

STEPHEN PINN

Accredited Certifier BPB 0326

Determination of a Final Occupation Certificate Application

Made under Sections 109C(1)(c) and 109H of the Environmental Planning and Assessment Act 1979

Final Occupation Certificate No: 2009/3215

Land to which this certificate applies:

Address: 22 Chiltern Road, Ingleside

Lot No: 1 DP No: 598867

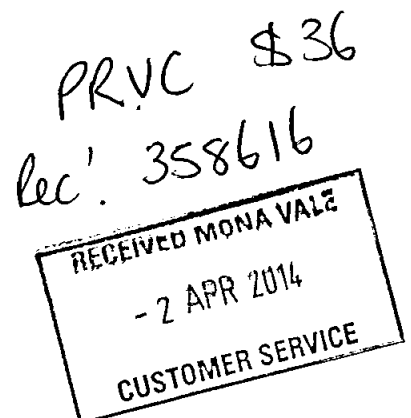
I approve the issuing of this Final Occupation Certificate and certify that:

- I have been appointed as the Principal Certifying Authority under Section 109E of the Environmental Planning & Assessment Act 1979.
- Current Development Consent No. N0373/08 (Mod N0373/08/S96/1) is in force for this development.
- Construction Certificate No. 2009/3215A has been issued with respect to the plans and specifications for alterations & additions to existing dwelling, new garage, swimming pool, landscape works.
- The building is completed in accordance with its classification under the Building Code of Australia.
- A BASIX completion receipt has been issued for this development.
- Refer to various inspection reports, certificates & documentation as attached to be read in conjunction with this Certificate.

Determination date: 30 MAR 2014

SP

Stephen Pinn
Accredited Certifier – Accreditation No. BPB0326



BASIX Completion Receipt

Receipt no.: CR-1396148113761-A39566

This receipt is confirmation that the certifying authority identified below has satisfied the requirements of clause 154C of the Environmental Planning and Assessment Regulation 2000 for the development described in the 'BASIX Certificate details' section below.

Director-General
Date of issue: Sunday, 30/03/2014



Planning &
Infrastructure

Principal certifying authority

Name: Stephen Pinn
Accreditation scheme: BPB
Accreditation number: 0326

Final Inspection

Date of final inspection: Tuesday, 13/11/2012

BASIX Certificate details

BASIX Certificate no.	A39566
Project name	Ingleside House
Street address	22 Chiltern Road
Suburb	Ingleside
Postcode	2101
Local Government Area	Pittwater Council

BUILDING INSPECTION REPORT

Land to which this Building Inspection Report result sheet applies:

Council Area: Pittwater Date of Inspection 13/11/2012

Address 22 Chiffon Road

DA No. CC No. CDC No.

Requested by: Ray Leahy Ph No.

- | | | |
|---|--|--|
| ☐ Site Assessment - Pre CC/ CDC Issue | ☐ Footings and Excavation | ☐ Waterproofing |
| ☐ PCA Signage | ☐ Steel Placement | ☐ Stormwater |
| ☐ Sediment Controls | ☐ Floor Framing / Slab | ☒ Pool Fence |
| ☐ Tree Protection Measures | ☐ Wall Framing | ☒ Final Inspection |
| ☐ Building Commencement | ☐ Roof Framing | ☐ Photographic record |
| ☒ Other (specify) <u>SITE VISIT re: FINAL</u> | | |

☒ An inspection of FINAL & POOL FENCING has been carried out and has been found to be in compliance with the plans and specifications as approved in that Construction Certificate/Complying Development Certificate.

☐ Complete the work detailed hereunder.

☐ Complete the work detailed hereunder and contact the Principal Certifying Authority to arrange a re-inspection. NB A re-inspection fee of \$_____ will be charged, which is payable PRIOR TO THE RE-INSPECTION BEING CARRIED OUT.

Signed: [Signature] Accreditation No. BPB 0326 Date: 13/11/2012

Accredited Building Certifier
Stephen Pinn PO BOX 136 Mona Vale NSW 1660 ph: 0404332978 email: stephenpinn00@gmail.com ABN 88 691 592 147

BUILDING INSPECTION REPORT

Land to which this Building Inspection Report result sheet applies:

Council Area : Pittwater Date of Inspection 29/4/2010

Address 22 Chilton Road, Inglewood

DA No. 2009/3215 CC No. 2009/3215 CDC No.

Requested by: Gary Leakey Ph No.

Final Stage Inspection

- | | | |
|--|--|--|
| ☐ Site Assessment - Pre CC/ CDC Issue | ☐ Footings and Excavation | ☐ Waterproofing |
| ☐ PCA Signage | ☐ Steel Placement | ☐ Stormwater |
| ☐ Sediment Controls | ☐ Floor Framing / Slab | ☐ Pool Fence |
| ☐ Tree Protection Measures | ☐ Wall Framing | ☒ Final Inspection <i>(prelim)</i> |
| ☐ Building Commencement | ☐ Roof Framing | ☐ Photographic record |
| ☐ Other (specify) <u></u> | | |

☒ An inspection of FINAL (prelim) has been carried out and has been found to be in compliance with the plans and specifications as approved in that Construction Certificate/Complying Development Certificate.

☒ Complete the work detailed hereunder.

☐ Complete the work detailed hereunder and contact the Principal Certifying Authority to arrange a re-inspection. NB A re-inspection fee of \$ will be charged, which is payable PRIOR TO THE RE-INSPECTION BEING CARRIED OUT.

Various documents, certificates required.

(now provided)

Signed: [Signature]
Accredited Building Surveyor

Accreditation No. 1830326 Date: 24/4/2010

BUILDING INSPECTION REPORT

Land to which this Building Inspection Report result sheet applies:

Council Area: Pittwater Date of Inspection: 2/4/09

Address: 22 Chilton Road, Tylenider

DA No. _____ CC No. 209/3215 CDC No. _____

Requested by: Bulda - Nick Ph No. _____

Critical Stage Inspections

- | | | |
|---|---|--|
| ☒ PCA Signage | ☐ Steel Placement | ☐ Stormwater |
| ☐ Sediment Controls | ☐ Floor Framing / Slab | ☐ Pool Fence |
| ☐ Tree Protection Measures | ☐ Wall Framing | ☐ Final Inspection |
| ☒ Building Commencement | ☐ Roof Framing | ☐ Other (specify) |
| ☐ Footings and Excavation | ☐ Waterproofing | ☐ Photographic record |

☒ An inspection of Common Council has been carried out and has been found to be in compliance with the plans and specifications as approved in that Construction Certificate/Complying Development Certificate.

☐ Complete the work detailed hereunder.

