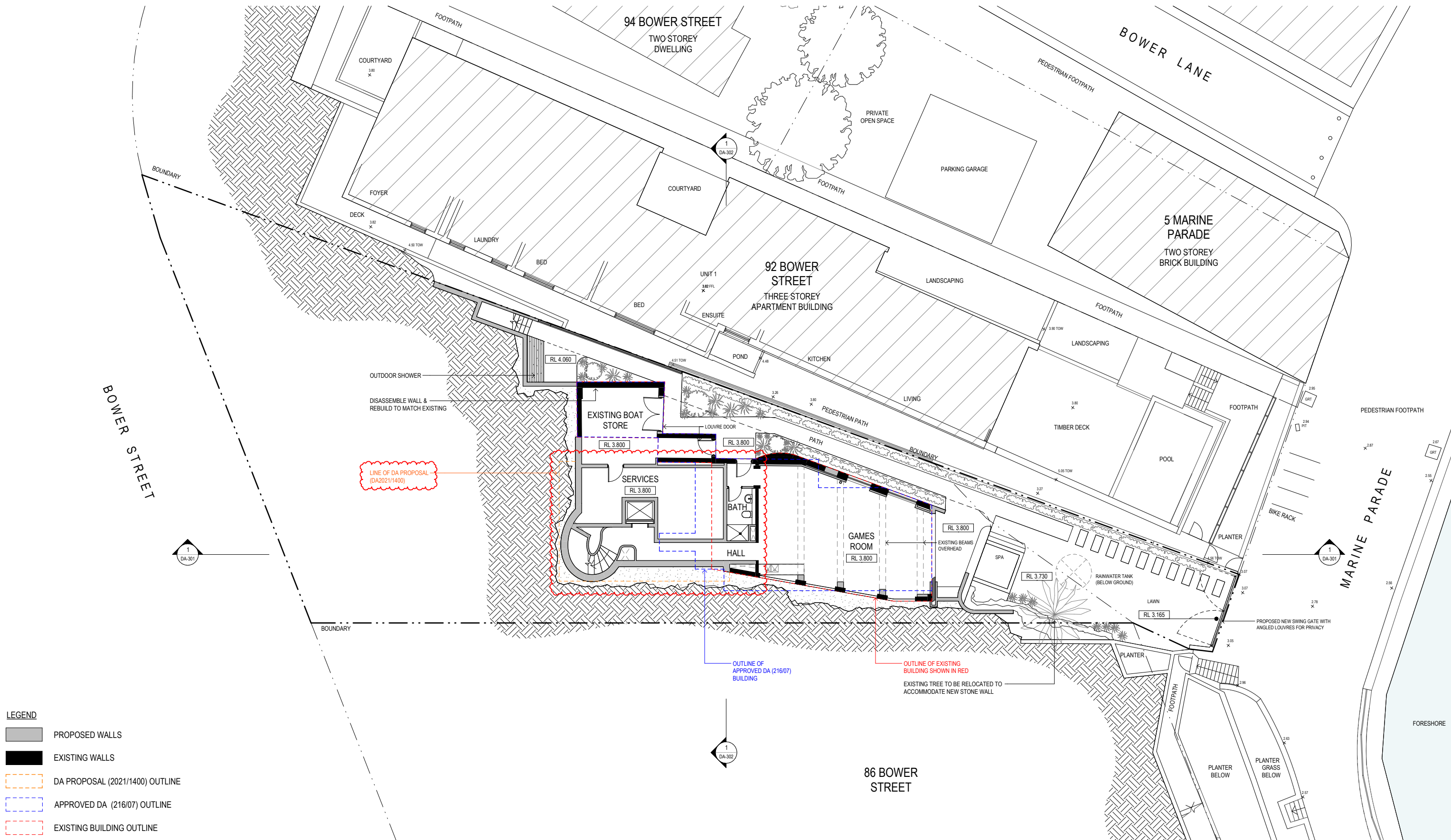
ISSUE
B

SCALE
1:200@A1

JOB NO.
BOW2010

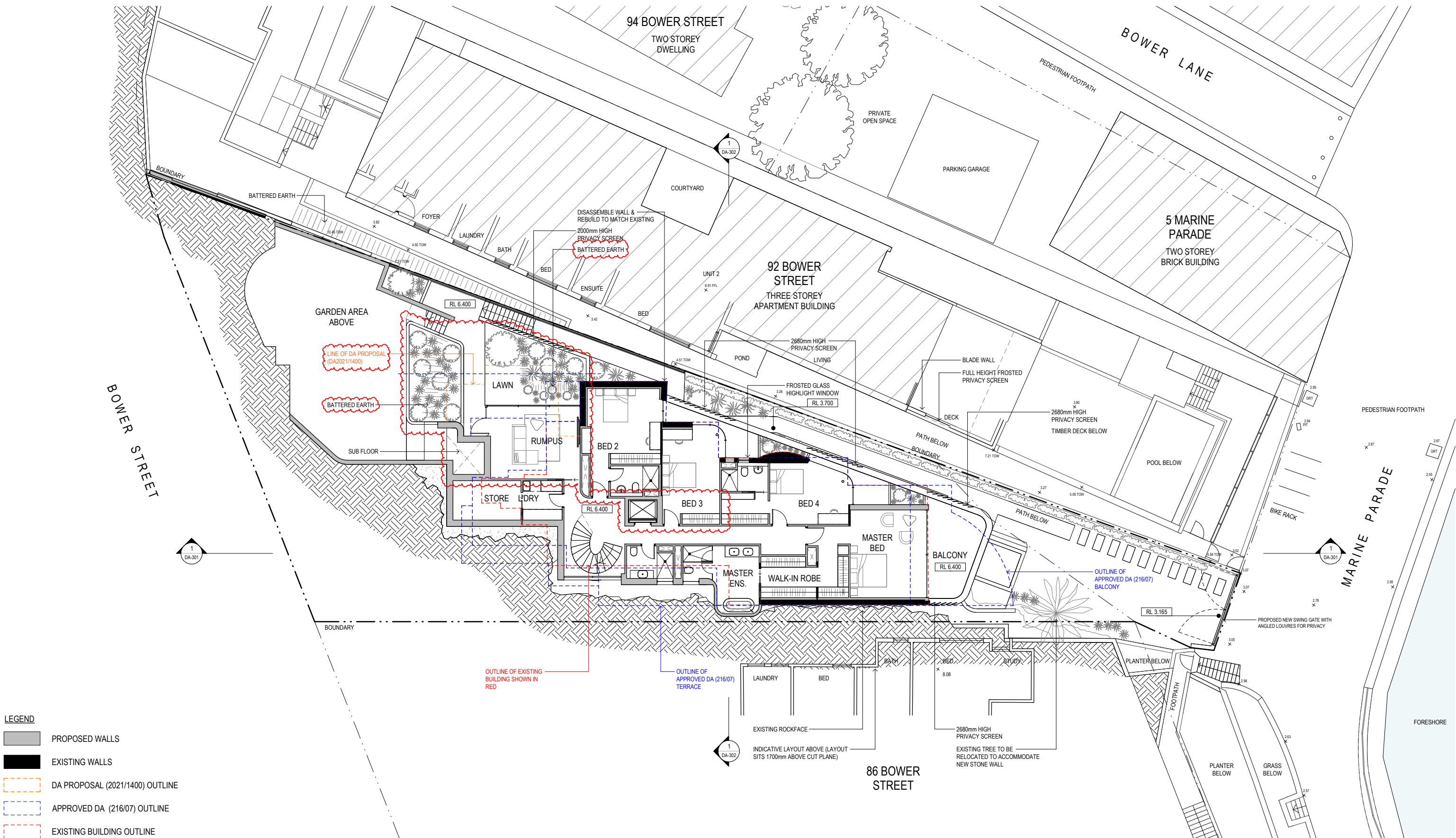
DATE
11.02.22





1 **FLOOR PLAN - LOWER GROUND LEVEL**
1: 100 @ A1

NOTE: FOR SETBACK DETAILS REFER TO DA-499
REFER TO LANDSCAPE PLANS FOR DETAILS



1 **FLOOR PLAN - GROUND LEVEL**
1: 100 @ A1

NOTE: FOR SETBACK DETAILS REFER TO DA-500
REFER TO LANDSCAPE PLANS FOR DETAILS

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ISS DATE

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1:100 @ A1

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DRAWING NO.
DA-100 B

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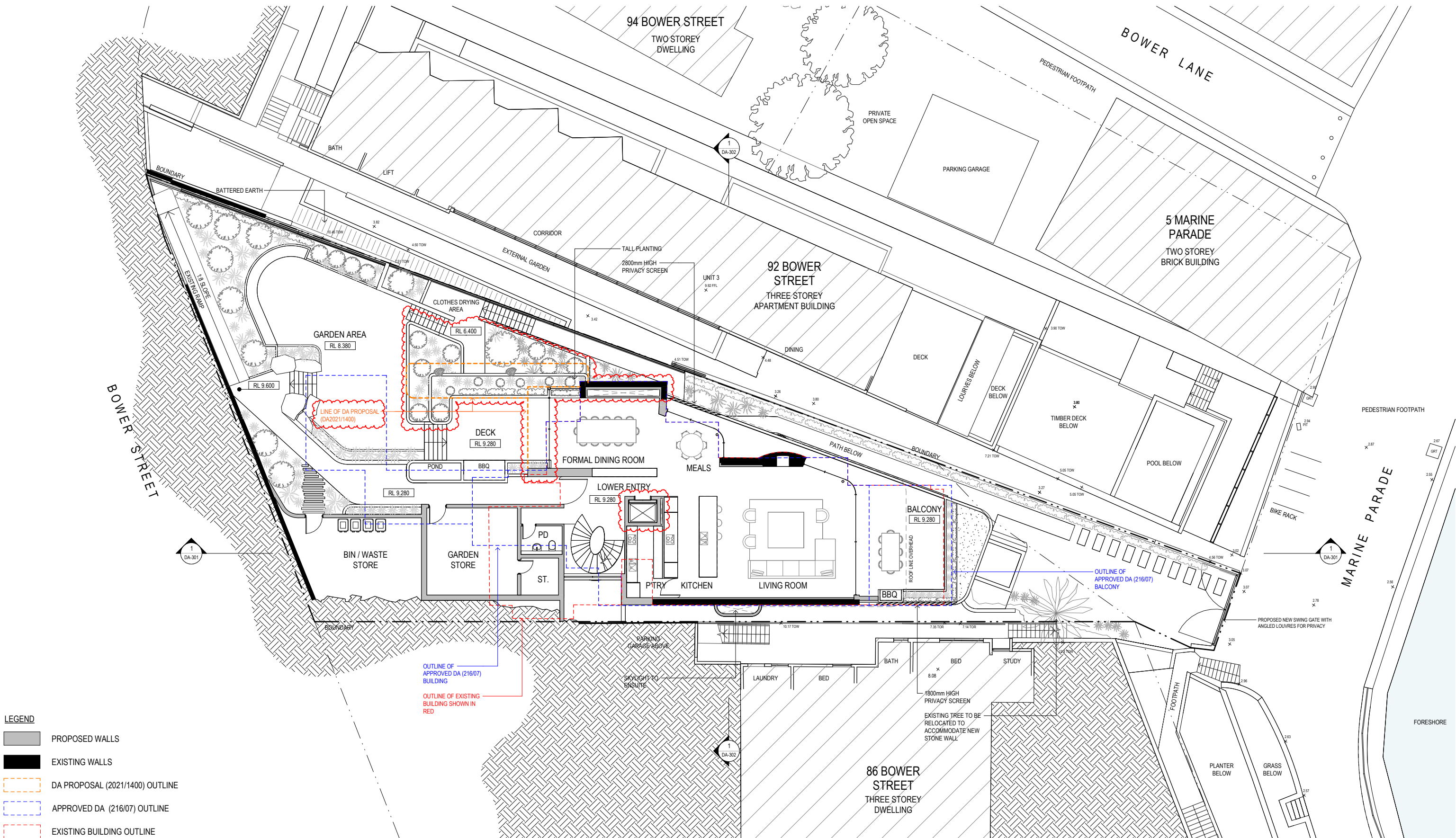
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**1:100 @ A1
1:200 @ A3**

