

PROPOSED 2 BEDROOM GRANNY FLAT

56 Central Road, Avalon Beach

LANDSLIP REPORT DONE

ACID SULPHATE: CLASS 5

BAS/BOS: N/A

BAL RATING: N/A

FLOOD: N/A

HERITAGE: N/A

MARINE GRADE: Yes



SITE CALCULATIONS

SITE AREA	872.6 m ²
EXISTING BALCONY	25.72 m ²
EXISTING DWELLING-FIRST FLOOR	88.13 m ²
EXISTING DWELLING-SECOND FL...	110.93 m ²
EXISTING TIMBER DECK	55.64 m ²
EXISTING VERANDAH	11.69 m ²
PROPOSED GRANNY FLAT	60.00 m ²
PROPOSED PORCH	19.22 m ²

TOTAL GROSS FLOOR AREA 259.06 m²

TOTAL SOFT AREAS 480 m² (55%)

SITE COVERAGE AREAS

BUILDINGS	371.7 m ²
DRIVEWAYS/PATHS	88.34
TOTAL	460.04 m ² (69.8%)

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4/10/2023	AM	k	PRELIMINARY CONCEPT		220296
			DESIGN DEVELOPMENT		
			CONSTRUCTION ISSUE		

CLIENT DETAILS

56 Central Road, Avalon Beach
Rob Raine & Jennifer Sharleen Raine

LOT 33A Sec N - DP 359416

COVER PAGE

DESIGN BY



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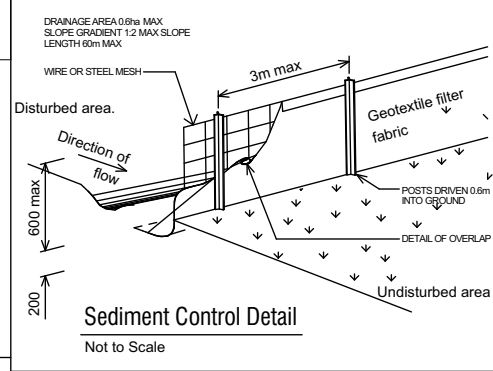
SITE AREA - 872.6m²

LEGEND FOR WORKING WITHIN THE SYDNEY WATER MAIN SEWER LINE

- INTERNAL SEWER LINE**
RUNNING FROM THE EXISTING RESIDENCE INTO THE MAINS
- SYDNEY WATER MAINS SEWER LINE**
TAKEN FROM SEWER PEGOUT REPORT (WHERE AVAILABLE)
- ZONE OF INFLUENCE (ZOI)-**
ANY WORKS WITHIN THE ZOI WILL REQUIRE ADDITIONAL PIERING OR ENCASING, AS WELL AS ADDITIONAL APPROVALS & INSPECTIONS BY A WATER SERVICES COORDINATOR

BOUNDARY LINE

FENCE LOCATION



STORMWATER NOTE:

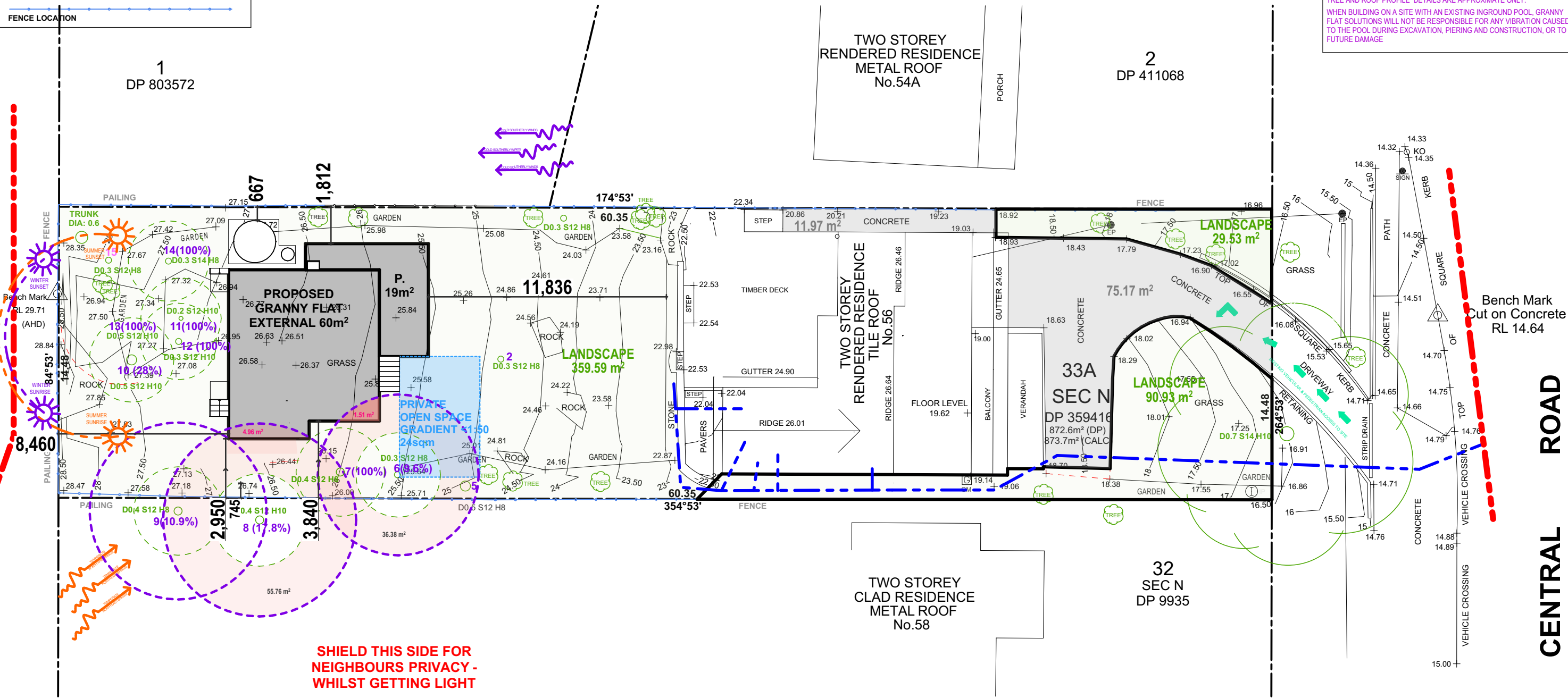
PLEASE NOTE THAT UNLESS INCLUDED IN OUR TENDER, GFS WILL CONNECT ALL THE ROOF WATER FROM THE GRANNY FLAT ROOF ONLY AS PER THE HYDRAULIC ENGINEERS PLANS. IF THE OWNER IS UNDERTAKING THEIR OWN LANDSCAPING WORKS AFTER HANDOVER, IT IS THE OWNER'S RESPONSIBILITY TO ENSURE ALL SURROUNDING GROUND WATER IS COLLECTED AND DRAINED AWAY FROM THE GRANNY FLAT. IT IS HIGHLY RECOMMENDED TO ENGAGE A REPUTABLE LANDSCAPER AND INSTALL ADEQUATE DRAINAGE AROUND THE PERIMETER OF THE BUILDING TO AVOID ANY WARRANTY ISSUES. FOR MORE INFORMATION, PLEASE ASK YOUR PROJECT MANAGER DURING CONSTRUCTION.