☐ Complete the work detailed hereunder and contact the Principal Certifying Authority to arrange a re-inspection. NB A re-inspection fee of \$ _____ will be charged, which is payable **PRIOR TO THE RE-INSPECTION BEING CARRIED OUT.**

Signed: [Signature]
Accredited Building Surveyor

Accreditation No. 20526 Date: 2/4/09

BUILDING INSPECTION REPORT

Land to which this Building Inspection Report result sheet applies:

Council Area: Warrington Date of Inspection: 5.6.09
 Address: 22 Chiltern Road Ingleside
 DA No: NO 373/08 CC No: 2009/3215 CDC No: _____
 Requested by: Alan Maddox Ph No: 0402 939 009
NVIC 0416 761910

OPTIONAL STAGE INSPECTIONS

- | | | |
|---|---|---|
| ☐ PCA Signage | ☒ Steel Placement | ☐ Stormwater |
| ☐ Sediment Controls | ☐ Floor Framing / Slab | ☐ Pool Fence |
| ☐ Tree Protection Measures | ☐ Wall Framing | ☐ Final Inspection |
| ☐ Building Commencement | ☐ Roof Framing | ☐ Other (specify) |
| ☒ Footings and Excavation | ☐ Waterproofing | ☒ Photographic record |

☒ An inspection of internal footing to footing & pool steel has been carried out and has been found to be in compliance with the plans and specifications as approved in that Construction Certificate/Complying Development Certificate.

☐ Complete the work detailed hereunder.

☐ Complete the work detailed hereunder and contact the Principal Certifying Authority to arrange a re-inspection. NB A re-inspection fee of \$_____ will be charged, which is payable PRIOR TO THE RE-INSPECTION BEING CARRIED OUT.

Footings and pool steel in accordance with engineers approval
engineers certificate required for the footings and slab work
in the Lanai structure and grout/water tank. OK

Signed: A. Bailey Accreditation No: 2220015 Date: 5.6.09
 Accredited Building Surveyor

BUILDING INSPECTION REPORT

Land to which this Building Inspection Report result sheet applies:

Council Area: Pittwater Date of Inspection: 29/7/09
 Address: 22 Chiltern Road Inglewood
 DA No. CC No. 2009/3215 CDC No.
 Requested by: Adam Ph No. 0411 343 417

Critical Stage Inspections

- | | | |
|---|---|---|
| ☐ PCA Signage | ☒ Steel Placement | ☐ Stormwater |
| ☐ Sediment Controls | ☐ Floor Framing / Slab | ☐ Pool Fence |
| ☐ Tree Protection Measures | ☐ Wall Framing | ☐ Final Inspection |
| ☐ Building Commencement | ☐ Roof Framing | ☐ Other (specify) |
| ☐ Footings and Excavation | ☐ Waterproofing | ☒ Photographic record |

☒ An inspection of Steel to garage slab has been carried out and has been found to be in compliance with the plans and specifications as approved in that Construction Certificate/Complying Development Certificate.

☐ Complete the work detailed hereunder.

☐ Complete the work detailed hereunder and contact the Principal Certifying Authority to arrange a re-inspection. NB A re-inspection fee of \$_____ will be charged, which is payable PRIOR TO THE RE-INSPECTION BEING CARRIED OUT.

Steel in accordance with engineers detail
ensure correct cover over external piles

Signed: [Signature]
 Accredited Building Surveyor

Accreditation No. 2009/3215

Date: 29/7/09

BUILDING INSPECTION REPORT

Land to which this Building Inspection Report result sheet applies:

Council Area: Pittwater Date of Inspection: 10/12/09

Address: 22 Chiffon Road Inglewood

DA No. CC No. 2009/3215 CDC No.

Requested by: Adam Ph No. 0411 343 417

Building Inspection Checklist

- | | | |
|--|--|---|
| ☐ Site Assessment - Pre CC/ CDC Issue | ☐ Footings and Excavation | ☐ Waterproofing |
| ☐ PCA Signage | ☐ Steel Placement | ☒ Stormwater |
| ☐ Sediment Controls | ☐ Floor Framing / Slab | ☐ Pool Fence |
| ☐ Tree Protection Measures | ☒ Wall Framing | ☐ Final Inspection |
| ☐ Building Commencement | ☒ Roof Framing | ☒ Photographic record |
| ☐ Other (specify) | | |

☒ An inspection of sub, roof framing & stormwater has been carried out and has been found to be in compliance with the plans and specifications as approved in that Construction Certificate/Complying Development Certificate.

☐ Complete the work detailed hereunder.

☐ Complete the work detailed hereunder and contact the Principal Certifying Authority to arrange a re-inspection.* NB A re-inspection fee of \$..... will be charged, which is payable PRIOR TO THE RE-INSPECTION BEING CARRIED OUT.

Framing & stormwater satisfactory

.....

.....

.....

.....

Signed: [Signature] Accreditation No. 5712 0015 Date: 10/12/09 ✓
Accredited Building Surveyor

BUILDING INSPECTION REPORT

Land to which this Building Inspection Report result sheet applies:

Council Area: Pittwater Date of Inspection: 18/1/10

Address: 27 Chiltern Road Ingleside

DA No. CC No. 2009/2218 CDC No.

Requested by: Adam Ph No.

Typical Stage Inspections

- | | | |
|--|--|---|
| ☐ Site Assessment - Pre CC/ CDC Issue | ☐ Footings and Excavation | ☒ Waterproofing |
| ☐ PCA Signage | ☐ Steel Placement | ☐ Stormwater |
| ☐ Sediment Controls | ☐ Floor Framing / Slab | ☐ Pool Fence |
| ☐ Tree Protection Measures | ☐ Wall Framing | ☐ Final Inspection |
| ☐ Building Commencement | ☐ Roof Framing | ☒ Photographic record |
| ☐ Other (specify) | | |

☒ An inspection of waterproofing to all out areas has been carried out and has been found to be in compliance with the plans and specifications as approved in that Construction Certificate/Complying Development Certificate.

☒ Complete the work detailed hereunder.

☐ Complete the work detailed hereunder and contact the Principal Certifying Authority to arrange a re-inspection. NB A re-inspection fee of \$..... will be charged, which is payable **PRIOR TO THE RE-INSPECTION BEING CARRIED OUT.**

Water stops to be provided at all doorways and
other recesses.

Signed: A Bailey Accreditation No. 2009/15 Date: 18/1/10
 Accredited Building Surveyor

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 3 – Post Construction Geotechnical Certificate to be submitted with Occupation Certificate or
Subdivision Certificate

Development Application for <u>Craig Perkins</u>	Name of Applicant
Address of site <u>22 Chiltern Road, Ingleside</u>	

Declaration made by geotechnical engineer on completion of the Development

I, Daniel Martens on behalf of Martens & Associates Pty Ltd
 (Insert Name) (Trading or Company Name)

on this the 28th of March, 2014 certify that I am a Geotechnical Engineer, Engineering Geologist and/or Coastal Engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009. I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I prepared and/or verified the Geotechnical Report as per Form 1 dated _____ referred to below.