DRAWING TITLE
FLOOR PLAN GROUND LEVEL

JOB NO.
BOW2010

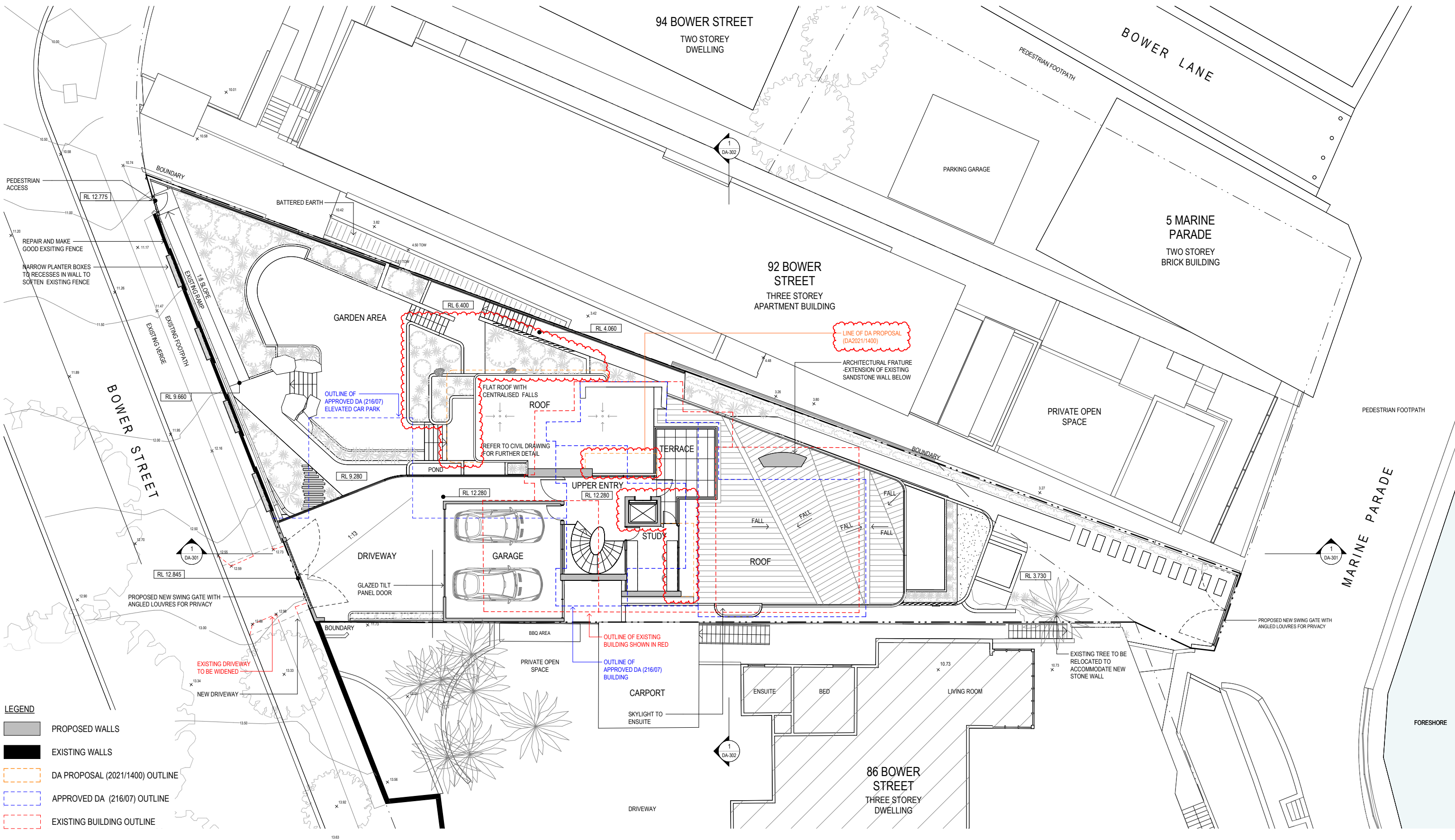
DATE
11.02.22





1 **FLOOR PLAN - LEVEL 1**
1: 100 @ A1

NOTE: FOR SETBACK DETAILS REFER TO DA-501
REFER TO LANDSCAPE PLANS FOR DETAILS



1 FLOOR PLAN - ENTRY LEVEL
1: 100 @ A1

NOTE: FOR SETBACK DETAILS REFER TO DA-502
REFER TO LANDSCAPE PLANS FOR DETAILS

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DRAWING NO.
DA-102

ISSUE
B

JOB NO.
BOW2010

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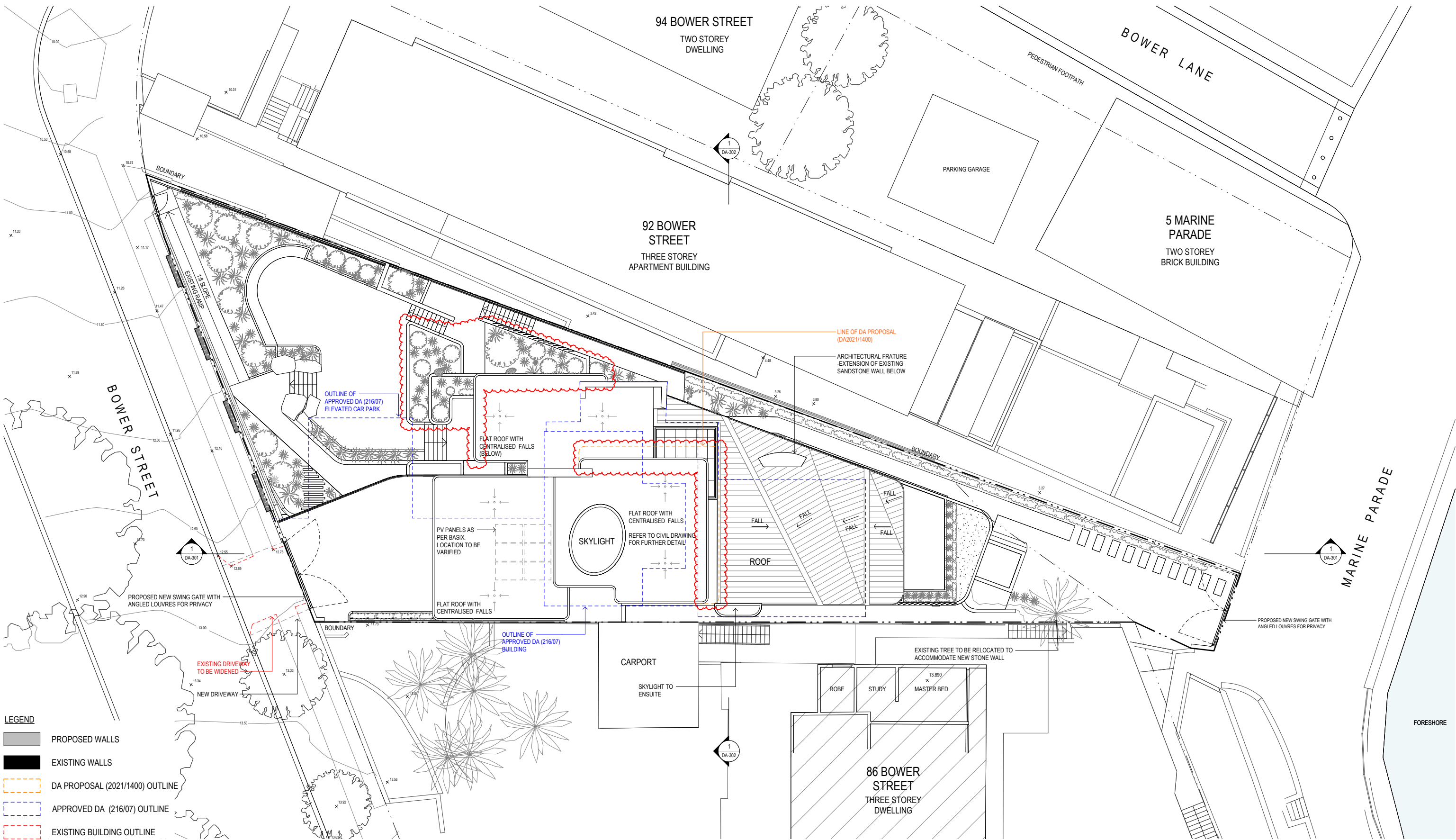
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AA

SCALE
1:100@ A1
1:200@A3

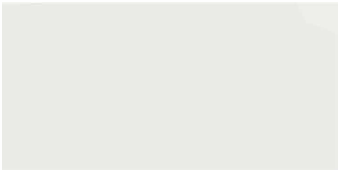
DATE
11.02.22

DRAWING TITLE
FLOOR PLAN ENTRY LEVEL





1 FLOOR PLAN - ROOF LEVEL
1: 100 @ A1



A - LIGHT GREY FINISH



B - MID GREY FINISH



C - SANDSTONE CLADDING



D - SANDSTONE BLOCKS



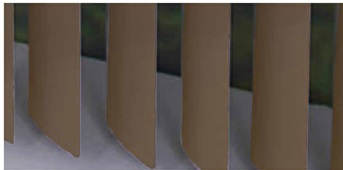
E - DARK GREY WINDOW FRAMES



F - DARK GREY COPING TO MATCH WINDOW FRAMES



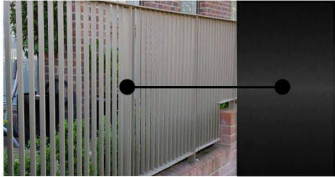
G - COPPER STYLE ROOFING



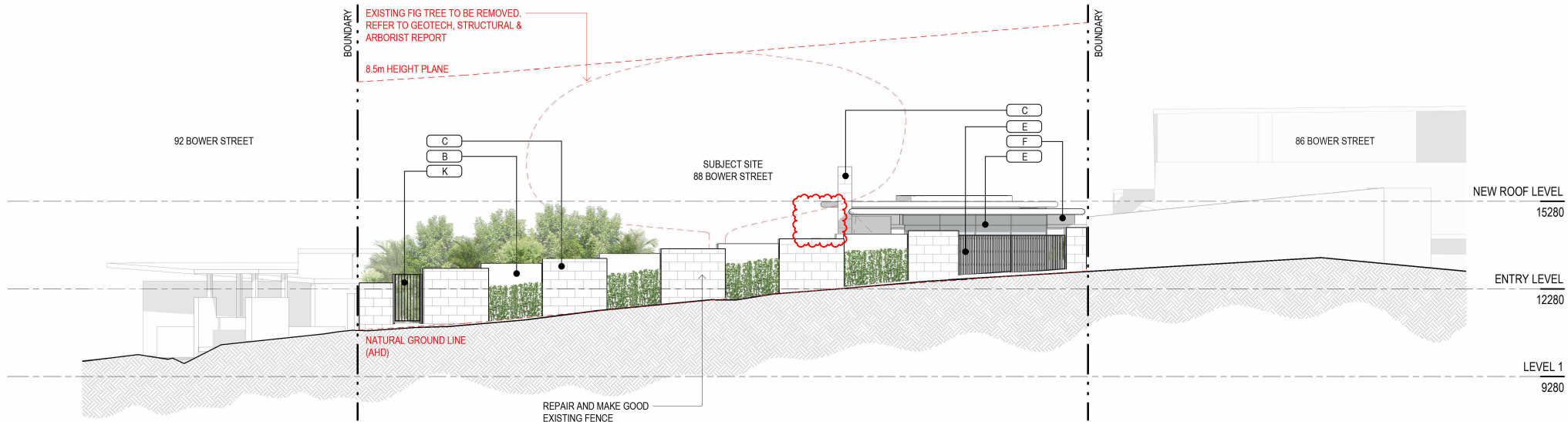
H - COPPER-LOOK LOUVRES



J - FRAMELESS GLASS BALUSTRADE

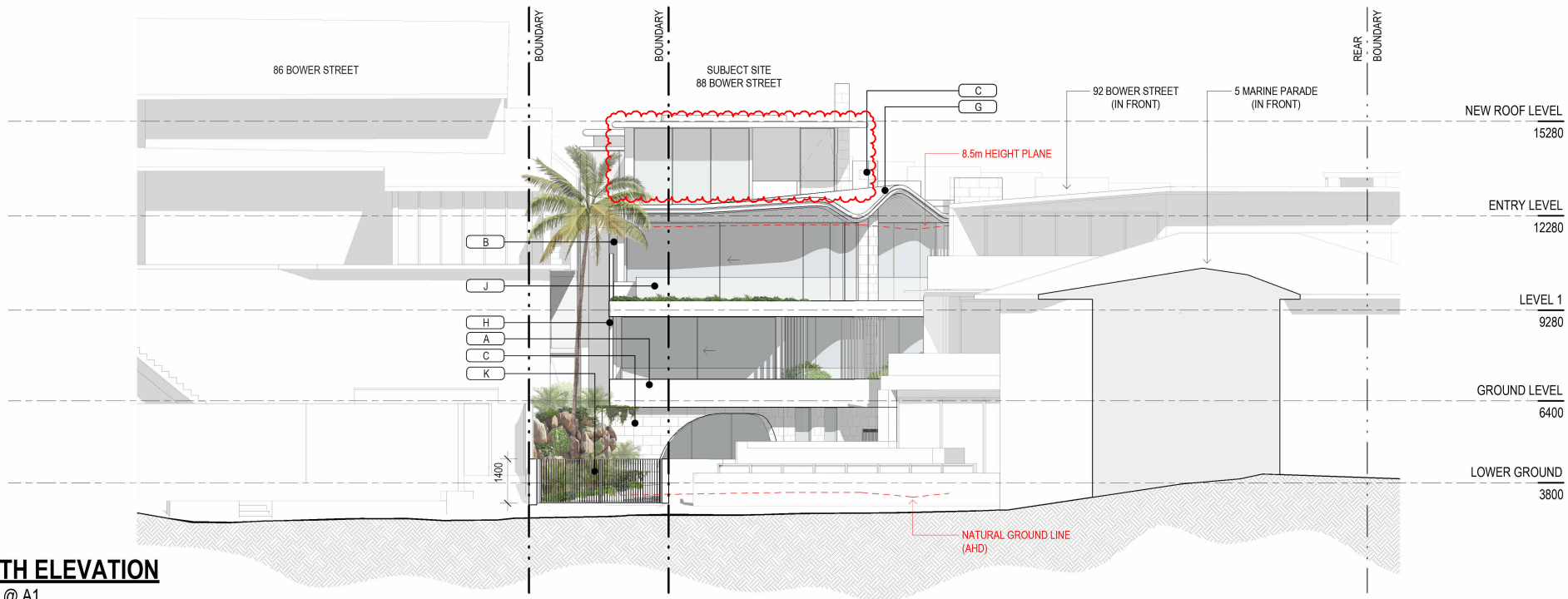


K - DARK GREY METAL FENCING & GATE



2 SOUTH ELEVATION
1: 100 @ A1

- LEGEND
- APPROVED DA (216/07) OUTLINE
 - EXISTING BUILDING OUTLINE



1 NORTH ELEVATION
1: 100 @ A1

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B 11.02.22 REVISED DA
A 25.06.21 ISSUE FOR DA