SITE INDUCTION NOTE:

BEFORE ENTERING THE SITE, PLEASE REVIEW AND MAKE YOURSELF FAMILIAR WITH THE EMERGENCY CONTACTS, AND SITE INDUCTION INFORMATION. IF YOU HAVE ANY TROUBLES UNDERSTANDING THE INSTRUCTIONS, PLEASE CONTACT YOUR SITE SUPERVISOR BEFORE ENTERING THE SITE.

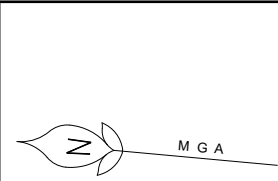
IMPORTANT SURVEY NOTE:

PARCEL BOUNDARY DIMENSIONS, BEARINGS AND AREAS HAVE BEEN ADOPTED FROM THE SUBJECT DEPOSITED PLAN AND HAVE NOT BEEN INVESTIGATED. ANY BEARING, DISTANCE, AREA, SETBACK OR OTHER DIMENSION MAY BE SUBJECT TO CHANGE WITH FURTHER INVESTIGATION AND LODGEMENT OF A PLAN AT THE LAND TITLES OFFICE. THEREFORE, AT TIME OF SITE PEGOUT BEFORE CONSTRUCTION WORKS COMMENCE, THERE MAY BE SOME MINOR DISCREPANCIES WITH THE SETBACKS BETWEEN BUILDINGS AS SHOWN ON THE SITE PLAN. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES AT WHICH REDUCED LEVEL CAN BE RELIED UPON. CONTOURS ARE DISPLAYED AT 1 METRE MAJOR AND 0.25 METRE MINOR INTERVALS. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. IT IS STRONGLY ADVISED TO VISIT 'DIAL BEFORE YOU DIG' PRIOR TO ANY EXCAVATION OR CONSTRUCTION AND VERIFY LOCATIONS WITH A SUITABLY QUALIFIED SERVICE LOCATOR PRIOR TO ANY WORKS OR CRITICAL DESIGN. IT IS STRONGLY ADVISED TO REVIEW AN UP TO DATE TITLE SEARCH AND GIVE CAREFUL CONSIDERATION TO ALL ITEMS PRIOR TO ANY PLANNING OR CONSTRUCTION. TREE AND ROOF PROFILE DETAILS ARE APPROXIMATE ONLY. WHEN BUILDING ON A SITE WITH AN EXISTING INGROUND POOL, GRANNY FLAT SOLUTIONS WILL NOT BE RESPONSIBLE FOR ANY VIBRATION CAUSED TO THE POOL DURING EXCAVATION, PIERING AND CONSTRUCTION, OR TO FUTURE DAMAGE



SERVICES NOTE:

SERVICES/EXTERNAL CONDUITS WILL MOST LIKELY BE LOCATED NEAR THE WATER FLOW READER. CONDUITS PROTRUDING FROM THE GROUND IS COMMON AND MAY BE VISIBLE. THE PROJECT MANAGER WILL ADVISE IF SERVICES/EXTERNAL CONDUITS WILL NEED TO BE LOCATED ELSEWHERE.



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SITE ANALYSIS PLAN

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STUD OPENING SIZE

ADD 60mm TO HEIGHT AND 50mm TO WIDTH OF ALL WINDOWS

FLYSCREEN NOTES

ALL FLYSCREEN FOR SLIDING DOORS TO HAVE MID BARS

GLAZING NOTES

ALL GLAZING TO COMPLY WITH AS1288 & BASIX CERTIFICATE.
ALL WINDOWS WILL HAVE A FIXED PANEL ON THE RIGHT AND OPENING PANEL ON THE LEFT, WHEN VIEWED FROM THE OUTSIDE, UNLESS REQUESTED OTHERWISE. SLIDING DOORS WILL OPEN IN DIRECTION AS SHOWN ON PLAN.

DIVIDING MULLIONS WILL BE REQUIRED ON LARGE WINDOWS, AND LOCATIONS ARE SUBJECT TO MANUFACTURERS SPECIFICATIONS.
PROVIDE MULLION LOCKS TO ALL WET AREA WINDOWS.

WINDOW FLASHING NOTES

ALL WINDOWS ON CLADDED WALLS, INCLUDING ACRYLIC RENDERED WALLS TO HAVE FLASHINGS ON ALL SIDES.