Geotechnical Report Details:

Report Title: Geotechnical, Wastewater and Stormwater Assessment Report Date: July 2008 Author: Mark Terei Author's Company/Organisation: Martens & Associates
--

I reviewed the original structural design, and where applicable the subsequently amended structural details (below listed) which have been incorporated into the completed project.

I have inspected and/or am satisfied based on Benvenuti Engineers site reports and advice that the foundation materials, upon which the structural elements (as detailed in the original and amended structural documents) of the development have been erected, comply with the requirements specified in the Geotechnical Report and the Construction Certificate approved Structural Plans.

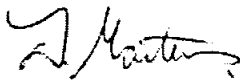
~~I have inspected the site during construction and to the best of my knowledge, I am satisfied that the development referred to in the development consent D.A. _____ dated _____~~
 (D.A.No) (Date consent given)

has been constructed in accordance with the intent of the Geotechnical Report, the requirements of the conditions of Development Consent and the Construction Certificate approved Structural Plans relating to the geotechnical issues (including any treatment and/or maintenance plan that may be required to remove risk where reasonable and practical).

I am aware that Pittwater Council require this certificate prior to issuing an occupancy certificate for the development identified above and will rely on this certificate in regard to the development having achieved the "Acceptable Risk Management" criterion defined in the Policy and that reasonable and practical measures have been taken to remove foreseeable risk.

List of all work as executed drawings and Ongoing Maintenance plans relevant to geotechnical risk management.

No foundation or other construction phase inspections were completed and conclusions of adequacy of bearing material is based on structural engineers certifications (attached) and advice. No inspection of the boulder retaining walls were completed , following construction Martens undertook further investigation and design modifications were documented in Martens Report P0802138JR04V01. Subsequent works to satisfy these recommendations were completed on site to achieve an acceptable level of risk for these boulder walls.
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Signature 
 Name Dr Daniel Martens.....
 Chartered Professional Status...CPEng, NPER.....
 Membership No. 2185379.....
 Company Martens & Associates Pty Ltd

BENVENUTI S.C. PTY LTD
CONSULTING STRUCTURAL ENGINEERS
ACN: 082 755 646 ABN: 35 082 755 646
Suite 12, 2 Beattie Street, Balmain NSW 2041
Ph: 61 2 9818 7513 Fax: 61 2 9818 7512
Email: benvenuti@bigpond.com.au

INSPECTION REPORT

THIS DOES NOT CONSTITUTE A VARIATION TO THE CONTRACT

PROJECT ADDRESS 22 CHATELAIN Rd INGLEBORO
JOB NO 1226 DATE 27/03/09 INSPECTION TIME 9.0 AM WEATHER FINE
INSPECTION REQUESTED BY ALAN CUSHMAN OF MORRIS CONSTRUCTION
OTHERS PRESENT _____
INSPECTION CARRIED OUT BY R. BENVENUTI
ELEMENTS INSPECTED EXPOSED EXCAVATION TO FIND BELOW THE LANDI POOL AND GARAGE
DRAWING REFERENCE NO S03 AND S09

AREA BELOW POOL INVERT DID NOT EXHIBIT SOUND ROCK STRATA. THEREFORE PILES AS DETAILD WILL STILL BE REQUIRED.

1) AREA BELOW THE GARAGE/WATER TANK DID EXHIBIT ROCK STRATA BUT THE ROCK DOES NOT TO BE SOUND ROCK STRATA BUT A NUMBER OF FORTING ALL PRESENT.

THE ALT. BELOW THE TANK NEEDS TO BE CLEARED OF ANY SOFT MATERIALS AND IF NECESSARY BUILT UP LOW SLOP BELOW THE TANK SLAB WITH MASS CONCRETE FILL.

PILES SUPPORTING THE SUSPENDED GARAGE SLAB ALONG GRID (F) ARE STILL REQUIRED.

Pile along Grids (G) may be omitted depending on the relative location of the large exposed rock shelf on the southern side of the excavation.

3) FOOTINGS BELOW THE LAWN MAY BE REVISED AS PER THE ATTACHED DETAILS.

ENGINEER'S SIGNATURE

1. PRINCIPAL CERTIFIER'S COPY (WHITE)

2. CLIENT'S COPY (BLUE)

RE-INSPECTION REQUIRED



3. OFFICE COPY (PINK)

BENVENUTI S.C. PTY LTD
CONSULTING STRUCTURAL ENGINEERS
ACN: 082 755 646 ARN: 35 082 755 646
Suite 12, 2 Beattie Street, Balmain NSW 2041
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INSPECTION REPORT

THIS DOES NOT CONSTITUTE A VARIATION TO THE CONTRACT

PROJECT ADDRESS 22 CHILTERN RD INGLESIDE

JOB NO 1226 DATE 22/4/09 INSPECTION TIME 9:45AM WEATHER OVERCAST

INSPECTION REQUESTED BY NICK GAFFNEY - MOULDS

OTHERS PRESENT

INSPECTION CARRIED OUT BY BEN SIMPSON

ELEMENTS INSPECTED POOL PUMP ROOM SUB.

DRAWING REFERENCE NO

BUILDER TO ADDRESS THE FOLLOWING PRIOR TO PLACEMENT OF CONCRETE:

- 1) ENSURE RET. WALL STARTER BARS EXTEND 800MM ABOVE FINISHED CONCRETE LEVEL MIN.
- 2) ENSURE TRENCH MESH IS CHAIRED 50MM MIN UP FROM GRAOUND LEVEL.
- 3) TRIM EXTERNAL SUB TOP MESH TO ENSURE 40MM COVER ON ALL SUB EDGES TO STEEL. ENSURE THAT AREAS OF THE SUB MISSING REINFORCEMENT HAVE MESH PLACED OR REPOSITIONED TO HAVE STEEL WITHIN 50/60 mm FROM SUB EDGE

ENGINEER'S SIGNATURE

RE-INSPECTION REQUIRED

☐

1. PRINCIPAL CERTIFIER'S COPY (WHITE)

2. CLIENT'S COPY (BLUE)

3. OFFICE COPY (PINK)

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INSPECTION REPORT

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PROJECT ADDRESS 22 CHILTERN RD INGLESIDE
JOB NO 1226 DATE 28.4.09 INSPECTION TIME 10:30AM WEATHER FINE
INSPECTION REQUESTED BY NICK GAFFNEY - MOULDS
OTHERS PRESENT _____
INSPECTION CARRIED OUT BY BEN SIMPSON
ELEMENTS INSPECTED PIERS TO POOL
DRAWING REFERENCE NO _____

POOL PIER FOUNDATION HAS BEEN INSPECTED & WE ARE SATISFIED THAT THE BEDROCK BORING SURFACE IS ACCEPTABLE. AT THE TIME OF INSPECTION THERE WAS SIGNIFICANT AMOUNTS OF MUD & ROCK DEBRIS AT THE BASE OF MOST PIERS. BUILDER IS TO ENSURE THAT THE MUD & LOOSE MATERIAL REMAINING IS REMOVED PRIOR TO PLACEMENT OF CONCRETE. ALSO ENSURE REINFORCEMENT CAGES ARE POSITIONED CENTRALLY SO THAT SUFFICIENT COVER TO REINFORCEMENT IS PROVIDED IN ACCORDANCE WITH SPECIFICATIONS ON SO. BUILDER TO PROVIDE PHOTOGRAPHIC RECORD OF REINFORCING CAGES IN PLACE.