ISS DATE

PURPOSE OF ISSUE

NOTES

1:200 @ A3
1:100 @ A1

List of Amendments

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PROJECT BOWER STREET RESIDENCE

88 BOWER STREET

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NOMINATED ARCHITECT
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DRAWING NO.
DA-201

ISSUE
B

JOB NO.
BOW2010

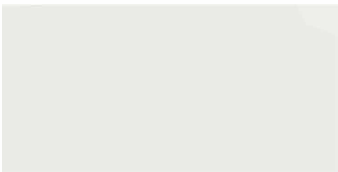
DRAWN BY
JP

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AA

SCALE
1:100@ A1
1:200@A3

DATE
11.02.22

DRAWING TITLE
ELEVATIONS SHEET 1



A - LIGHT GREY FINISH



B - MID GREY FINISH



C - SANDSTONE CLADDING



D - SANDSTONE BLOCKS



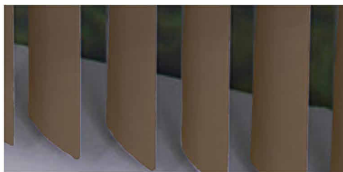
E - DARK GREY WINDOW FRAMES



F - DARK GREY COPING TO MATCH WINDOW FRAMES



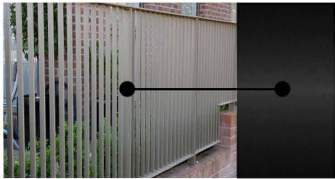
G - COPPER STYLE ROOFING



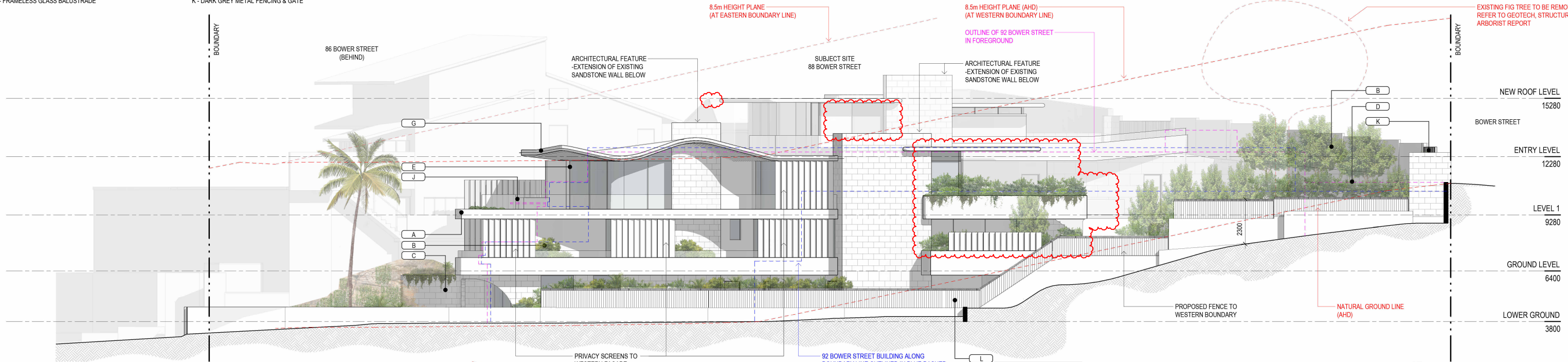
H - COPPER-LOOK LOUVRES



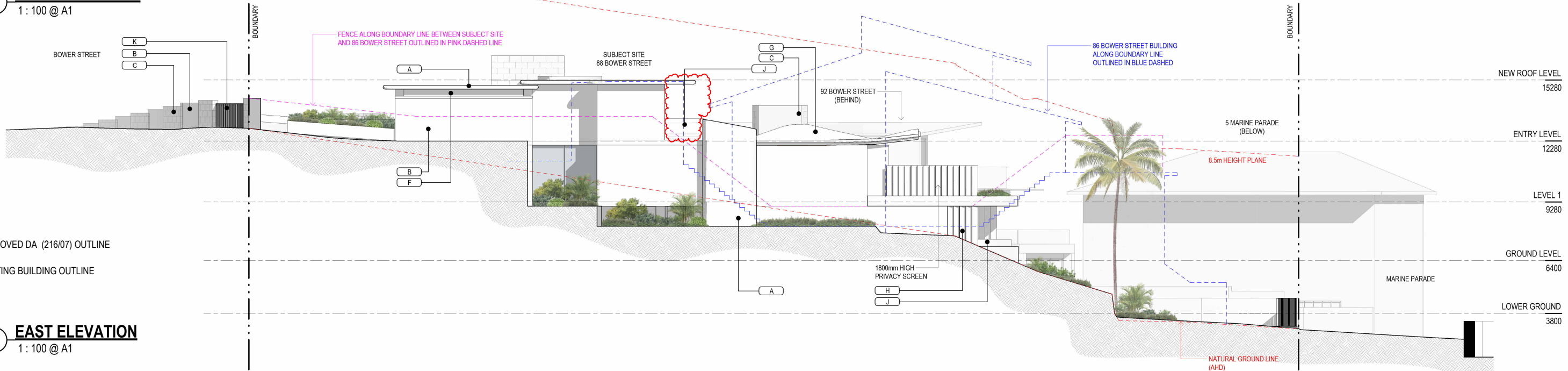
J - FRAMELESS GLASS BALUSTRADE



K - DARK GREY METAL FENCING & GATE



2 WEST ELEVATION
1:100 @ A1



1 EAST ELEVATION
1:100 @ A1

- LEGEND
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88 BOWER STREET

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DRAWING NO.
DA-202

ISSUE
B

JOB NO.
BOW2010

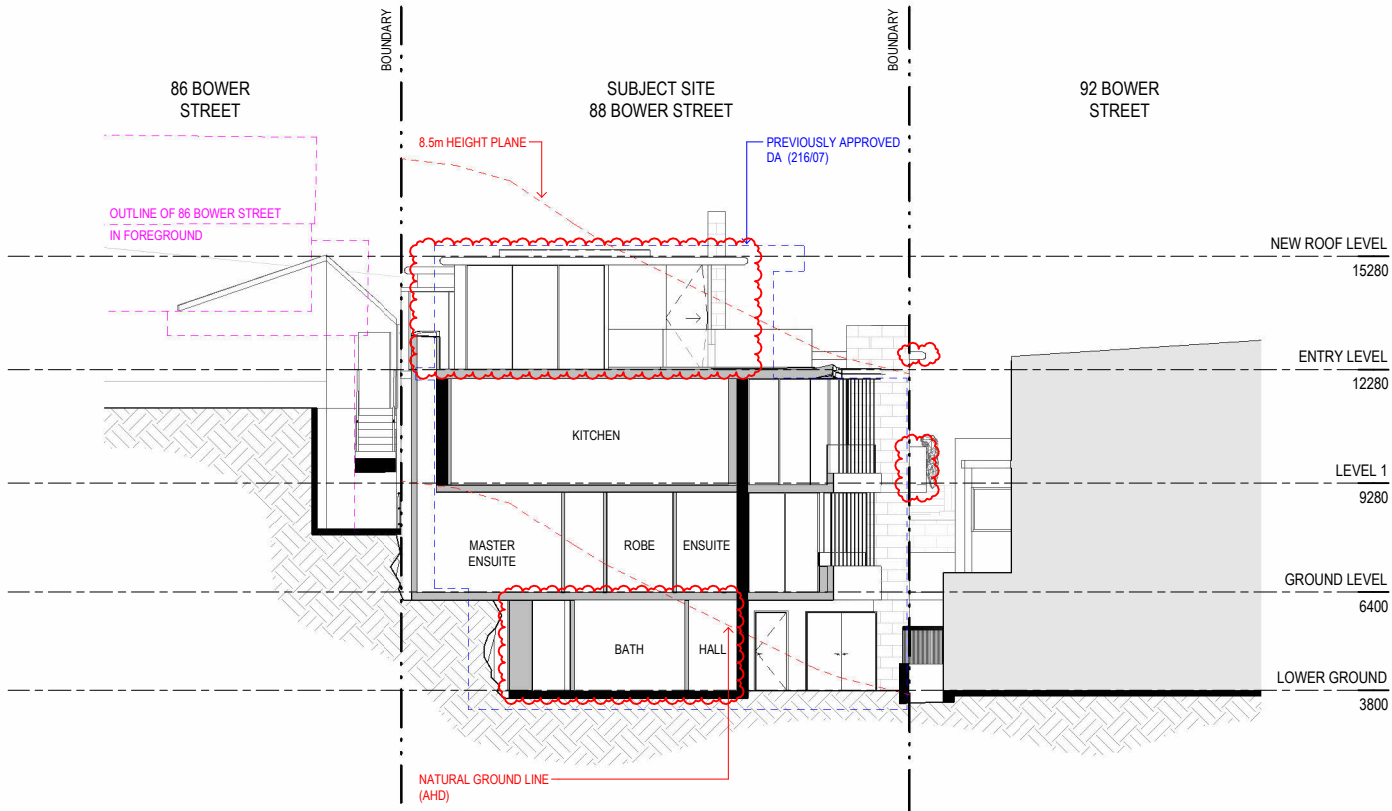
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CHECKED BY
AA

SCALE
1:100@ A1
1:200@A3

DATE
11.02.22

DRAWING TITLE
ELEVATIONS SHEET 2



1 SECTION 2
1 : 100 @ A1

LEGEND

- PROPOSED WALLS
- EXISTING WALLS
- DA PROPOSAL (2021/1400) OUTLINE
- APPROVED DA (216/07) OUTLINE
- EXISTING BUILDING OUTLINE

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ABN: 34 137 620 538

NOMINATED ARCHITECT
Vince Squillace Reg No. 6468 (NSW).
17219 (VIC), 3677 (QLD)