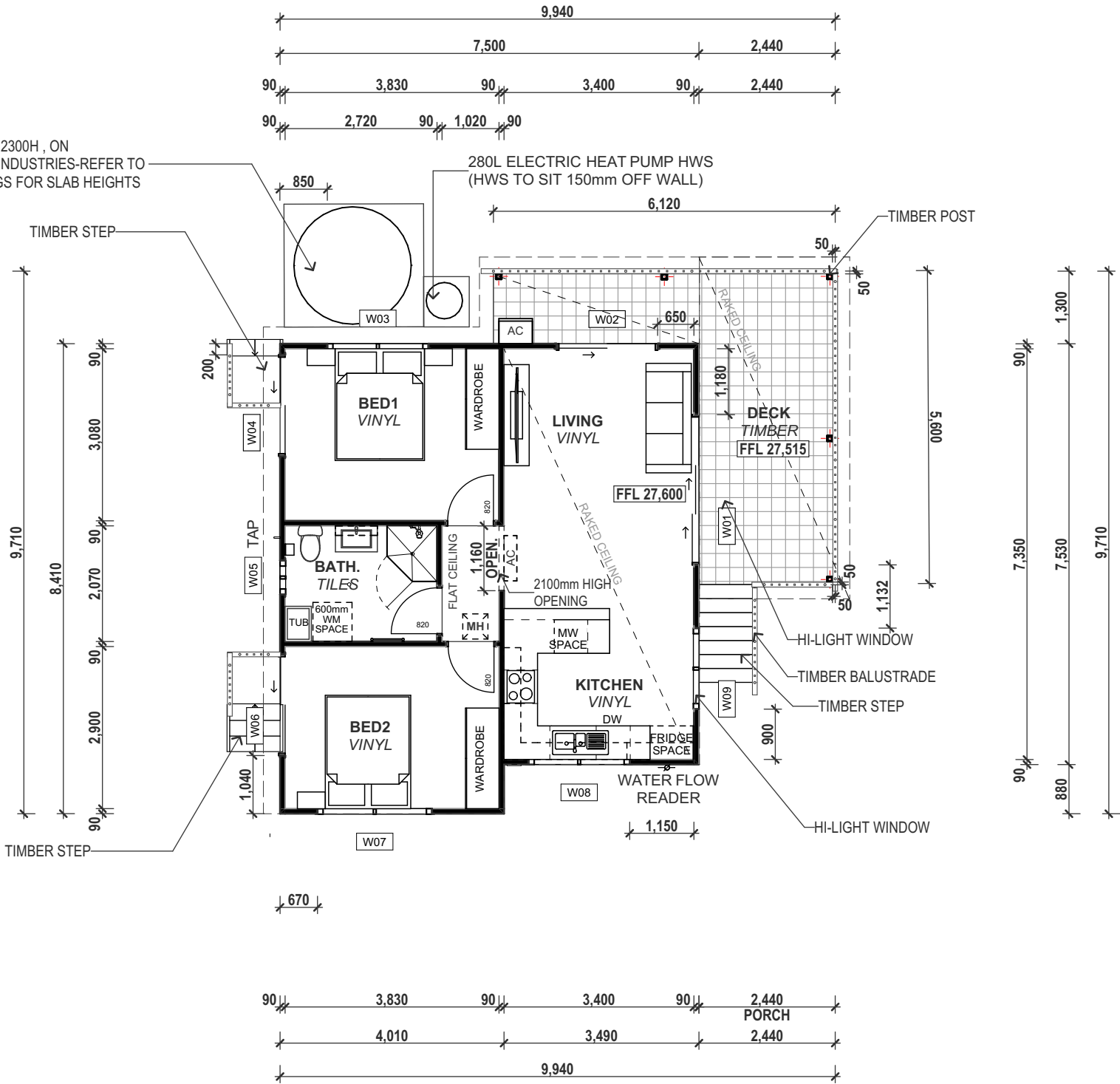
WINDOW SCHEDULE

W#	HEIGHT	WIDTH	FRAME	GLAZING	TYPE	REVEAL	OFFSET
W01	2,100	2,688	ALUMINIUM	CLEAR	STACKING DOOR	100mm	0
W02	2,100	1,810	ALUMINIUM	CLEAR	SLIDING DOOR	100mm	0
W03	600	1,810	ALUMINIUM	CLEAR	SLIDING	100mm	0
W04	2,100	1,810	ALUMINIUM	CLEAR	SLIDING DOOR	100mm	0
W05	600	610	ALUMINIUM	OBSCURE	SLIDING	100mm	0
W06	2,100	1,810	ALUMINIUM	CLEAR	SLIDING DOOR	100mm	0
W07	600	2,050	ALUMINIUM	CLEAR	SLIDING	100mm	0
W08	400	1,810	ALUMINIUM	CLEAR	SLIDING	100mm	0
W09	1,200	1,450	ALUMINIUM	CLEAR	SLIDING	100mm	0
W10	600	1,450	ALUMINIUM	CLEAR	FIXED	100mm	0
W11	600	2,050	ALUMINIUM	CLEAR	FIXED	100mm	0

← HI-LIGHT WINDOW

← HI-LIGHT WINDOW

7,500L ROUND OSD TANK 2100D X 2300H , ON
2200 X 3500 CONC SLAB BY POLY INDUSTRIES-REFER TO
HYDRAULIC ENGINEERS DRAWINGS FOR SLAB HEIGHTS



BAL RATING ON PAGE 1

MANHOLE NOTE

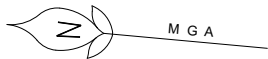
MANHOLE LOCATION IS APPROXIMATE AND SUBJECT TO CHANGE ON SITE

FLOOR FINISHES NOTES

PLEASE NOTE THAT THERE MAY BE A SMALL STEP WHEN THERE IS A CHANGE
IN FLOOR FINISHES BETWEEN ROOMS

EXTERNAL DOOR WARRANTY

GRANNY FLAT SOLUTIONS CANNOT PROVIDE WARRANTY ON
ENTRANCE DOORS IF THE COLOUR CHOSEN HAS A LIGHT
REFLECTIVE VALUE (LRV) OF 50 OR BELOW (THESE COLOURS
REPRESENT THE DARKER COLOURS IN THE PAINT SPECTRUM).
THE MANUFACTURERS DO NOT WARRANT DOORS PAINTED IN
DARK COLOURS AS THEY ABSORB MORE HEAT THAN COLOURS
GREATER THAN 50 LRV RATING, CAUSING THEM TO WARP OR
BEND. FURTHERMORE, THE MANUFACTURER'S WARRANTY IS ALSO
VOID IF THE EXTERNAL DOOR IS NOT COVERED BY AT LEAST 1
METER WIDE ROOF / EAVE OVERHANG / PATIO, DUE TO THE DOOR
HAVING DIRECT EXPOSURE TO WEATHER ELEMENTS (WIND, RAIN,
SUN ETC.) WHICH MAY CAUSE THE DOOR TO SWELL, WARP OR
BEND.



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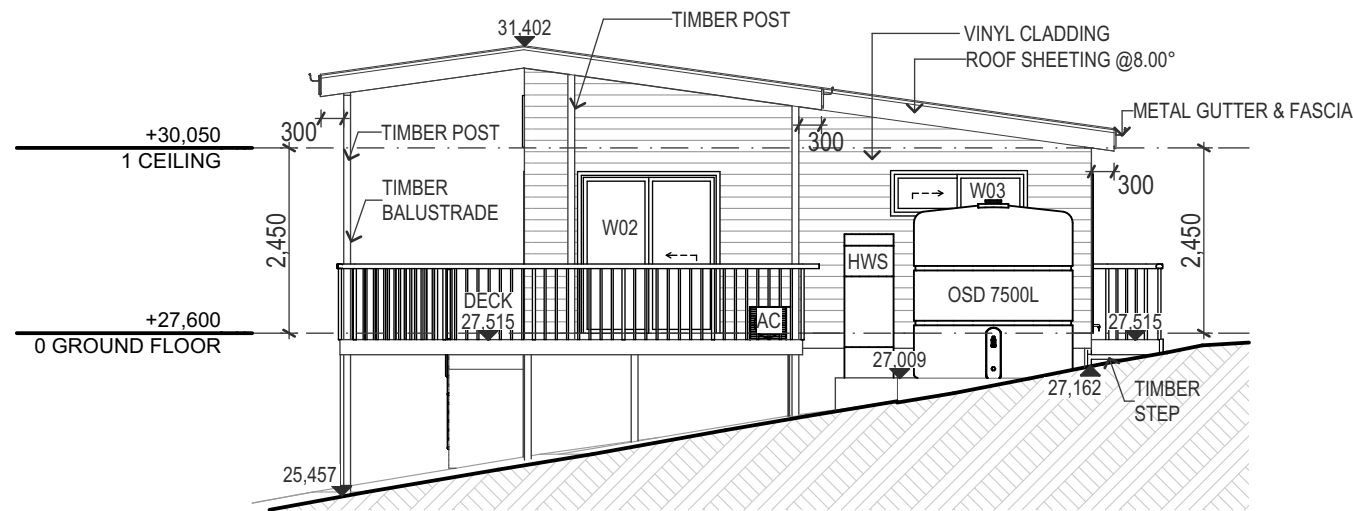
FLOOR PLAN