ENGINEER'S SIGNATURE

RE-INSPECTION REQUIRED



1. PRINCIPAL CERTIFIER'S COPY (WHITE)

2. CLIENT'S COPY (BLUE)

3. OFFICE COPY (PINK)

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CONSULTING STRUCTURAL ENGINEERS
ACN: 082 755 646 ARN: 35 082 755 646
Suite 12, 2 Beattie Street, Balmain NSW 2041
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INSPECTION REPORT

THIS DOES NOT CONSTITUTE A VARIATION TO THE CONTRACT

PROJECT ADDRESS 22 CHITRELL ST Inglewood
JOB NO 1226 DATE 16/05/09 INSPECTION TIME 11:30 AM WEATHER Fine
INSPECTION REQUESTED BY NICK GATFHEY
OTHERS PRESENT NICK GATFHEY
INSPECTION CARRIED OUT BY IL BENVENUTI
ELEMENTS INSPECTED REINFORCEMENT TO TOPK SUBS BELOW
GRAB
DRAWING REFERENCE NO S-11

All reinforcement found to be in accordance with the engineer's drawings.
EP on girder G/15 may be deleted.
EP on girder G/13 may be continued as a PI
concrete pier.

ENGINEER'S SIGNATURE

RE-INSPECTION REQUIRED

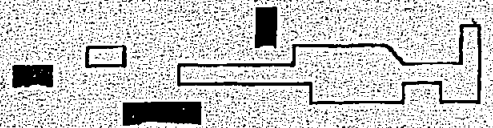
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INSPECTION REPORT

THIS DOES NOT CONSTITUTE A VARIATION TO THE CONTRACT

PROJECT ADDRESS 22 CHILTERN RD INGLESIDE

JOB NO 1226 DATE 27/05/09 INSPECTION TIME 2.0 PM WEATHER Rain.

INSPECTION REQUESTED BY Mouws Constructions

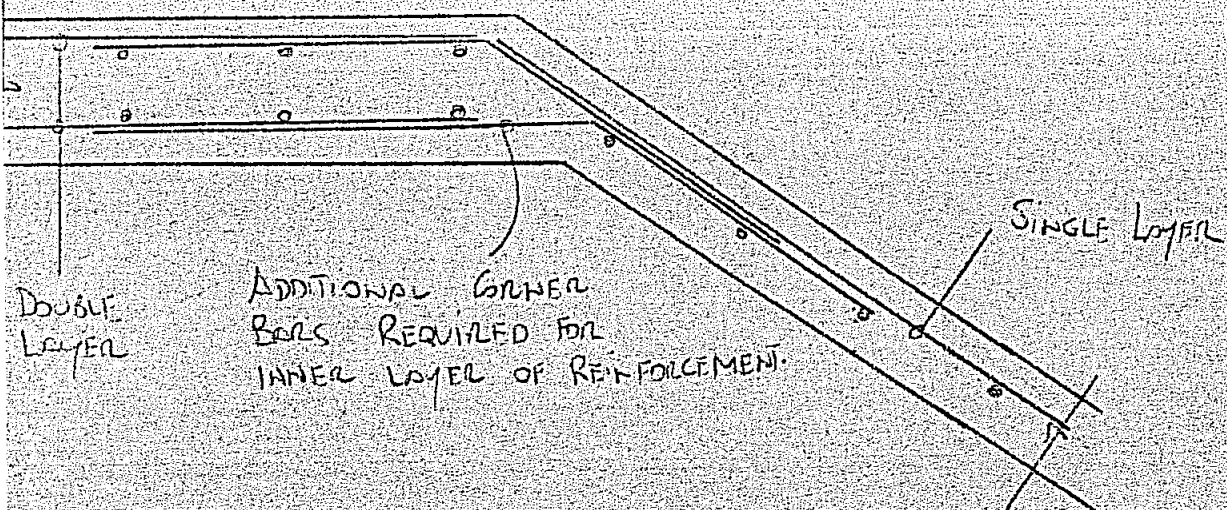
OTHERS PRESENT Nick

INSPECTION CARRIED OUT BY R. BENVENUTI

ELEMENTS INSPECTED ① Pier Holes for House ② Bulk Walls to OSD Tanks.
Below Garage ③ Pump Room Slab ④ Pool Reinforcement.

DRAWING REFERENCE NO S02, S03, S11, S14

Pool corner reinforcement needs to be rectified as follows.



All other items are found to be in accordance with the engineer's drawings.

ENGINEER'S SIGNATURE

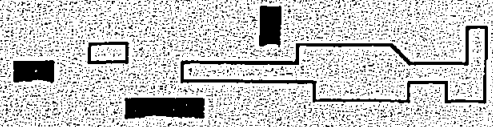
RE-INSPECTION REQUIRED ☒

1. PRINCIPAL CERTIFIER'S COPY (WHITE)

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INSPECTION REPORT

THIS DOES NOT CONSTITUTE A VARIATION TO THE CONTRACT

PROJECT ADDRESS 22 CHILTERN ST INCLIS DE

JOB NO 1226 DATE 5/06/09 INSPECTION TIME 9.30 PM WEATHER FIRE

INSPECTION REQUESTED BY Moules Construction

OTHERS PRESENT NICK

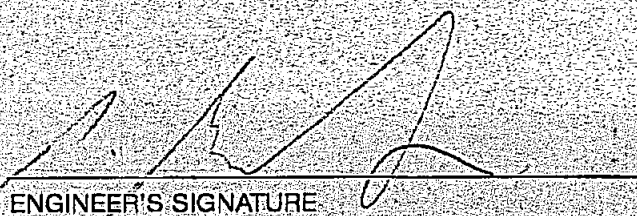
INSPECTION CARRIED OUT BY B. BENVENUTI

ELEMENTS INSPECTED Footings Beams within House (PCI)

DRAWING REFERENCE NO S02

All reinforcement was found to be in accordance with the engineer drawing

Concrete pier on grid G at (11) (2) can be deleted together with IB1 as rock strata an indication of shallow depths.