DRAWING NO.
DA-302

ISSUE
B

JOB NO.
BOW2010

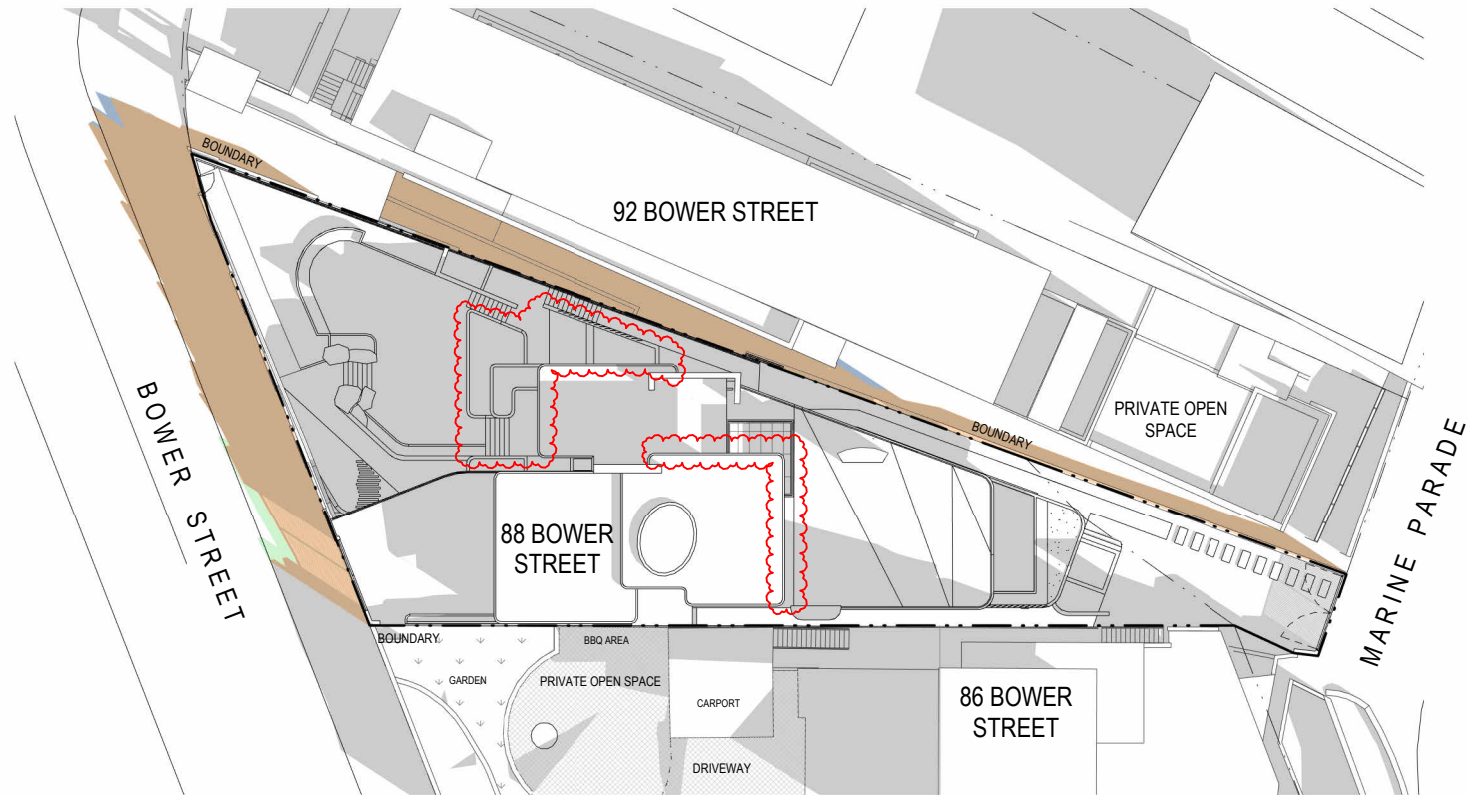
DRAWN BY
JP

CHECKED BY
AA

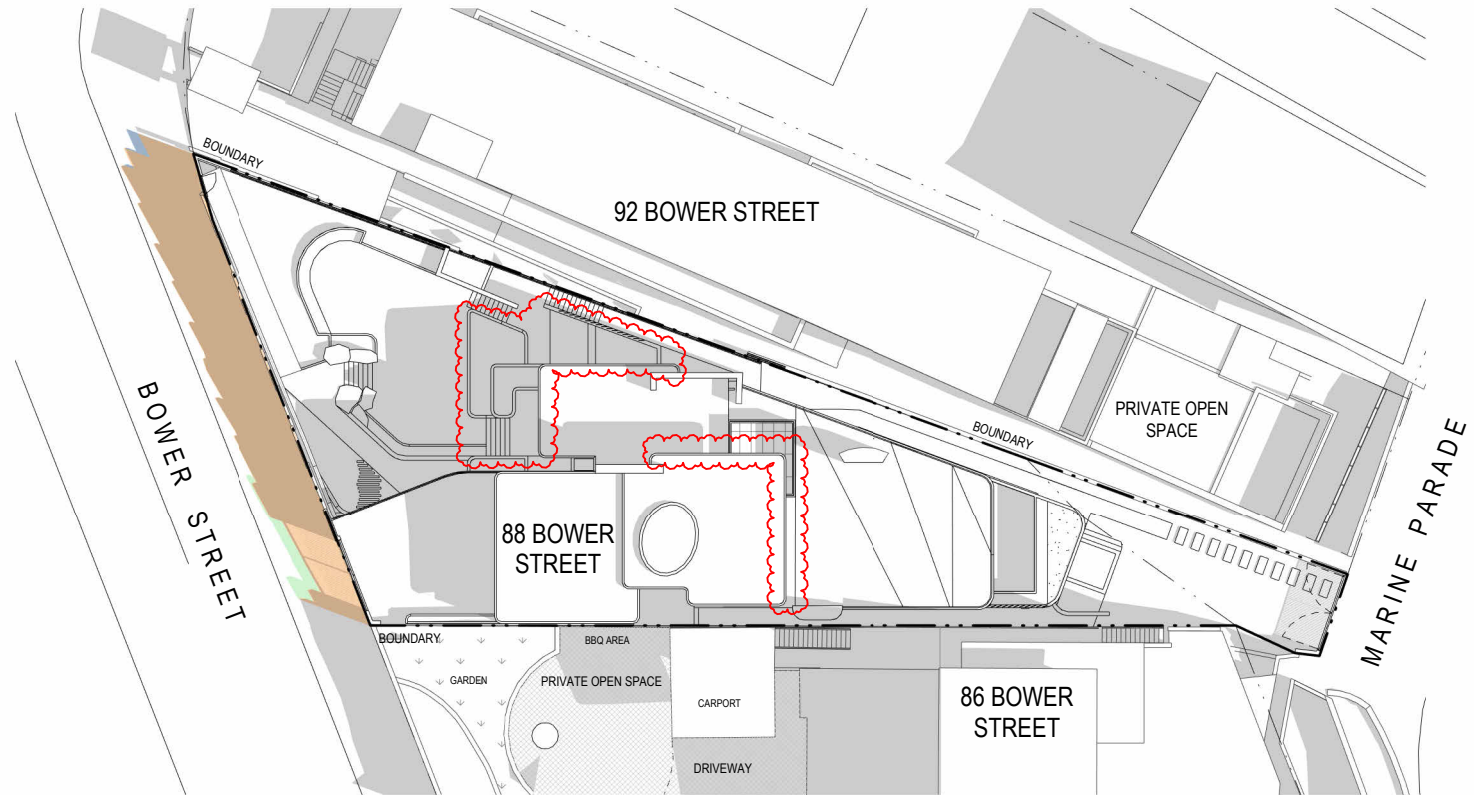
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1:200@A3

DATE
11.02.22

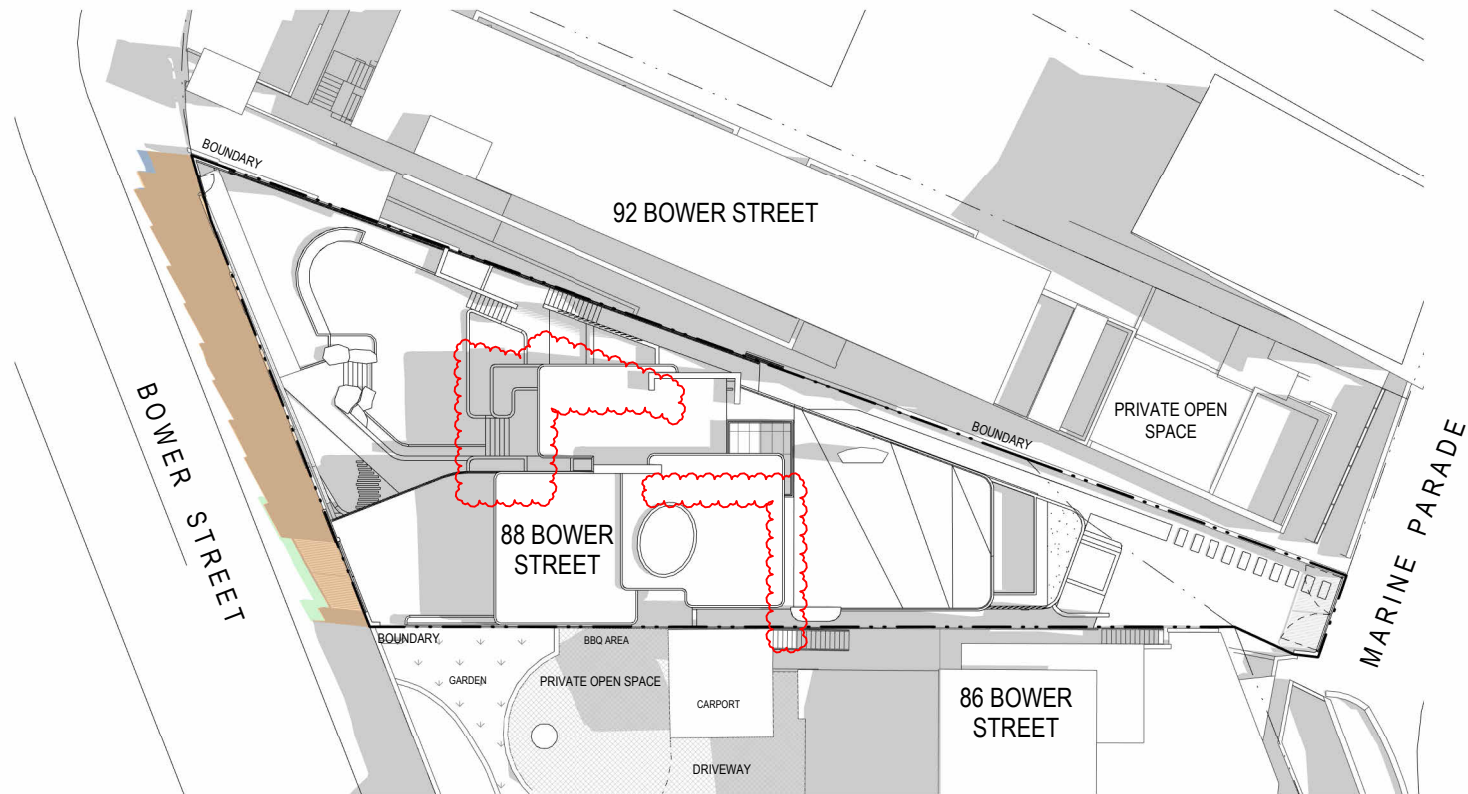
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SECTIONS SHEET 2



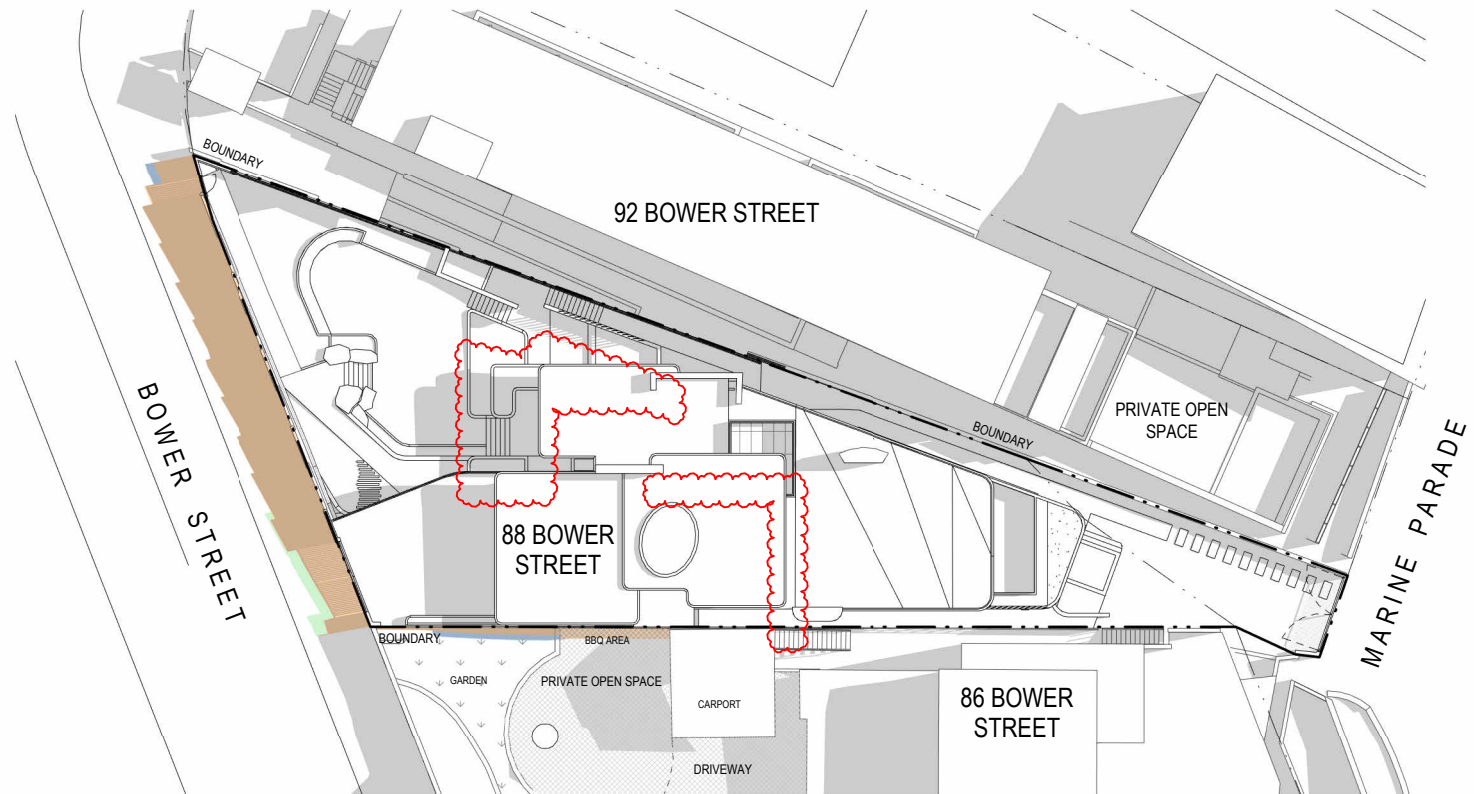
1 **SHADOW STUDY PLAN - WINTER SOLSTICE - 9AM - PROPOSED**
1:200 @ A1



2 **SHADOW STUDY PLAN - WINTER SOLSTICE - 10AM - PROPOSED**
1:200 @ A1



3 **SHADOW STUDY PLAN - WINTER SOLSTICE - 11AM - PROPOSED**
1:200 @ A1



4 **SHADOW STUDY PLAN - WINTER SOLSTICE - NOON - PROPOSED**
1:200 @ A1

LEGEND

- SHADOW CAST BY EXISTING BUILDING
- ADDITIONAL SHADOWS CAST BY PROPOSED BUILDING
- REDUCTION IN SHADOWS CAST BY PROPOSED BUILDING

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B 11.02.22 REVISED DA
A 25.06.21 ISSUE FOR DA

ISS DATE

PURPOSE OF ISSUE

NOTES

1:200 @ A3
1:100 @ A1

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- Reduced extent of roof overhang over roof terrace and study.