DESIGN BY

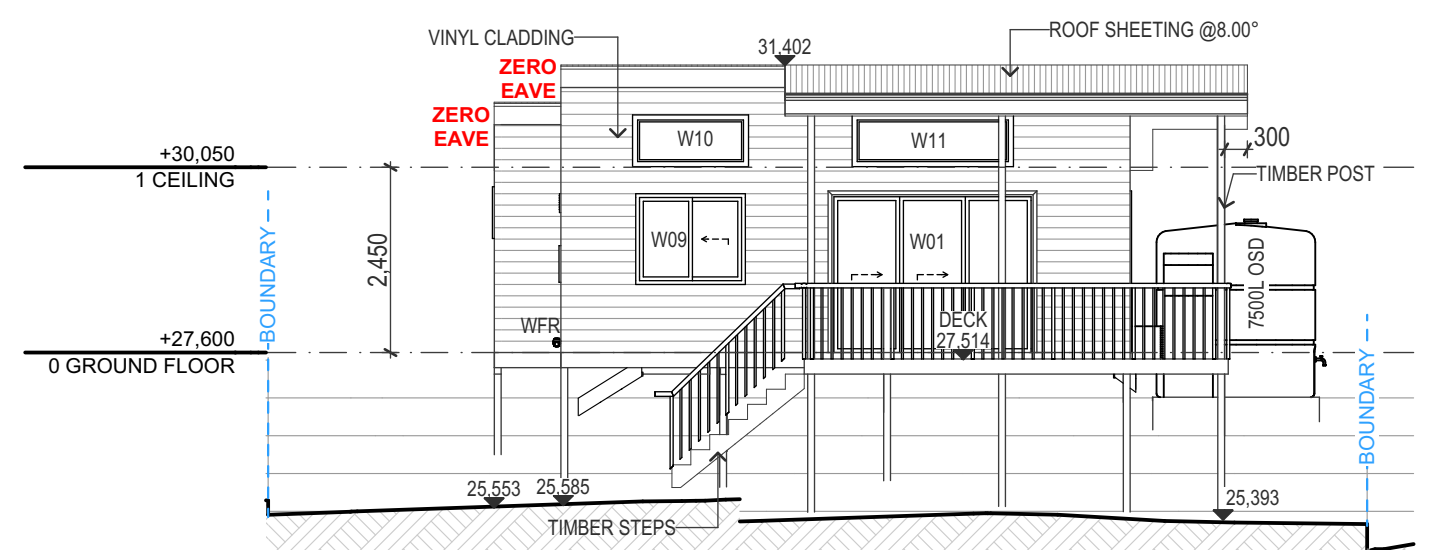


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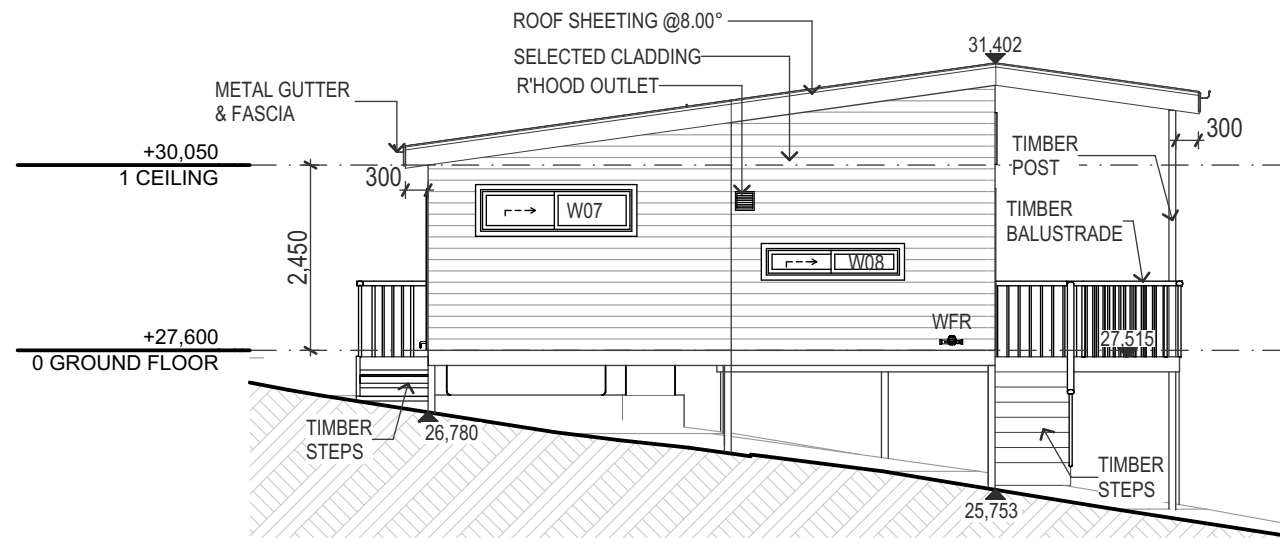
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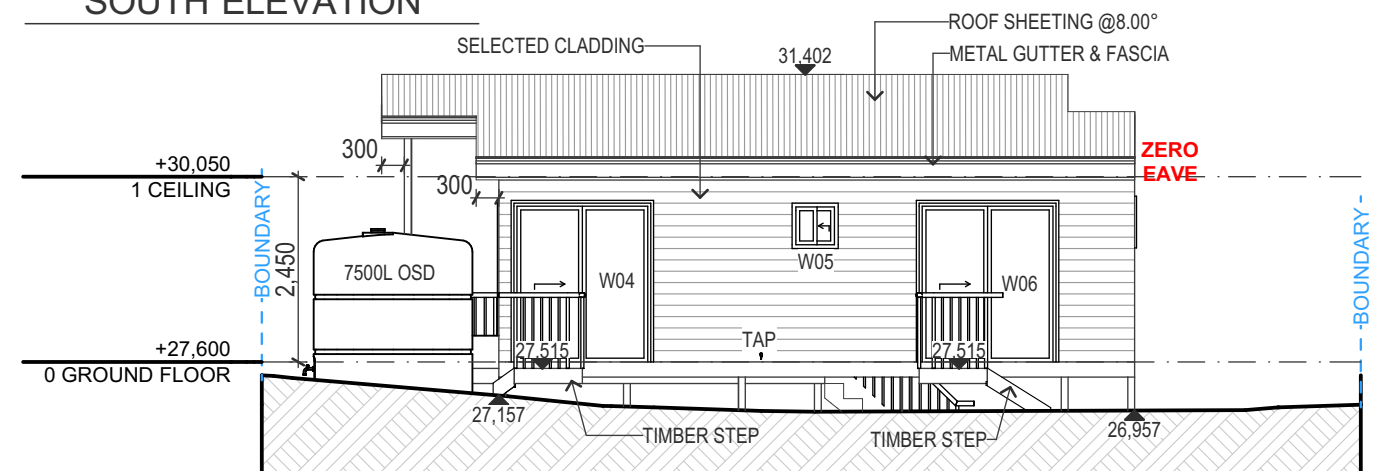
EAST ELEVATION