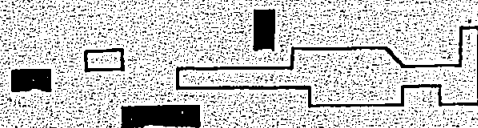


ENGINEER'S SIGNATURE

RE-INSPECTION REQUIRED ☐

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INSPECTION REPORT

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PROJECT ADDRESS 22 Chiffen Rd Inglewood

JOB NO 1226 DATE 22.6.09 INSPECTION TIME 11:00AM WEATHER FINE

INSPECTION REQUESTED BY NICK GAFFNEY MOULDS

OTHERS PRESENT _____

INSPECTION CARRIED OUT BY BEN SIMPSON

ELEMENTS INSPECTED A) PIER - PI PREPARATION - TOP SIDE POOL DECK / LANAI

B) GARAGE - TANK WALLS PREPARATION - 2ND LIFT.

DRAWING REFERENCE NO _____

A) PIERS HAVE BEEN INSPECTED & ARE TYPICALLY IN ACCORDANCE WITH THE INTENT OF OUR SPECIFICATIONS.

B) GARAGE TANK WALLS HAVE BEEN INSPECTED AND THE FOLLOWING ITEMS ARE TO BE ADDRESSED PRIOR TO PLACEMENT OF CONCRETE:

- i) Ensure vertical bars are in back face of wall & leave 20mm min between inside face of block core & bars. East & west tank walls to be amended specifically.
- ii) Ensure bars in pump house perimeter walls are spaced off the inside face of core typically, 20mm min.
- iii) Vertical bars for half the length of north pump house wall are 200mm too short. Lap in 7000mm bars to extend the overall length of vertical bar to top of wall.

ENGINEER'S SIGNATURE

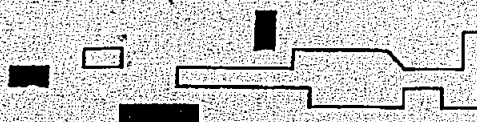
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Pg 1/3

INSPECTION REPORT

THIS DOES NOT CONSTITUTE A VARIATION TO THE CONTRACT

PROJECT ADDRESS 22 Chiltern Rd Inglewood

JOB NO 1226 DATE 24.6.09 INSPECTION TIME 10:00AM WEATHER overcast & WET.

INSPECTION REQUESTED BY NICK GAFFNEY - MOLLOS

OTHERS PRESENT _____

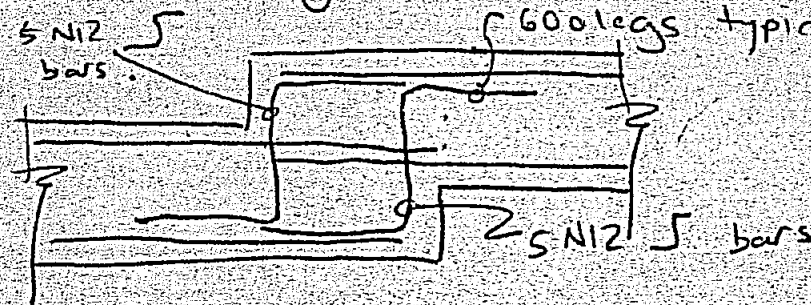
INSPECTION CARRIED OUT BY BEN SIMPSON

ELEMENTS INSPECTED FRANCE TERRACE FOOTING PREPARATION

DRAWING REFERENCE NO S01 - S03.

FOOTING PREPARATION HAS BEEN INSPECTED. BUILDOR TO ADDRESS THE FOLLOWING:

- i) At step in footing, provide "Z" lap bars as per:



- ii) Vertical starter bars to be placed from Grid 3, eastwards in strip footings under retaining wall. Bars to be placed closest to retaining face. Ensure bars are set out to achieve 30mm between inside face of shell & bar for adequate concrete placement around bar.

- iii) Typically clean cut footing bends, ensure end, edge & bottom cover of 50mm min.

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CONTINUED NEXT PAGE

ENGINEER'S SIGNATURE _____ RE-INSPECTION REQUIRED ☐

1. PRINCIPAL CERTIFIER'S COPY (WHITE) 2. CLIENT'S COPY (BLUE) 3. OFFICE COPY (PINK)

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CONSULTING STRUCTURAL ENGINEERS
ACN: 082 755 646 ARN: 35 082 755 646
Suite 12, 2 Beattie Street, Balmain NSW 2041
Ph: 61 2 9818 7513 Fax: 61 2 9818 7512
Email: benvenuti@bigpond.com.au



pg 2/3

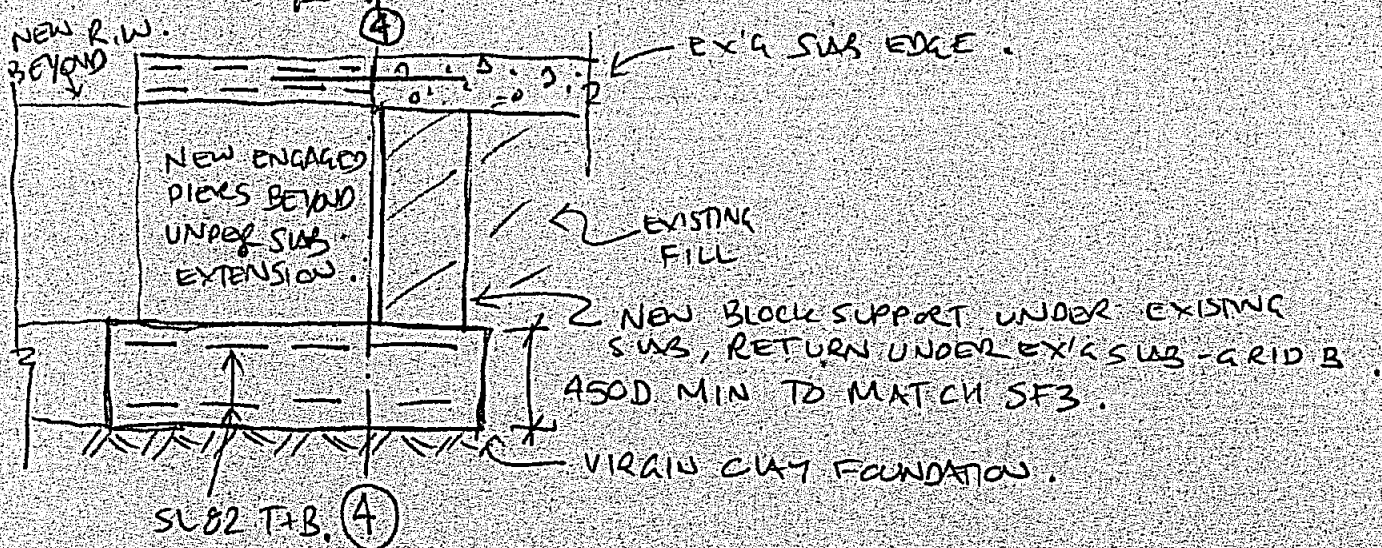
INSPECTION REPORT

THIS DOES NOT CONSTITUTE A VARIATION TO THE CONTRACT

PROJECT ADDRESS 22 Chilton Rd Inglewood
JOB NO 1226 DATE 24.6.09 INSPECTION TIME 10:00AM WEATHER overcast / WET
INSPECTION REQUESTED BY NICK GAFFNEY - MOULDS
OTHERS PRESENT _____
INSPECTION CARRIED OUT BY BEN SIMPSON
ELEMENTS INSPECTED FRONT TERRACE FOOTINGS
DRAWING REFERENCE NO SG1-SC3

CONTINUED FROM PREVIOUS PAGE:

1v) ALONG GRID 4, between grids A & B, clean out existing fill, a minimum of 300 mm under existing slab & pour mass concrete pad footing to support underpinning walls as per:



v) EXTEND SF3 EASTWARDS ALONG GRID A UNDER CORNER OF EXISTING SLAB TO PROVIDE SUPPORT FOR NEW BRICK CORNER PIER. LAP STEEL EXTENSIONS 600 MM MIN.