PROJECT
BOWER STREET RESIDENCE

88 BOWER STREET

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NOMINATED ARCHITECT
Vince Squillace Reg No. 6468 (NSW),
17219 (VIC), 3677 (QLD)

DRAWING NO.
DA-401 B

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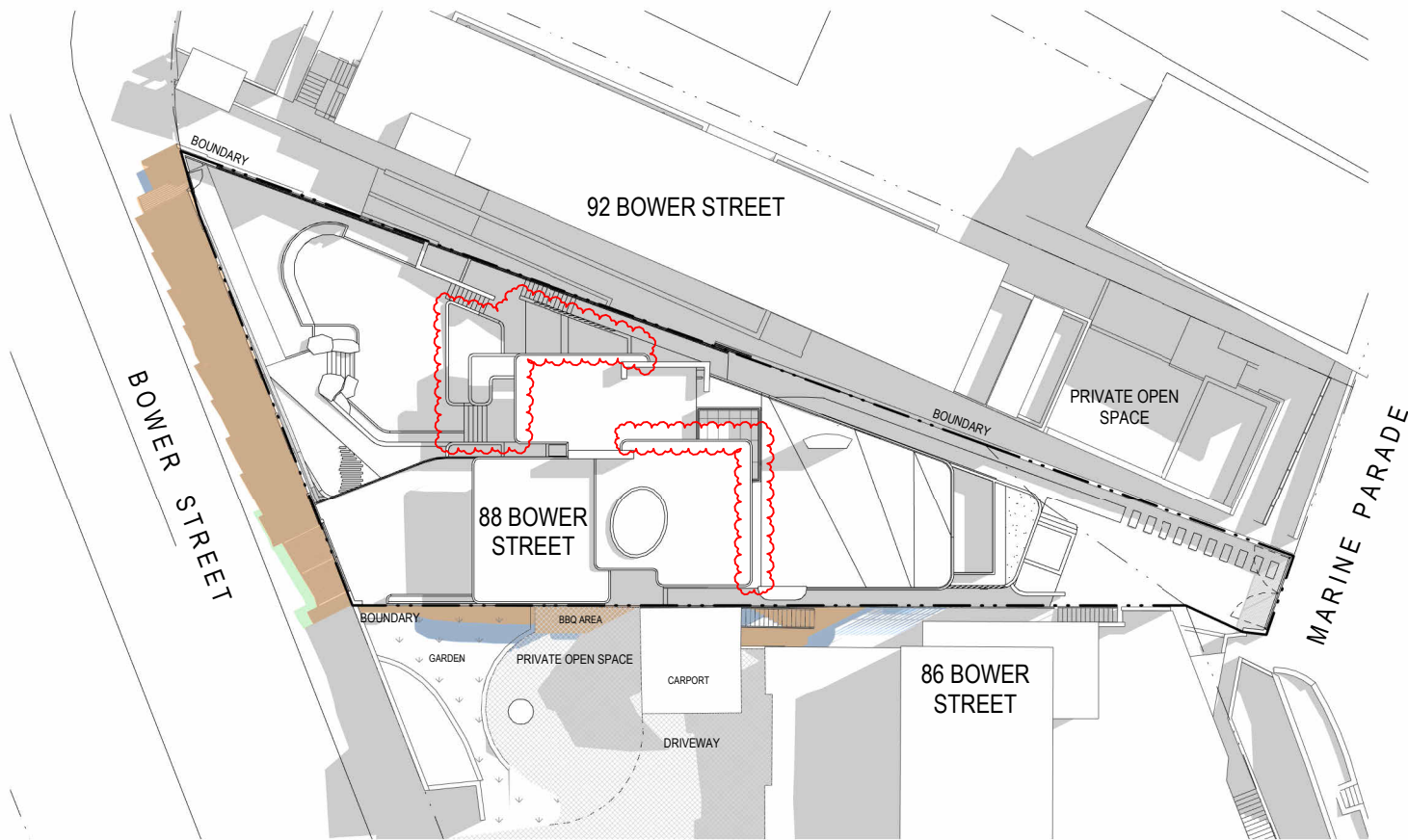
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DRAWING TITLE
**SHADOW STUDY PLAN WINTER
SOLSTICE**

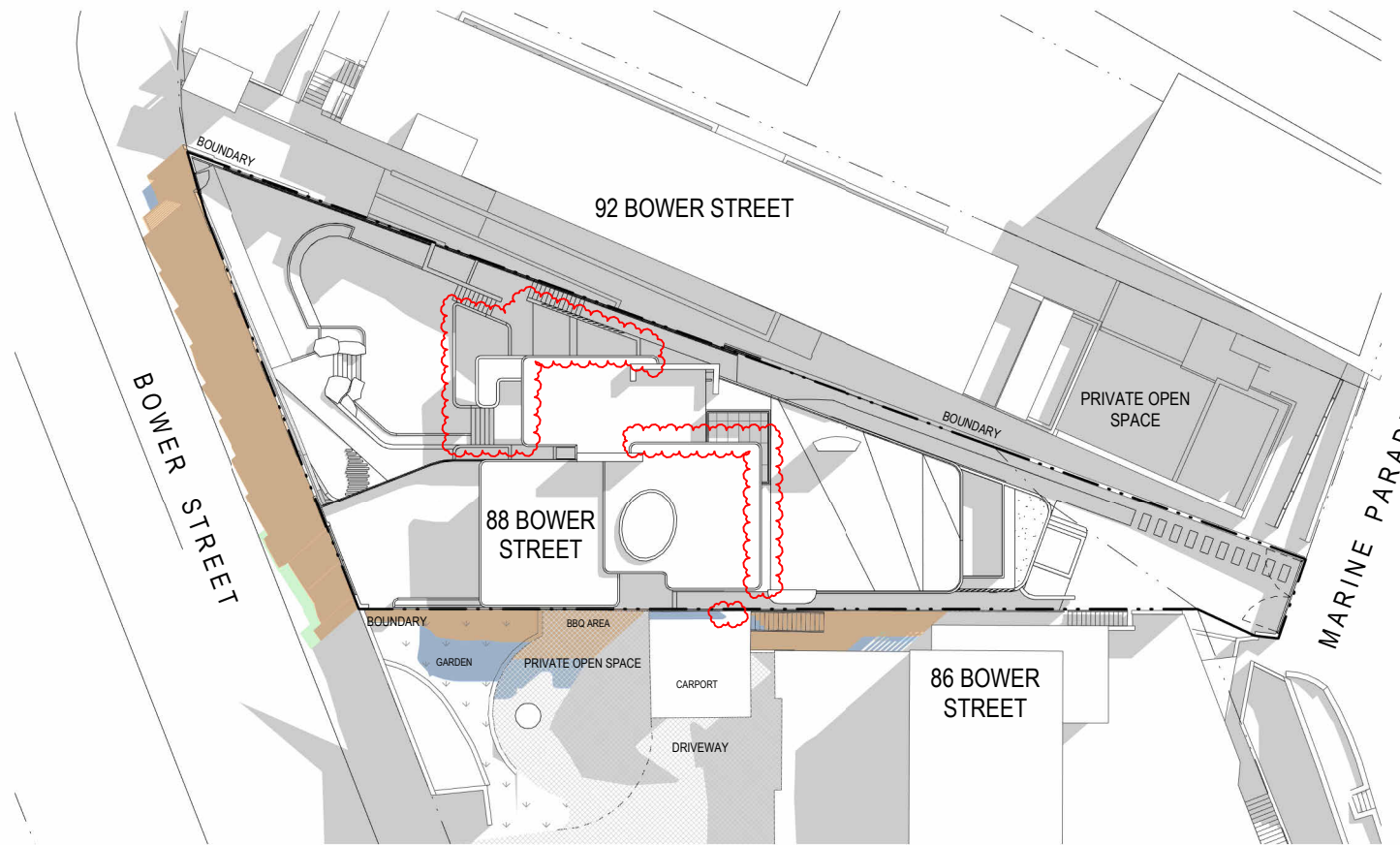
JOB NO.
BOW2010

DATE
11.02.22

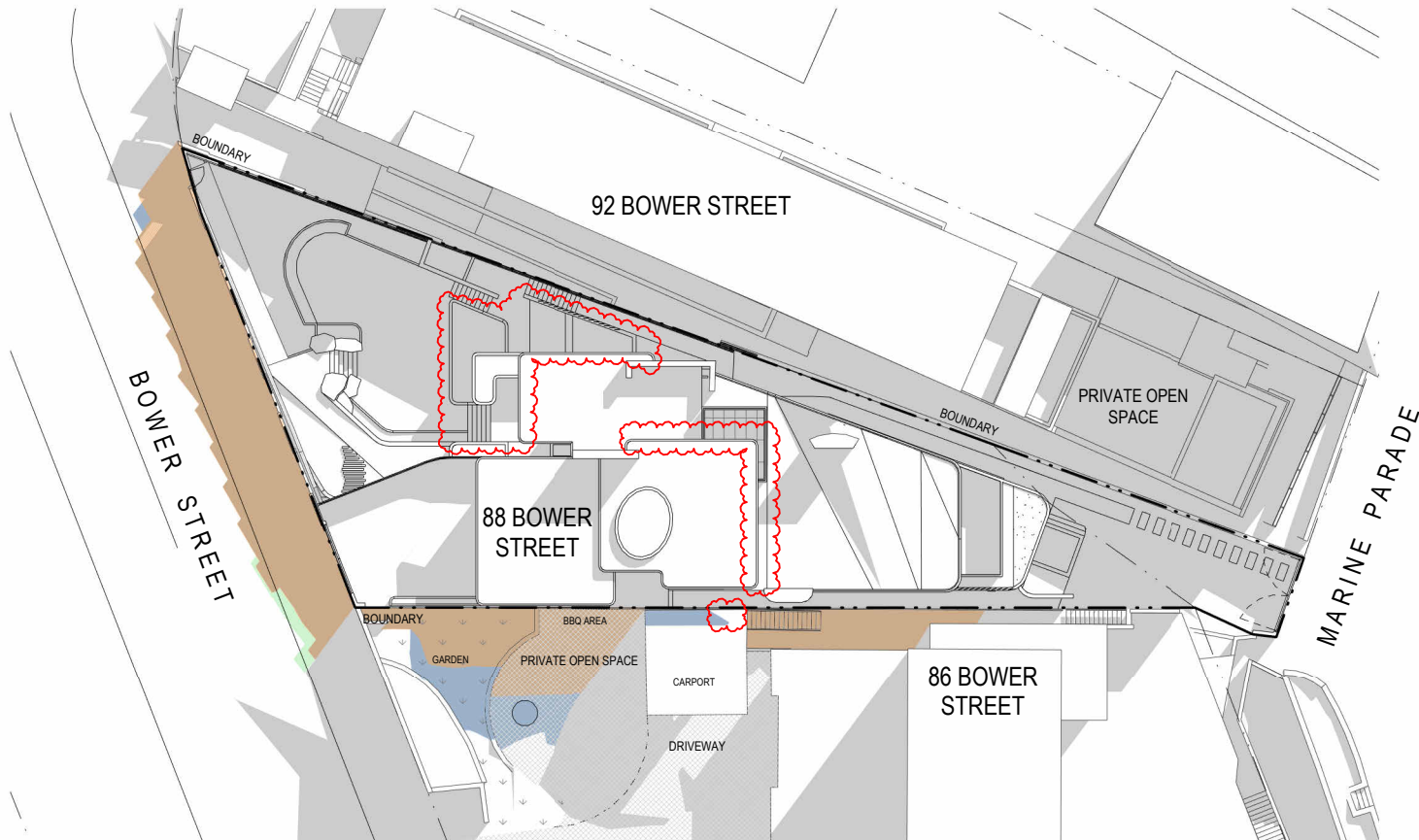




5 **SHADOW STUDY PLAN - WINTER SOLSTICE - 1PM - PROPOSED**
1 : 200 @ A1



6 **SHADOW STUDY PLAN - WINTER SOLSTICE - 2PM - PROPOSED**
1 : 200 @ A1



7 **SHADOW STUDY PLAN - WINTER SOLSTICE - 3PM - PROPOSED**
1 : 200 @ A1

LEGEND

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- REDUCTION IN SHADOWS CAST BY PROPOSED BUILDING

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B 11.02.22 REVISED DA
A 25.06.21 ISSUE FOR DA

ISS DATE PURPOSE OF ISSUE

NOTES

1:200 @ A3 0 2000 5000
1:100 @ A1

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PROJECT
BOWER STREET RESIDENCE
88 BOWER STREET

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NOMINATED ARCHITECT
Vince Squillace Reg No. 6468 (NSW),
17219 (VIC), 3677 (QLD)

DRAWING NO.
DA-402 B

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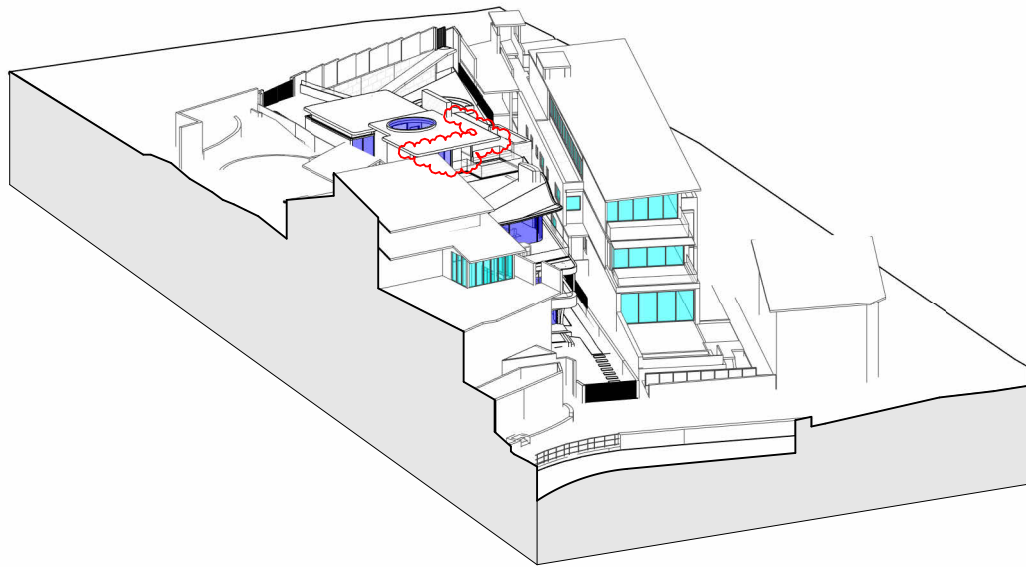
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DRAWING TITLE
SHADOW STUDY PLAN WINTER SOLSTICE