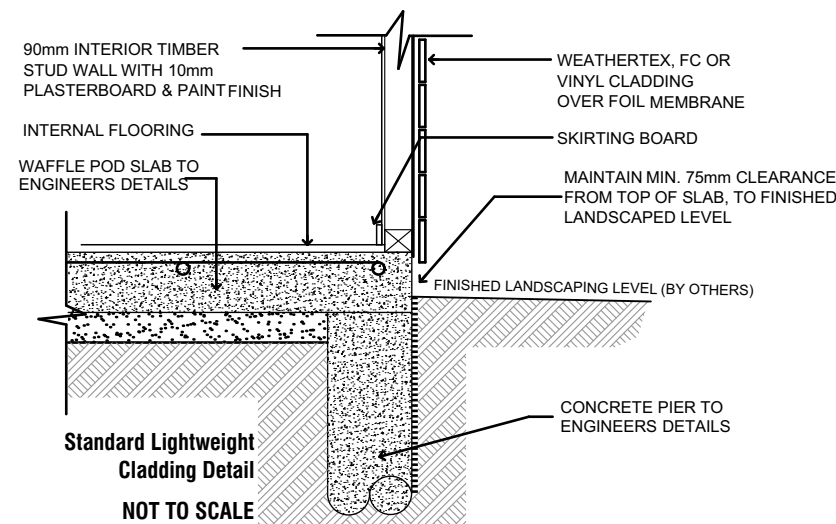
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



SITE BENCHING NOTES:

WHERE POSSIBLE/APPROPRIATE, EXISTING SOIL TO BE REUSED AS COMPACTED FILL TO AVOID ANY DROP EDGE BEAMS. IF EXCAVATED SOIL IS NOT APPROPRIATE FOR USE, DROP EDGE BEAMS OR ADDITIONAL IMPORTED SOIL MAY BE REQUIRED. PLEASE REFER TO YOUR TENDER VARIATION FOR ANY RELEVANT ALLOWANCES.

LANDSCAPING NOTE

UNLESS SPECIFIED IN YOUR CONTRACT, NO LANDSCAPING WORKS HAVE BEEN ALLOWED FOR AROUND THE BUILDING. AT COMPLETION OF LANDSCAPE WORKS, THE SLAB HEIGHT MUST REMAIN A MIN. OF 75mm ABOVE THE FINISHED LANDSCAPED LEVEL.

GUTTER & VALLEY NOTE

WHEN BUILDING NEAR TREES, WE STRONGLY RECOMMEND YOU INSTALL GUTTER-GUARD OR A SIMILAR PRODUCT IN ALL GUTTERS AND VALLEYS, TO PREVENT LEAF BUILD-UP AND WATER OVERFLOW UNDER THE ROOF TILES OR SHEETING

FLOOR LEVEL NOTE

THE FLOOR LEVEL SHOWN ON THE ELEVATIONS MAY VARY SLIGHTLY ON SITE, DUE TO SITE CONDITIONS AND FINAL LEVELS AFTER EXCAVATION AND REMOVAL OF SOIL.

UNLESS SPECIFIED IN YOUR TENDER AND BUILDING CONTRACT, NO DIRT REMOVAL HAS BEEN ALLOWED FOR WHEN LEVELLING THE SITE FOR A CONCRETE SLAB. WHEN ACCESS IS TIGHT, A DECISION WOULD NEED TO BE MADE AS TO WHERE TO STOCKPILE ON SITE TO AVOID ACCESS INTERRUPTIONS OR A COST TO REMOVE THE SOIL CAN BE ARRANGED OR YOU.

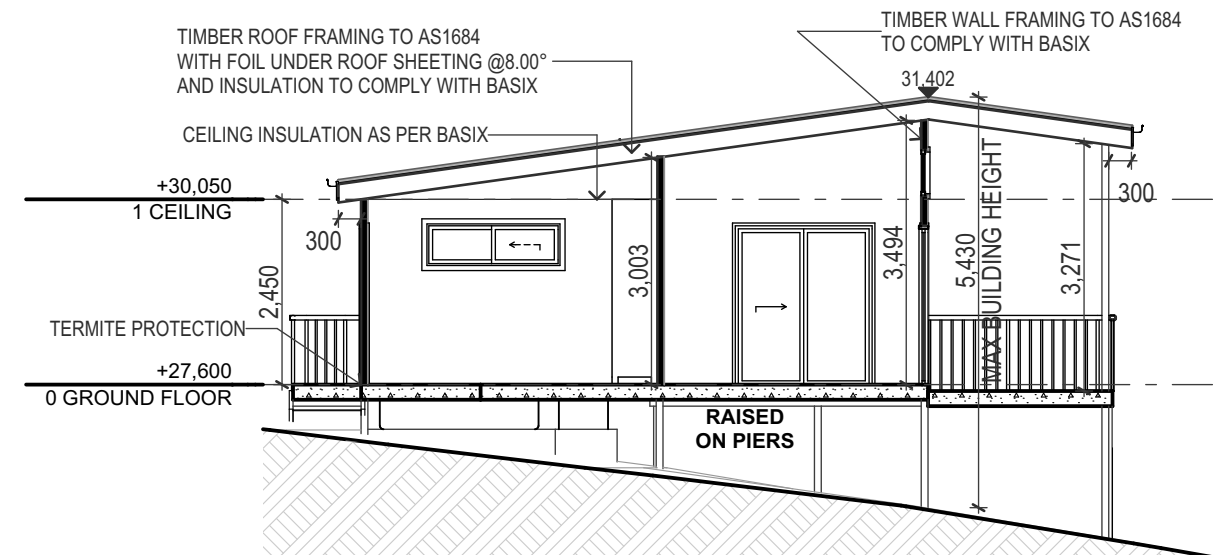
FURTHERMORE, NO EXTERNAL STEPS TO PORCHES, DROP EDGE BEAMS OR RETAINING WALLS HAVE BEEN ALLOWED FOR, UNLESS SPECIFIED IN YOUR TENDER.

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CROSS SECTION

CLIENT DETAILS

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ELEVATIONS & SECTION

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Nationwide House Energy Rating Scheme
NatHERS Certificate No. 1ECXOPWMXB

Generated on 18 Jul 2023 using FirstRate5: 5.3.2b (3.21)

Property

Address 56 Central Road, Avalon Beach, NSW, 2107
Lot/DP 33A/359416
NCC Class* Class 1a
Type New Home

Plans

Main plan 28/06/2023
Prepared by AM

Construction and environment

Assessed floor area (m²)* Exposure type
Conditioned* 50.1 suburban
Unconditioned* 5.6 NatHERS climate zone
Total 55.7 56 Mascot AMO
Garage -



Accredited assessor

Name eCerts Australia
Business name eCerts
Email info@ecerts.com.au
Phone 1300323787
Accreditation No. HERA10205
Assessor Accrediting Organisation HERA
Declaration of interest Declaration completed: no conflicts

National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au.

State and territory variations and additions to the NCC may also apply.



NATIONWIDE
HOUSE
ENERGY RATING SCHEME

56.4 MJ/m²

Predicted annual energy load for heating and cooling based on standard occupancy assumptions.