ENGINEER'S SIGNATURE [Signature] RE-INSPECTION REQUIRED ☒
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Ph: 61 2 9818 7513 Fax: 61 2 9818 7512
Email: benvenuti@bigpond.com.au



pg 3/3.

INSPECTION REPORT

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PROJECT ADDRESS 22 Chiltern Rd Inglewood
JOB NO 1226 DATE 24.6.09 INSPECTION TIME 10:00AM WEATHER overcast / wet
INSPECTION REQUESTED BY NICK GAFFNEY - MOULDS
OTHERS PRESENT _____
INSPECTION CARRIED OUT BY BEN SIMPSON
ELEMENTS INSPECTED FRONT TERRACE FOOTINGS

DRAWING REFERENCE NO SC1-SC3

CONTINUED FROM PAGE 1 & 2.

- vi) FROM GRID (A-7), EXTEND SF3 WESTWARDS 600MM MIN UNDER EXISTING SLAB TO PROVIDE SUPPORT FOR NEW BRICK PIER TO UNDERSIDE OF EXISTING SLAB. EXTENDED STEEL BARS TO LAP 600MM WITH EXISTING.
- vii) EBI at the BASE OF SECTION 7, MAY BE DELETED. BOTTOM LANDING FOR STAIR MAY SPAN FROM SF3 ON GRID A to the SF3 NORTH of THAT. DETAIL TO BE ADVISED.

ENGINEER'S SIGNATURE

RE-INSPECTION REQUIRED

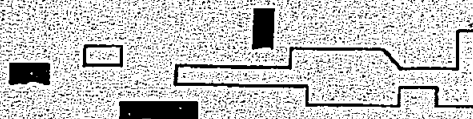


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ACN: 082 755 646 ABN: 35 082 755 646
Suite 12, 2 Beattie Street, Balmain NSW 2041
Ph: 61 2 9818 7513 Fax: 61 2 9818 7512
Email: benvenuti@bigpond.com.au



INSPECTION REPORT

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PROJECT ADDRESS 22 CHILTERN Rd ILGERSIDE
JOB NO 1726 DATE 28/07/09 INSPECTION TIME 1:30 PM WEATHER Fine
INSPECTION REQUESTED BY Moules Construction
OTHERS PRESENT Adam
INSPECTION CARRIED OUT BY R. BENVENUTI
ELEMENTS INSPECTED (1) REINFORCEMENT TO GARAGE SLAB
(2) REINFORCEMENT TO POOL AREA (SOUTH SIDE)
DRAWING REFERENCE NO S11.

GARAGE

- 1) 4x N12 EXTRA BARS (TYPE A) over pier & minning
- 2) Lift bottom layer of reinforcement off border.
- 3) Ensure pier reinforcement (R1) is central in pier
- 4) Cover to edges of EB2 (East Side) are inadequate.

Pool Area

Not completed.

ENGINEER'S SIGNATURE

RE-INSPECTION REQUIRED



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2. CLIENT'S COPY (BLUE)

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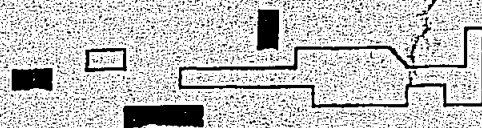
CONSULTING STRUCTURAL ENGINEERS

ACN: 082 755 646 ARN: 35 082 755 646

Suite 12.2 Beattie Street, Balmain NSW 2041

Ph: 61 2 9818 7513 Fax: 61 2 9818 7512

Email: benvenuti@bigpond.com.au



PG 1/2

INSPECTION REPORT

THIS DOES NOT CONSTITUTE A VARIATION TO THE CONTRACT

PROJECT ADDRESS 22 CHILTERN RD INGLESIDE

JOB NO 1226 DATE 30.7.09 INSPECTION TIME 10:45 AM WEATHER FINE

INSPECTION REQUESTED BY MOULDS - ADAM CUSHLY

OTHERS PRESENT

INSPECTION CARRIED OUT BY BEN SIMPSON

ELEMENTS INSPECTED NORTH DECK SUBS - HOUSE

SOUTH POOL APRON SUBS.

DRAWING REFERENCE NO

- NORTH HOUSE DECK SUBS, the following items to be addressed prior to placement of concrete:
 - i) Shift mesh back along southern edge at junction with existing concrete, to provide 30mm edge cover.
 - ii) Provide 2x N12 diagonal trimmer bars at re-entrant corner. Bars - 1200 long min; 30mm from corner + 30mm apart.
 - iii) East end stairs lower landing slab to have mesh placed top. Note cover requirements on drawing SO.0.
 - iv) Top mesh at west end of west stairs to be raised to top of slab. Provide 30mm cover to top mesh.
 - v) Provide additional N12 trimmer bars at east end where mesh has been cut but slab continues. Top 40mm min with mesh. Provide 1x N12 per cut mesh wire.
 - vi) Trim bars at east edge of east stairs, bottom level to ensure 30mm edge cover.

ENGINEER'S SIGNATURE

RE-INSPECTION REQUIRED



1. PRINCIPAL CERTIFIER'S COPY (WHITE)

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CONSULTING STRUCTURAL ENGINEERS
ACN: 082 755 646 ARN: 35 082 755 646
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Ph: 61 2 9818 7513 Fax: 61 2 9818 7512
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INSPECTION REPORT

pg 2/2.

THIS DOES NOT CONSTITUTE A VARIATION TO THE CONTRACT

PROJECT ADDRESS 22 CHILTERN RD INGLESIDE

JOB NO 1226 DATE 30/7/09 INSPECTION TIME 10:45 AM WEATHER FINE

INSPECTION REQUESTED BY MOULDS - DAM CUSHWAY

OTHERS PRESENT • •

INSPECTION CARRIED OUT BY BEN SIMPSON

ELEMENTS INSPECTED NORTH DECK SUB - HOUSE

SOUTH POOL APRON SUB

DRAWING REFERENCE NO

South Apron SUB - Pool: following items to be addressed prior to placement of concrete:

- i) south concrete beam over pier to be doweled to east concrete retaining wall. Provide 4 N16 @ R16 dowels 200mm min into wall & bend down into beam. Provide 450 lap with beam steel.
- ii) Provide 1x N12 trimmer top along pool side edge of slab top mesh on all sides, provide 1x N12 "L" bar top at corners, with 500mm legs.
- iii) Lift 2x N12 trimmers (diagonal) at corners from bottom steel to top mesh.
- iv) provide double layer plastic membrane strip joint under slab, on top of corbel, full length. Clean off corbel & ensure plastic is laid flat.