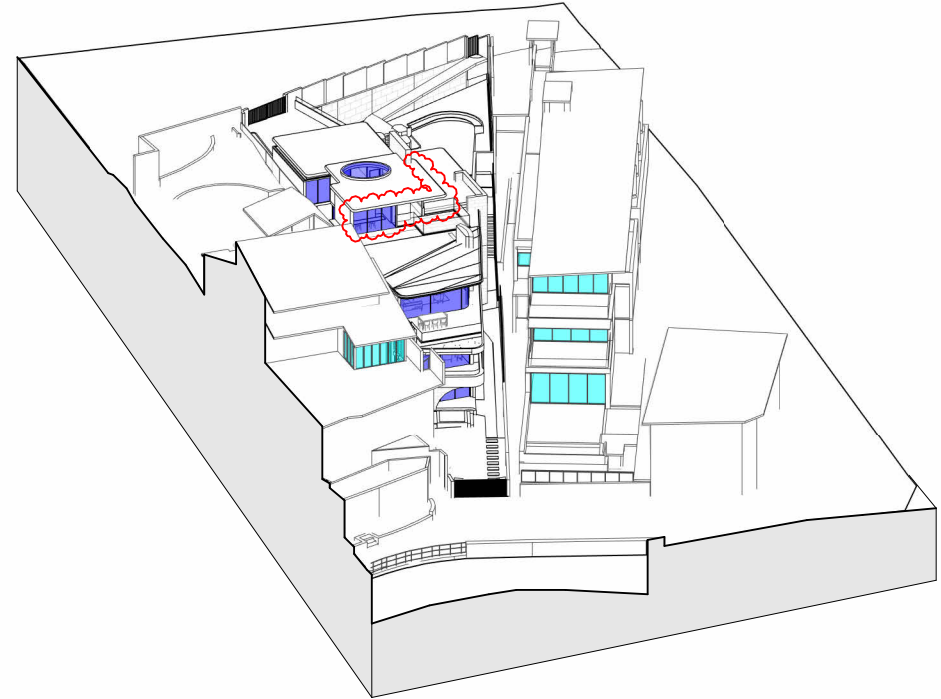
JOB NO.
BOW2010

DATE
11.02.22

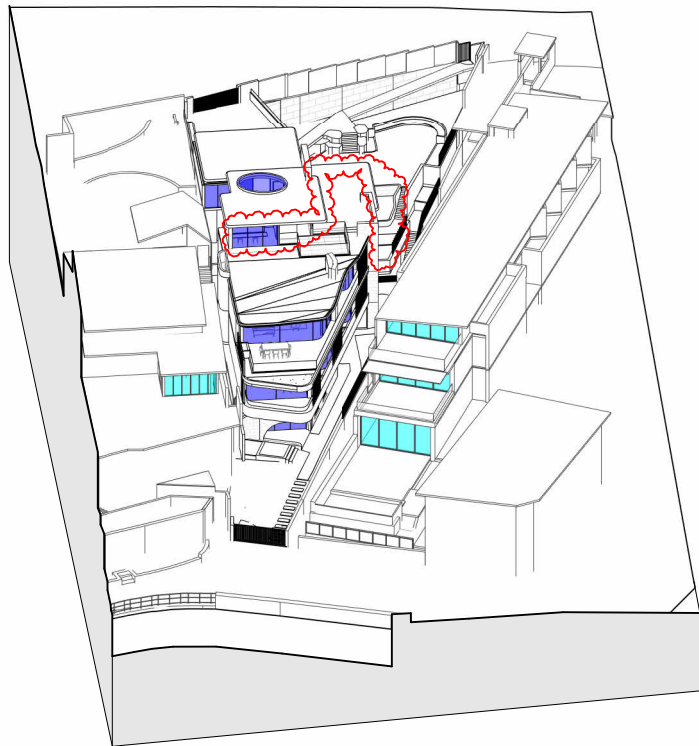




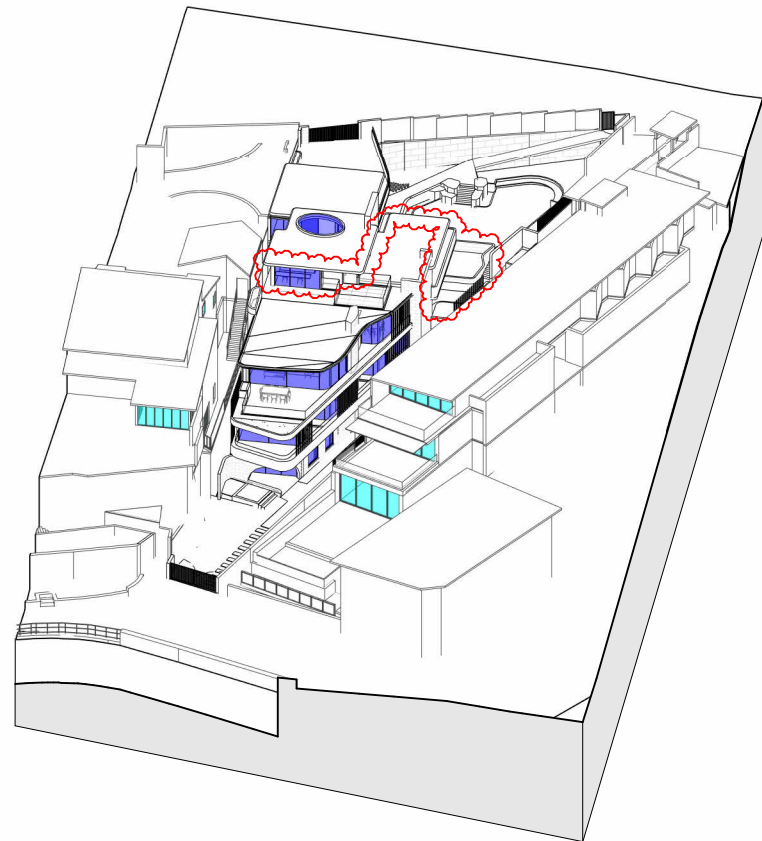
1 **SUN'S EYE VIEW - WINTER SOLSTICE - 9AM - PROPOSED**
@ A1



2 **SUN'S EYE VIEW - WINTER SOLSTICE - 10AM - PROPOSED**
@ A1



3 **SUN'S EYE VIEW - WINTER SOLSTICE - 11AM - PROPOSED**
@ A1



4 **SUN'S EYE VIEW - WINTER SOLSTICE - NOON - PROPOSED**
@ A1

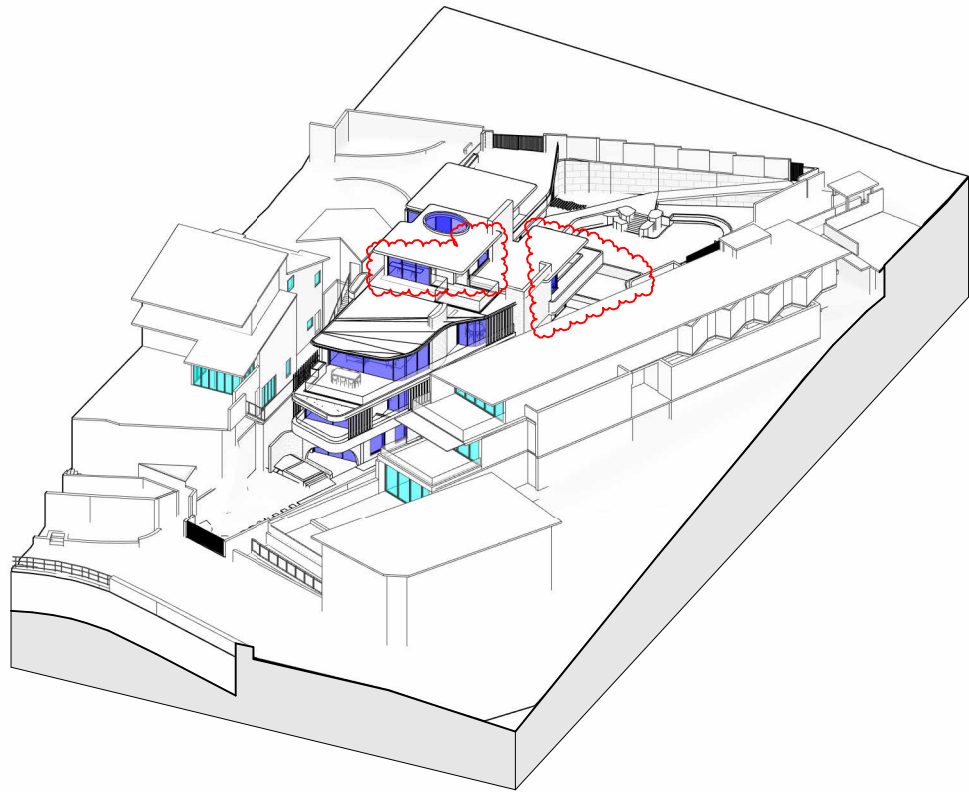
SUN'S EYE VIEW LEGEND

- PROPOSED GLAZING
- NEIGHBOURING GLAZING

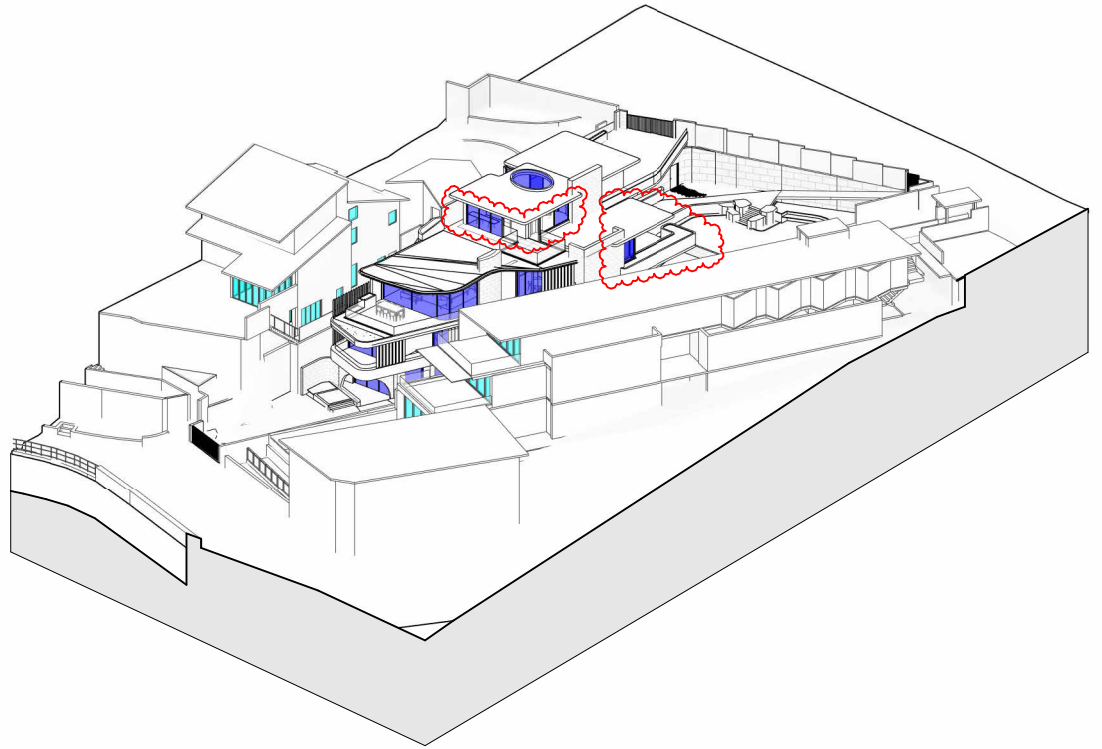
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NOT TO SCALE

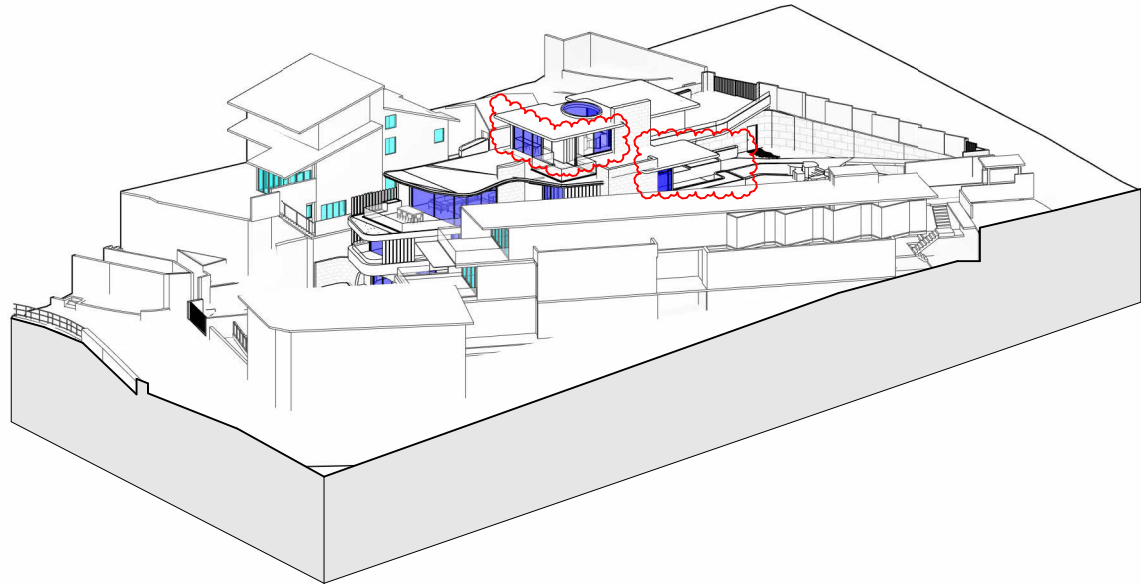
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1 **SUN'S EYE VIEW - WINTER SOLSTICE - 1PM - PROPOSED**
@ A1