For more information on your dwelling's rating see:
www.nathers.gov.au

Thermal performance

Heating 30.7 MJ/m²
Cooling 25.7 MJ/m²

About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

Verification

To verify this certificate, scan the QR code or visit <https://www.fr5.com.au/QRCodeLanding?PublicId=1ECXOPWMXB> When using either link, ensure you are visiting www.FR5.com.au.



Certificate number: 1351937S_03

Project score

Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 50	Target 50

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BASIX COMMITMENTS

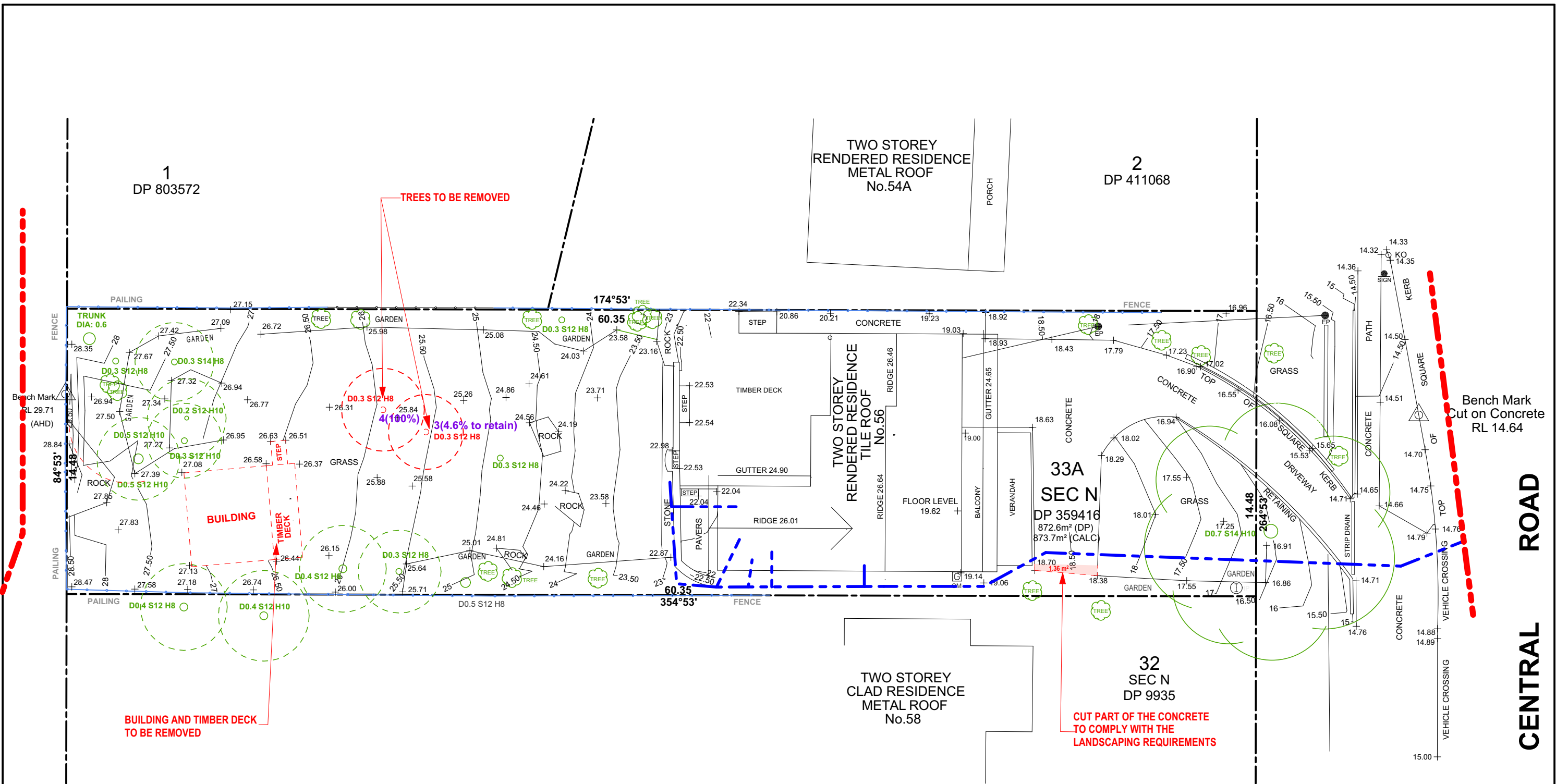
Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 91 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Thermal Comfort Commitments			
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Floor and wall construction			
Floor - suspended floor/open subfloor			Area All or part of floor area square metres
Energy Commitments			
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 26 to 30 STCs or better.	✓	✓	✓
Cooling system			
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
Heating system			
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: - at least 2 of the bedrooms / study; dedicated - at least 1 of the living / dining rooms; dedicated - the kitchen; dedicated		✓ ✓ ✓	✓ ✓ ✓
Energy Commitments			
all bathrooms/toilets; dedicated		✓	✓
the laundry; dedicated		✓	✓
all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	

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DEMOLITION PLAN	

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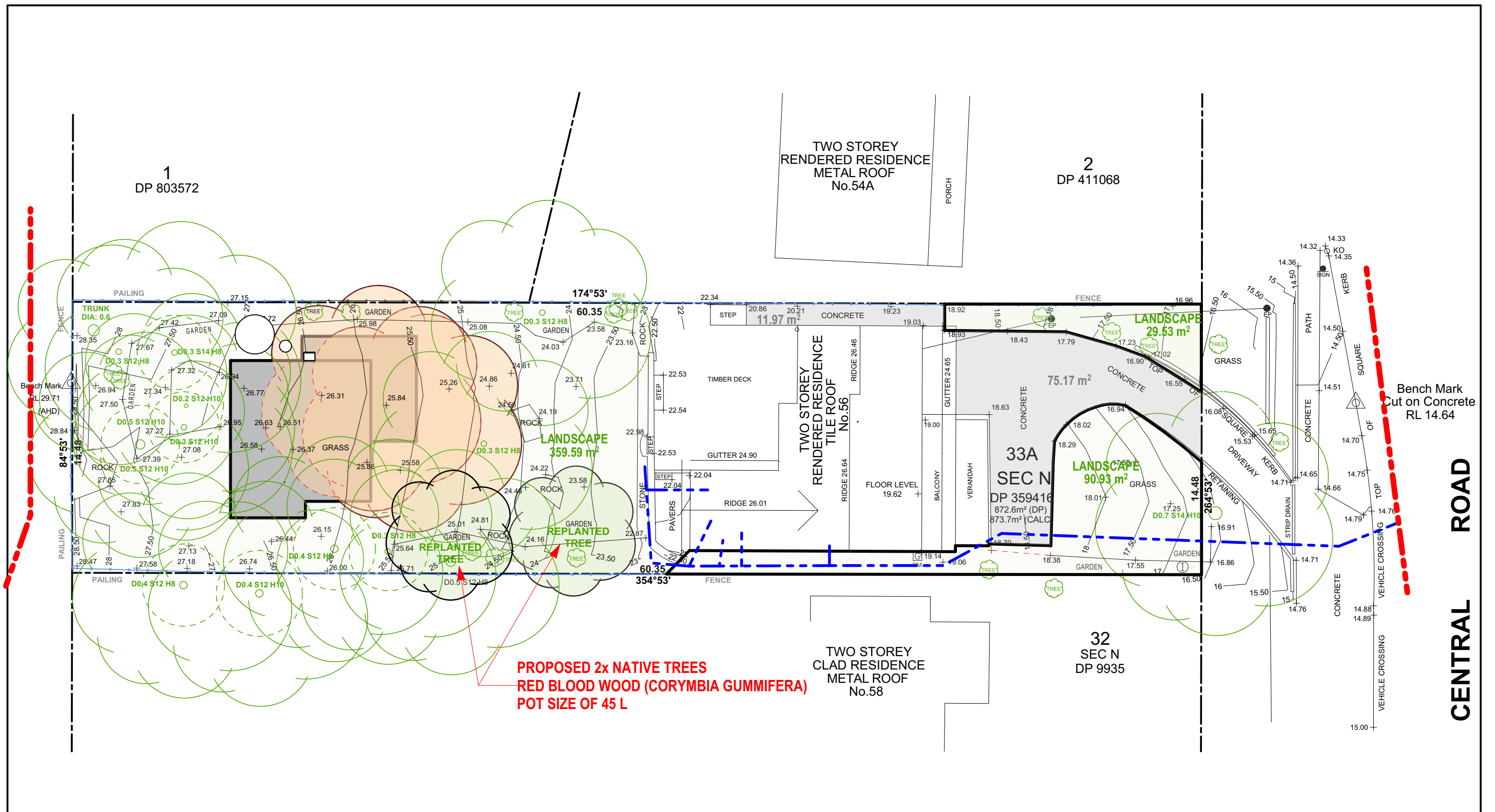
NEW SOUTH HOMES