ENGINEER'S SIGNATURE

RE-INSPECTION REQUIRED



1. PRINCIPAL CERTIFIER'S COPY (WHITE)

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INSPECTION REPORT

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PROJECT ADDRESS 22 CHILTERN RD TUGGERAH
JOB NO 1226 DATE 2/05/09 INSPECTION TIME 1.0pm WEATHER FINE
INSPECTION REQUESTED BY ADAM OF Moulds Construction
OTHERS PRESENT ADAM OF Moulds Construction
INSPECTION CARRIED OUT BY R. BENVENUTI
ELEMENTS INSPECTED REINFORCEMENT TO LAMP SLAB
DRAWING REFERENCE NO S08

All reinforcement has been laid in accordance with
engineer's drawing. 
Place missing bars into an extra bar in top layer
of north / West Cantilever

ENGINEER'S SIGNATURE

1. PRINCIPAL CERTIFIER'S COPY (WHITE)

2. CLIENT'S COPY (BLUE)

RE-INSPECTION REQUIRED



3. OFFICE COPY (PINK)

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ACN: 082 755 646 ABN: 35 082 755 646
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Ph: 61 2 9818 7513 Fax: 61 2 9818 7512
Email: benvenuti@bigpond.com.au



INSPECTION REPORT

THIS DOES NOT CONSTITUTE A VARIATION TO THE CONTRACT

PROJECT ADDRESS 22 CHILTERN Rd Ingerside
JOB NO. 1226 DATE 21/12/09 INSPECTION TIME 10:30AM WEATHER Fine
INSPECTION REQUESTED BY Adam of Moulds Construction
OTHERS PRESENT Adam
INSPECTION CARRIED OUT BY R. Benvenuti
ELEMENTS INSPECTED (1) Footing around ~~existing~~ Tank (2) Footings to
walkway (3) House Framing (4) Garage Framing
DRAWING REFERENCE NO S04-S13

- 1) All reinforcement for footing to landscaping around the existing tank and for the walkway between the house and garage are found to be in accordance with the engineer's drawings.
- 2) Structural steel and framing for house needs to be rectified as follows:
- Insert missing roof bearing in roof between girds (3) and (7)
 - Install missing bolts to bearing on site wall bearing at these locations between girds (3) and (7)
 - Tighten loose bolts to connections in steel between girds (3) and (7)
 - Install missing ply bearing to walls on east side of kitchen

ENGINEER'S SIGNATURE

RE-INSPECTION REQUIRED



1. PRINCIPAL CERTIFIER'S COPY (WHITE)

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3) Garage framing not completed will require additional inspection

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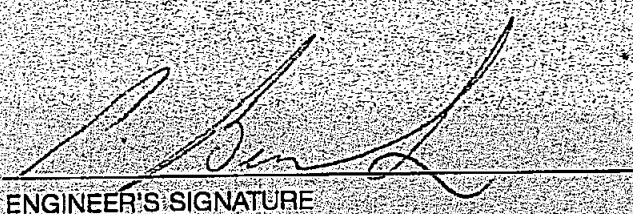


INSPECTION REPORT

THIS DOES NOT CONSTITUTE A VARIATION TO THE CONTRACT

PROJECT ADDRESS 22 CHILTERN RD IAGLESDALE
JOB NO 1226 DATE 9/12/09 INSPECTION TIME 1.0PM WEATHER FINE
INSPECTION REQUESTED BY ADAM OF MOULDS CONSTRUCTIONS
OTHERS PRESENT ADAM OF MOULDS CONSTRUCTIONS
INSPECTION CARRIED OUT BY R. BENVENUTI
ELEMENTS INSPECTED 1) STRUCTURAL STEEL TO GARAGE
2) RE-INSPECTION OF HOUSE FRAMING
DRAWING REFERENCE NO S12

- 1) All framing to garage was found to be in accordance with engineer's drawings and recommendation.
- 2) All items previously noted in our inspection report relating to house steel and timber framing have been satisfactorily rectified.


ENGINEER'S SIGNATURE

RE-INSPECTION REQUIRED ☐

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ACN: 082 755 646 ABN: 35 082 755 646
Suite 12, 2 Beattie Street, Balmain NSW 2041
Ph: 61 2 9818 7513 Fax: 61 2 9818 7512
Email: benvenuti@bigpond.com.au



INSPECTION REPORT

THIS DOES NOT CONSTITUTE A VARIATION TO THE CONTRACT

PROJECT ADDRESS 29 CHILTERN INGLESIDE
JOB NO 1226 DATE 7/04/2010 INSPECTION TIME 11:00 AM WEATHER Rain
INSPECTION REQUESTED BY Adam of Moulds Construction
OTHERS PRESENT Adam
INSPECTION CARRIED OUT BY R. Benvenuti
ELEMENTS INSPECTED STRUCTURAL STEEL TO POOL LAMP

DRAWING REFERENCE NO

Steel elements found to be in accordance
with the engineer's drawings
Point out some minor work on
glazing system

ENGINEER'S SIGNATURE

RE-INSPECTION REQUIRED

☐

1. PRINCIPAL CERTIFIER'S COPY (WHITE)

2. CLIENT'S COPY (BLUE)

3. OFFICE COPY (PINK)

March 28, 2014

Leahey Architects
Attn: Gary Leahey

By email

Dear Gary,

**RE: STORMWATER AND ONSITE EFFLUENT MANAGEMENT SYSTEM CERTIFICATION
21 CHILTERN ROAD, INGLESIDE**

We understand the stormwater management system for the above site has been installed in accordance with our plans by a licensed plumber. No inspection of roof drainage systems has been completed, however, it is concluded from elements able to be inspected that the system as installed is generally in accordance with the approved development plans:

1. Roof Stormwater Drainage Plan – P0802138JD02_V4 dated 26.02.09 by Martens & Associates Pty Ltd.
2. Site Stormwater Drainage Plan: 22 Chiltern Road, Ingleside – P0802139JD03_V2 dated 28/11/08 by Martens & Associates Pty Ltd.
3. Stormwater Details – P0802138JD06_V1 dated 28/11/08 by Martens & Associates Pty Ltd.

No construction phase inspections of pipeworks or other stormwater structures were undertaken so no certification by Martens of the correct alignment and position of such lines is possible.