2 **SUN'S EYE VIEW - WINTER SOLSTICE - 2PM - PROPOSED**
@ A1



3 **SUN'S EYE VIEW - WINTER SOLSTICE - 3PM - PROPOSED**
@ A1

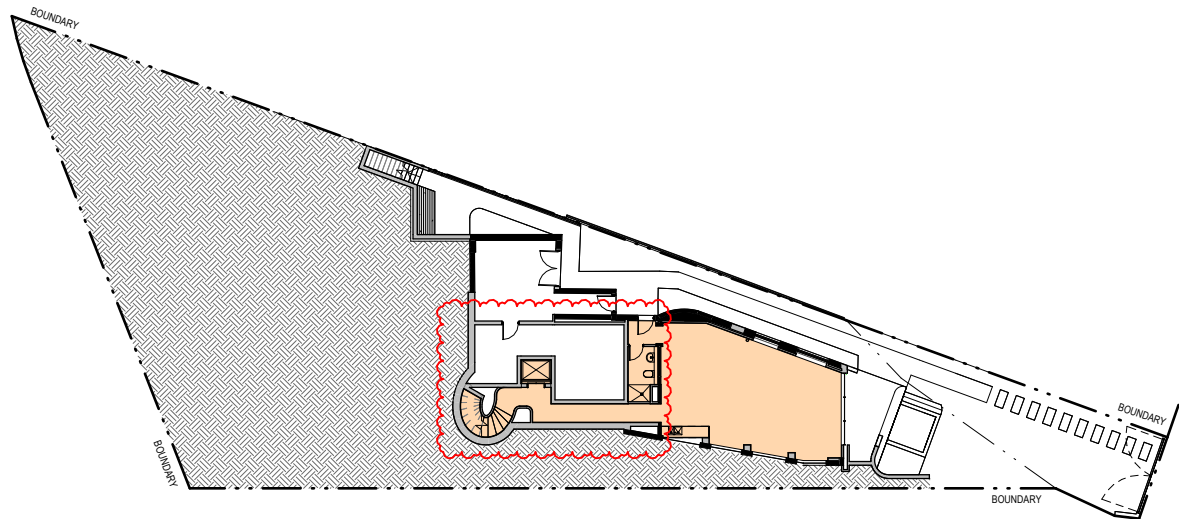
SUN'S EYE VIEW LEGEND

- PROPOSED GLAZING
- NEIGHBOURING GLAZING

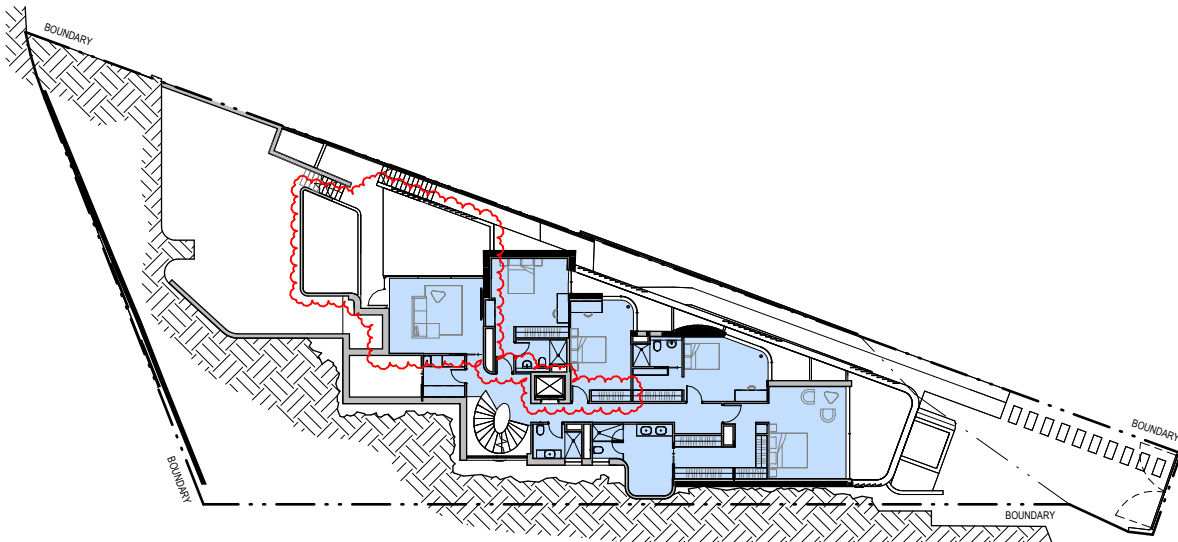
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NOT TO SCALE

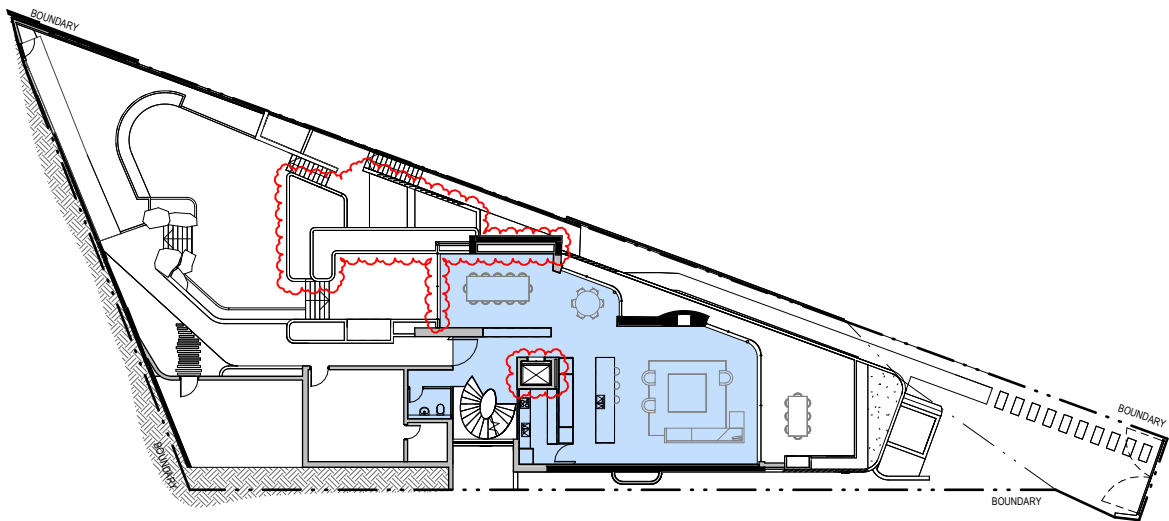
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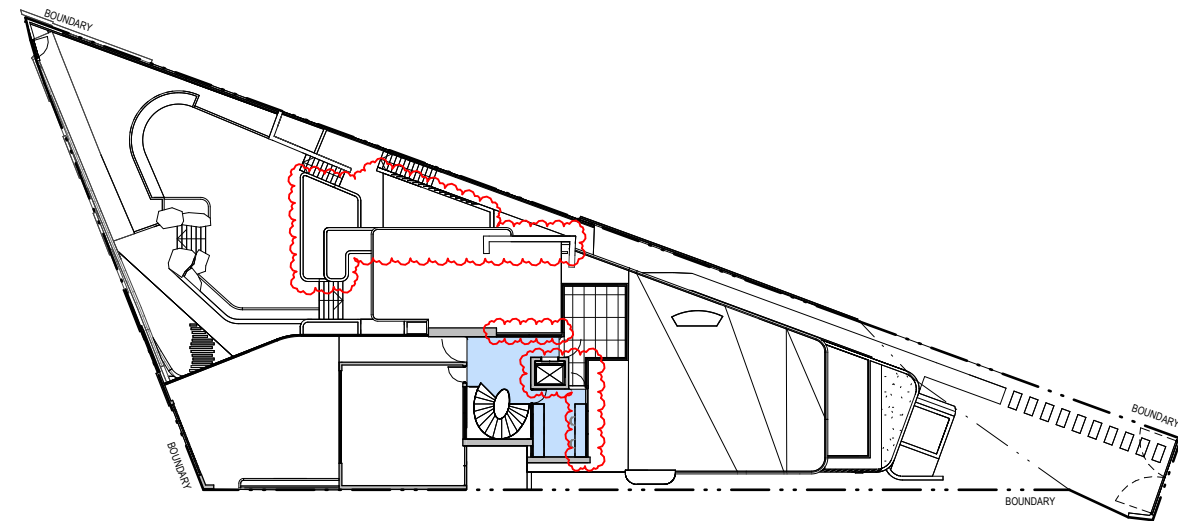
1 **GFA LOWER GROUND FLOOR PLAN**
1 : 200 @ A1



2 **GFA GROUND FLOOR PLAN**
1 : 200 @ A1



3 **GFA LEVEL 1 FLOOR PLAN**
1 : 200 @ A1



4 **GFA ENTRY FLOOR PLAN**
1 : 200 @ A1

GFA SUMMARY TABLE (PROPOSED)

SITE AREA	736.1 m ²
FSR	0.45:1
ALLOWABLE GFA	331.2 m ²
GROSS FLOOR AREA	
LOWER GROUND	76.1 m ²
GROUND LEVEL	161.6 m ²
LEVEL 1	134.6 m ²
ENTRY LEVEL	21.4 m ²
TOTAL	393.7 m ²
PROPOSED FSR (INCLUDING FLOOD PRONE AREA)	0.53:1
PROPOSED FSR (EXCLUDING FLOOD PRONE AREA)	0.43:1

EXISTING FSR	0.52:1
PREVIOUS APPROVED PROPOSED FSR	0.58:1
APPROVED DA NUMBER : 216/2007	
COMMENCED ON 14.07.14	
REF: DS MC/14.82959	

	GFA
	GFA (FLOOD PRONE AREA)

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B	11.02.22	REVISED DA
A	25.06.21	ISSUE FOR DA

ISS	DATE	PURPOSE OF ISSUE
-----	------	------------------

NOTES
1:200 @ A3
1:100 @ A1

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PROJECT
BOWER STREET RESIDENCE

88 BOWER STREET

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NOMINATED ARCHITECT
Vince Squillace Reg No. 6468 (NSW),
17219 (VIC), 3677 (QLD)

DRAWING NO.
DA-510

DRAWN BY
JP

DRAWING TITLE
**GROSS FLOOR AREA
CALCULATIONS**

ISSUE
B

CHECKED BY
AA

SCALE
**1 : 200 @
A1**

JOB NO.
BOW2010

DATE
11.02.22





1 **FSR STUDY**
1 : 250 @ A1

KEY:

 SUBJECT SITE

 BUILDINGS ABOVE 0.45:1 FSR

FSR - SOURCE

94 BOWER STREET - FSR CALCULATED FROM REAL ESTATE PLANS

92 BOWER STREET - FSR AS NOTED IN S.E.E. DA316/07

88 BOWER STREET - FSR AS NOTED IN S.E.E. DA216/2007

83-85 BOWER STREET - FSR AS NOTED IN S.E.E. IN DA2020/0855 OF 0.27:1 IS INCORRECTLY CALCULATED.*

82-84 BOWER STREET - CALCULATED AT 0.66:1 BASED OFF DA167/17 PLANS. THE S.E.E. APPEARS TO BE INCORRECTLY CALCULATED FSR OF 0.55:1 AS PER SQA & TURNBULL PLANNING CALCULATIONS.**

77 BOWER STREET - FSR AS NOTED IN S.E.E. IN MOD2018/0180

76 BOWER STREET - DA330/2006 AMENDED PLAN - 18/07/08
DEVELOPMENT CONTROL PLAN - COMPLIANCE TABLE

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B 11.02.22 REVISED DA
A 25.06.21 ISSUE FOR DA

ISS DATE

PURPOSE OF ISSUE

NOTES

1:500 @ A3
1:250 @ A1

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PROJECT
BOWER STREET RESIDENCE

88 BOWER STREET

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NOMINATED ARCHITECT
Vince Squillace Reg No. 6468 (NSW),
17219 (VIC), 3677 (QLD)