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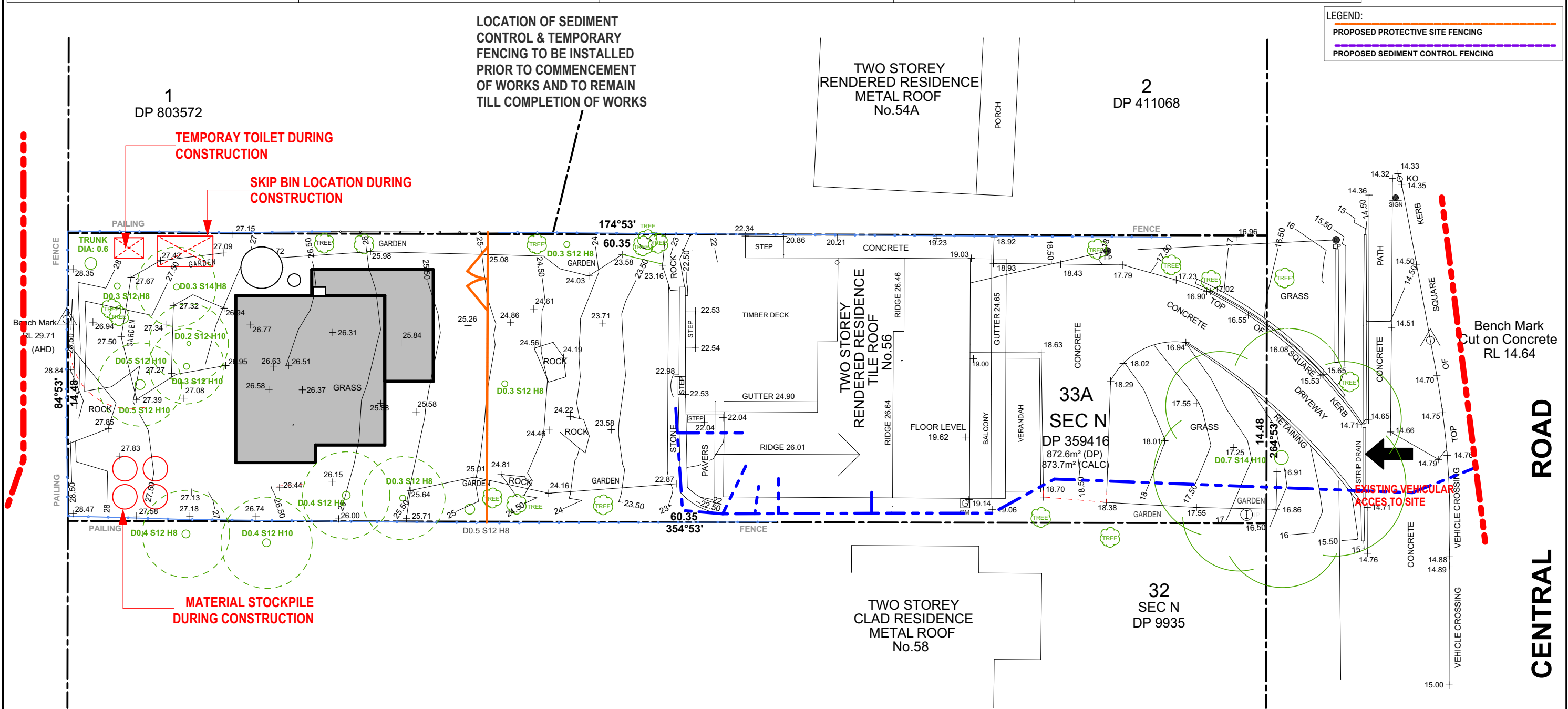
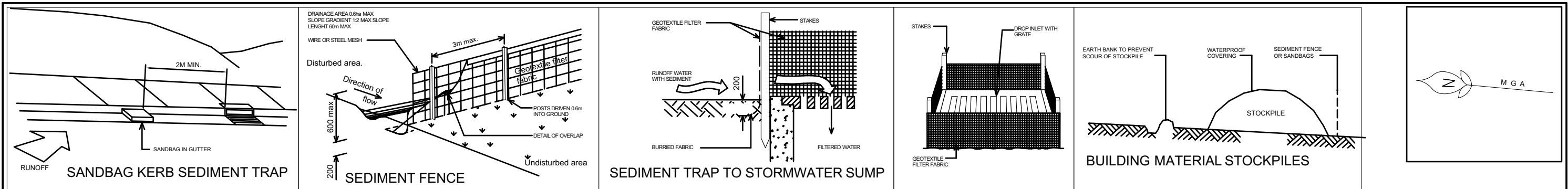


LEGEND:	
	REMOVED TREE
	PROPOSED TREE
	LANDSCAPED AREA
	BEHIND BUILDING LINE
	CONCRETE AREA
359.59 m² 41.20 %	
87.14 m² 09.98%	

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			DESIGN DEVELOPMENT		
			CONSTRUCTION ISSUE		

CLIENT DETAILS	
56 Central Road, Avalon Beach	
Rob Raine & Jennifer Sharleen Raine	
LOT 33A Sec N - DP 359416	
LANDSCAPE PLAN	

DESIGN BY	
NEW SOUTH HOMES	
90 PACIFIC HIGHWAY, WAITARA NSW 2077 // Ph: (02) 9481 7443	
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EROSION AND SEDIMENTATION CONTROL NOTE:

- BUILDER SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION AS INDICATED ON THE PLAN. THE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (EG HUMES PROPOEX SILT STOP) STANDING 300mm MIN. ABOVE GROUND AND EXTENDING 200mm BELOW GROUND.
- EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.
- NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
- GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.
- ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICAL.
- BUILDER SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING AND LEAVING THE SITE DO SO IN A FORWARD DIRECTION.
- ALL TEMPORARY STOCKPILES SHALL BE AT LEAST 2000mm CLEAR OF AREAS OF CONCENTRATED WATER FLOW & THE DRIVEWAY. FOOTPATH NOT TO BE USED.
- PROVIDE MESH AND GRAVEL PROTECTION TO GUTTER INLETS NEAR THE ALLOTMENT.

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			CONSTRUCTION ISSUE		

CLIENT DETAILS

56 Central Road, Avalon Beach

Rob Raine & Jennifer Sharleen Raine

LOT 33A Sec N - DP 359416

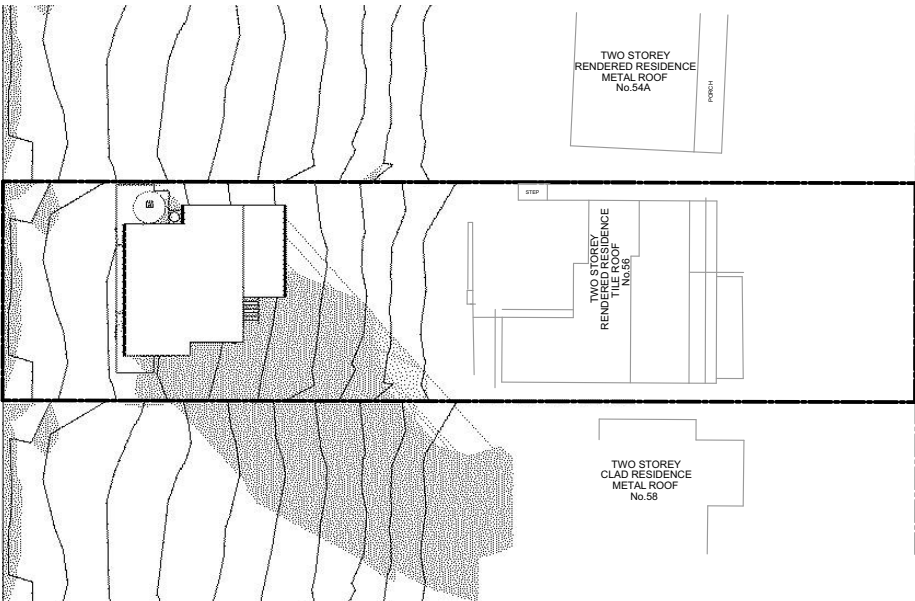
SITE MANAGEMENT PLAN

DESIGN BY

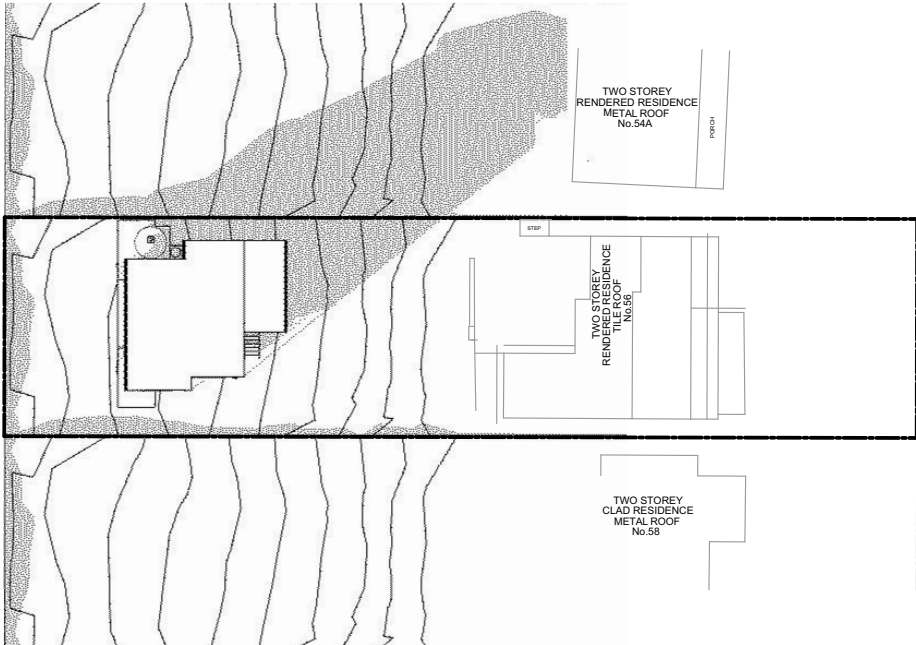
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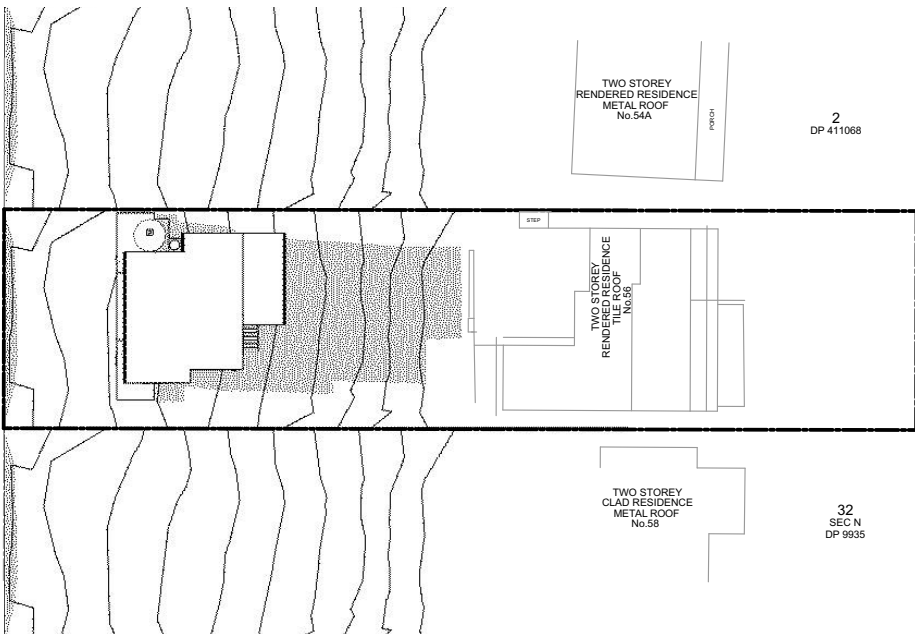
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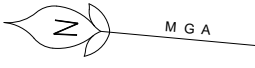
21st JUN 9AM



21st JUN 3PM



21st JUN 12PM



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SHADOW DIAGRAM

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