DRAWING NO.
DA-511

DRAWN BY
JP

CHECKED BY
AA

ISSUE
B

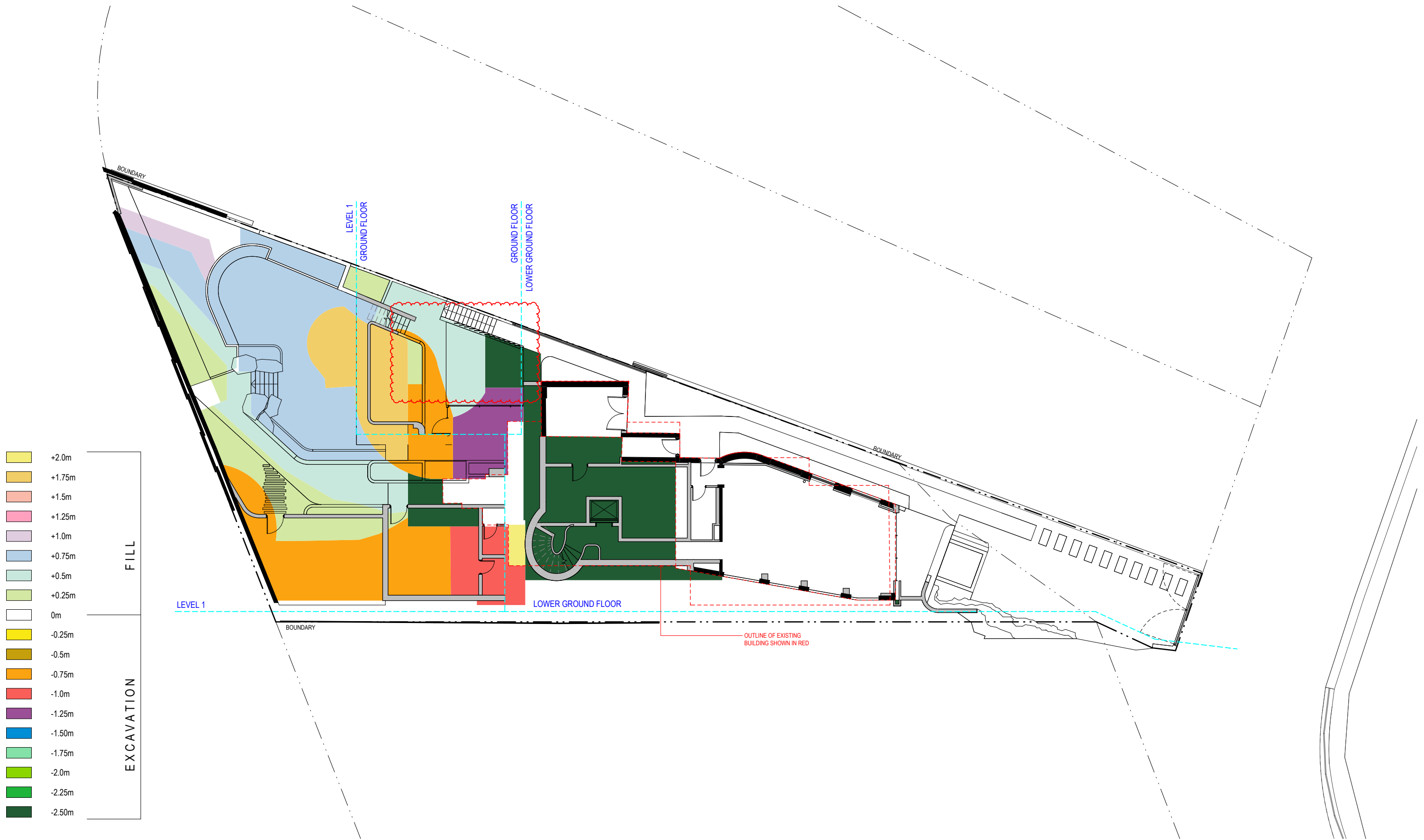
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JOB NO.
BOW2010

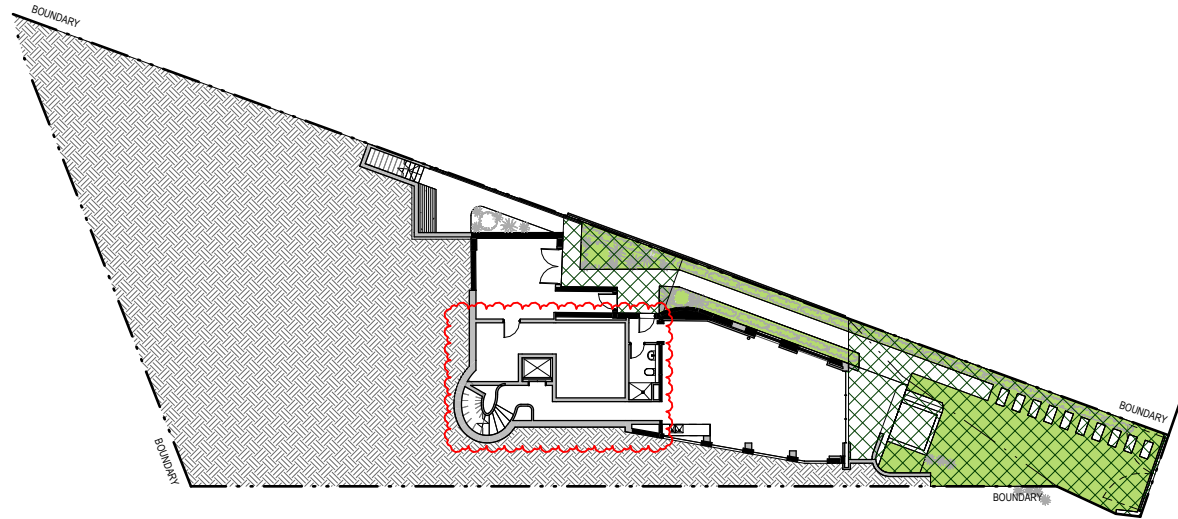
DATE
11.02.22

DRAWING TITLE
FSR STUDY

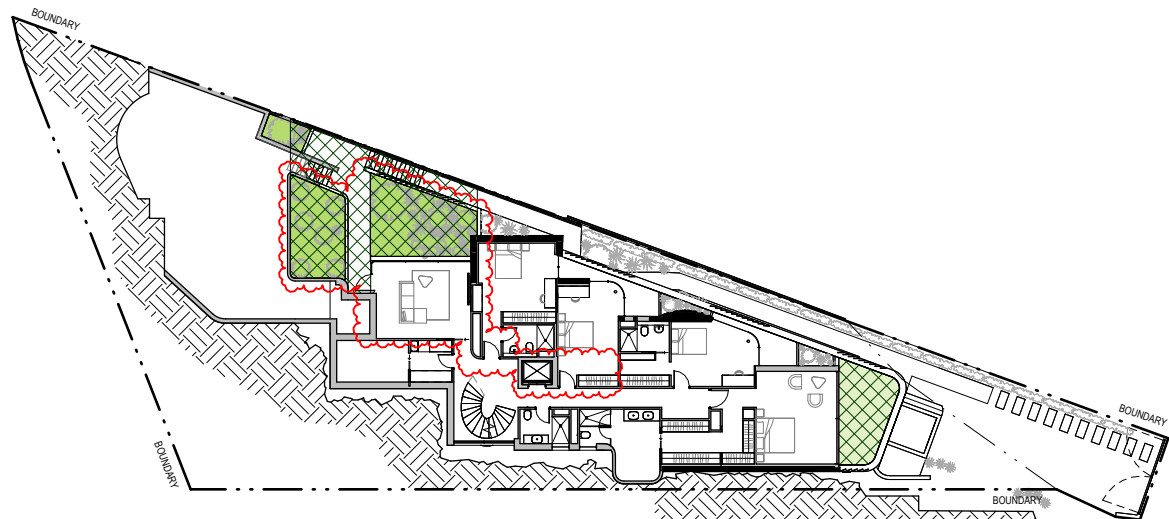




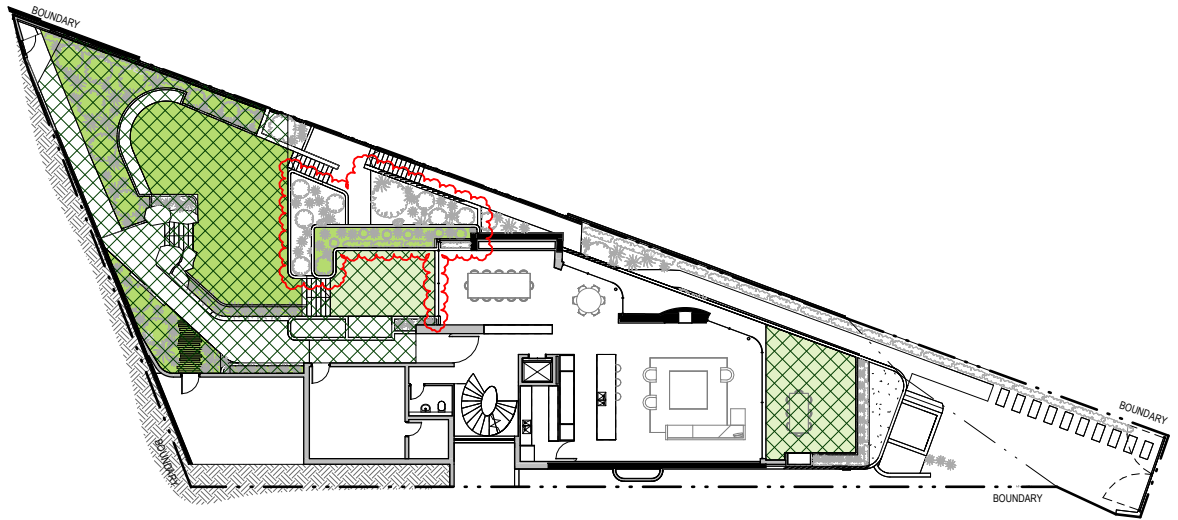
1 **EXCAVATION PLAN.**
1: 100 @ A1



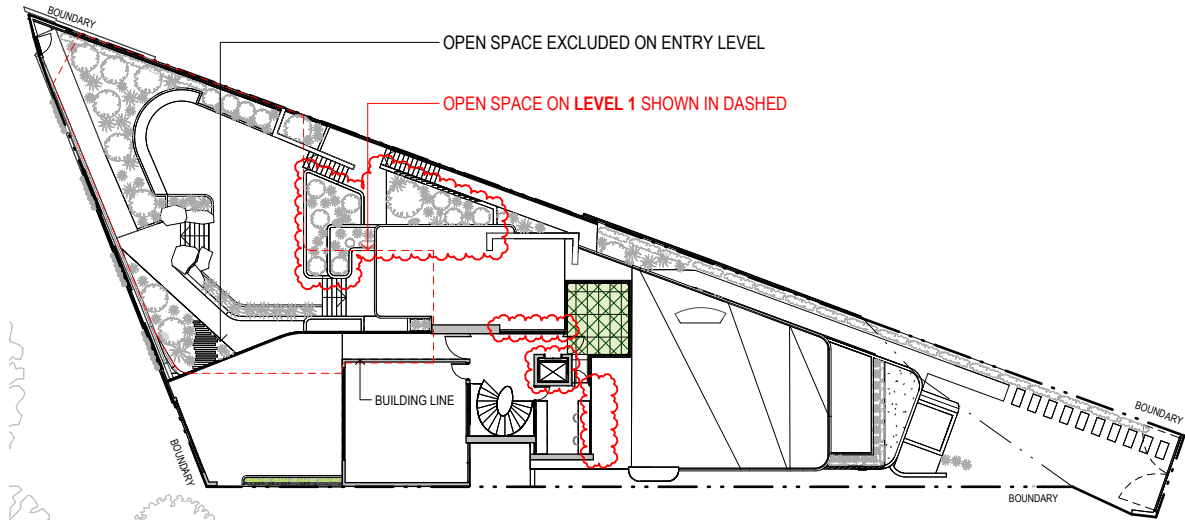
1 LOWER GROUND OPEN SPACE & LANDSCAPE CALCULATIONS
1 : 200 @ A1



2 GROUND FLOOR OPEN SPACE & LANDSCAPE CALCULATIONS
1 : 200 @ A1



3 LEVEL 1 OPEN SPACE & LANDSCAPE CALCULATIONS
1 : 200 @ A1



4 ENTRY LEVEL OPEN SPACE & LANDSCAPE CALCULATIONS
1 : 200 @ A1

- OPEN SPACE
ABOVE GROUND OPEN SPACE
LANDSCAPE AREA

SITE AREA 736.1 m²

OPEN SPACE AREA SUMMARY

LOWER GROUND	117.4
GROUND LEVEL	73.2
LEVEL 1	231.4
ENTRY LEVEL	12.1
TOTAL OPEN SPACE	434.1 m ²
MIN. 55% OF SITE AREA	404.8 m ²

LANDSCAPE AREA SUMMARY

LOWER GROUND	87.6
GROUND LEVEL	36
LEVEL 1	119.9
ENTRY LEVEL	1.5
TOTAL LANDSCAPE SPACE	245 m ²
REQUIRED LANDSCAPE AREA MIN. 35 % OF TOTAL OPEN SPACE	151.9 m ²

ABOVE GROUND OPEN SPACE AREA SUMMARY

LOWER GROUND	0
GROUND LEVEL	15.4
LEVEL 1	47.2
ENTRY LEVEL	12.1
TOTAL ABOVE GROUND OPEN SPACE	74.7 m ²
REQUIRED ABOVE AREA GROUND OPEN SPACE MAX. 25 % OF TOTAL OPEN SPACE	108.5 m ²

EXTEND ARCHITECTURAL BLADES AS
ARCHITECTURAL FEATURE MAXIMUM
ENCROACHMENT OF **1050mm** TO 8.5m HEIGHT
PLANE

EXTEND ARCHITECTURAL BLADES AS
ARCHITECTURAL FEATURE MAXIMUM
ENCROACHMENT OF **175mm** TO 8.5m HEIGHT
PLANE

ROOF ENCROACHMENT OF **1170mm** TO 8.5m
HEIGHT PLANE

EXTEND ARCHITECTURAL BLADES AS
ARCHITECTURAL FEATURE MAXIMUM
ENCROACHMENT OF **700mm** TO 8.5m HEIGHT PLANE

ROOF ENCROACHMENT OF **805mm** TO 8.5m
HEIGHT PLANE

ROOF ENCROACHMENT EXTENDS **200mm**
ABOVE 8.5m HEIGHT PLANE

ROOF ENCROACHMENT EXTENDS **220mm**
ABOVE 8.5m HEIGHT PLANE

1 **HEIGHT PLANE 3D CURRENT PROPOSAL - NATURAL GROUND LEVEL (AHD)**
@ A1

2 **HEIGHT PLANE 3D PREVIOUSLY APPROVED PROPOSAL**
@ A1

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ISS DATE

PURPOSE OF ISSUE

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PROJECT
BOWER STREET RESIDENCE

88 BOWER STREET

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NOMINATED ARCHITECT
Vince Squillace Reg No. 6468 (NSW),
17219 (VIC), 3677 (QLD)

DRAWING NO. **DA-551** ISSUE **A**

DRAWN BY **JP** CHECKED BY **AA** SCALE **N.T.S.**

DRAWING TITLE
**BUILDING HEIGHT PLANE DIAGRAM
(NATURAL GROUND LEVEL)**

JOB NO.
BOW2010

DATE
11.02.22