The on-site sewage management system has been installed generally in accordance with the approved project documentation. The effluent irrigation field as installed satisfies the requirements of the development consent and is constructed in accordance with AS / NZS 1547.

If you require any further information, please do not hesitate to contact Andrew Norris in our offices.

**For and on behalf of
MARTENS & ASSOCIATES PTY LTD**



DR DANIEL MARTENS

CPEng, NPER (2185379)

Director, Principal Engineer

World Class Sustainable Engineering Solutions

Environmental

EIS & REF
Streams & rivers
Coastal
Groundwater
Catchments
Bushfire
Monitoring

Geotechnics

Foundations
Geotechnical survey
Contamination
Hydrogeology
Mining
Terrain analysis
Waste management

Water

Supply & storage
Flooding
Stormwater & drainage
Wetlands
Water quality
Irrigation
Water sensitive design

Wastewater

Treatment
Re-use
Biosolids
Design
Management
Monitoring
Construction

Civil

Earthworks
Excavations
Pipelines
Roads
Pavements
Parking
Structures

Head Office

Unit 6 / 37 Leighton Place
Hornsby NSW 2077, Australia
Ph 02 9476 9999 Fax 02 9476 8767

> mail@martens.com.au

www.martens.com.au
MARTENS & ASSOCIATES P/L
ABN 85 070 240 890 ACN 070 240 890

NSW  HEALTH

Certificate of Accreditation

Aerated Wastewater Treatment System

This Certificate of Accreditation is hereby issued by the Director-General of the NSW Department of Health pursuant to Clause 41(1) of the Local Government (General) Regulation 2005.

System: *Aqua-Nova 3000 (plastic tanks) AWTS*

Manufacturer: *Everhard Industries Pty Ltd*

Of: *405 Newman Road, Geebung, QLD, 4034*

This is to certify that the Aqua-Nova 3000P AWTS as described in Schedule 1, has been accredited as a sewage management facility for use in a single domestic premises in NSW. This accreditation is subject to the conditions of accreditation and permitted uses specified in Schedule 2, and in accordance with the Sewage Management Facility Accreditation Guideline, May 2005.



*Director, Environmental Health Branch
for Director-General (delegation PH335)*

Date of Issue: 1 December 2005

Certificate No: AWTS 006

This Certificate of Accreditation is in force until 31 December 2010

Your reference:

Our reference: 10GOSBUS-0025



12 November 2010

Craig Perkins
C/- Leahey Architects
99 Beattie Street
Balmain NSW 2041
Attention: Gary Leahey

PO Box 12
Sutherland
NSW 1499

Tel 02 8536 8600
Fax 02 9542 5622
www.ecoas.com.au

Dear Craig,

**Re: Bushfire Compliance letter for
22 Chiltern Road, Ingleside DA No. N0373/08**

Eco Logical Australia Pty Ltd (ELA) has been engaged to provide guidance and comment on the compliance of the proposed building design with AS 3959-1999 'Construction of Buildings in Bushfire Prone Areas' Level 2 construction (south face) and Level 1 construction (entire rest of building) as conditioned by Pittwater Council, as follows:

Condition 12: Construction shall comply with AS3959-1999 Level 2 '*Construction of Buildings in Bushfire Prone Areas*' to the southern elevation.

Condition 13: Construction shall comply with AS3959-1999 Level 1 '*Construction of Buildings in Bushfire Prone Areas*' to the remaining elevations.

Addressing Conditions 12 & 13

A site visit was conducted on the 4th of November 2010 to assess the compliance of the building against Conditions 12 & 13, Gary Leahey of Gary Leahey Architects was also present to assist in gaining a better appreciation of the design.

The following table is a summary of AS 3959-1999 prepared by ELA. It demonstrates how the buildings comply with the standard.

Summary Table of AS 3959-1999 'Construction of Buildings in Bushfire Prone Areas'			
Building Components	Level 1 construction	Level 2 construction	Statement of compliance or recommendation to achieve compliance
Flooring systems	- Concrete slab on ground, or - Suspended concrete floor, or - Framed floor with joists/bearers >600mm above ground, or - Framed floor with joists/bearers <600mm above ground must have either a) fire retardant treated timber, or b) subfloor space enclosed by a complying wall, or c) subfloor space enclosed by non-combustible sheet material.	- As for Level 1.	Main House <i>Design complies:</i> Existing and new concrete slabs on ground and suspended. Lanal Pool Room <i>Design complies:</i> New concrete slab on ground and suspended. Garage <i>Design complies:</i> New concrete slab on ground and suspended.
Posts, columns, stumps, piers, poles	- Non-combustible material, or - Fire retardant treated timber up to 400mm above ground, or - Metal stirrups with 75mm clearance above ground.	- As for Level 1.	Main House <i>Design complies:</i> Existing timber posts are retained and new posts are of steel. Lanal Pool Room N/A. Garage <i>Design complies:</i> Columns between doors have sarking over stud frame and fibre cement cladding.

Summary Table of AS 3959-1999 'Construction of Buildings in Bushfire Prone Areas'			
Building Components	Level 1 construction	Level 2 construction	Statement of compliance or recommendation to achieve compliance
External walls	- Masonry, concrete, mudbrick, or Framed wall with either a) low flammability sarking, or b) appropriate insulation, or - Timber logs with sealed joints, or - Combustible sheet cladding with first 400mm from ground covered/substituted with either a) non-combustible sheet material, or b) fire retardant treated timber.	As for Level 1. Except PVC cladding is not permitted and all external timber wall cladding shall be fire retardant treated timber.	Main House <i>Design complies:</i> External walls have sarking over stud frame and fibre cement cladding or masonry walls.
			Lanai Pool Room <i>Design complies:</i> External walls have sarking over stud frame and masonry cladding.
			Garage <i>Design complies:</i> External walls have sarking over stud frame and fibre cement cladding.
Windows	Openable part of windows screened with 1.8mm aperture steel, bronze or aluminium mesh.	As for Level 1. - Except aluminium mesh shall not be used. - Timber must be fire retardant treated timber except where protected by shutters - Where leadlight windows are used, they shall be protected by non-combustible shutters or toughened glass.	Main House <i>Design complies:</i> Window frames are metal and openable windows have a metal mesh screen.
			Lanai Pool Room <i>Design complies:</i> Window frames are metal.
			Garage <i>Design complies:</i> Window frames are metal and openable windows have a metal mesh screen.

Summary Table of AS 3959-1999 'Construction of Buildings in Bushfire Prone Areas'			
Building Components	Level 1 construction	Level 2 construction	Statement of compliance or recommendation to achieve compliance
External doors	- Must have weather strips/draught excluders. - Screened with 1.8mm aperture steel, bronze or aluminium mesh.	- As for level 1. - Except no aluminium mesh shall be used. - Leadlight glazing shall be protected by non-combustible shutters or toughened glass.	Main House <i>Design complies:</i> Door frames are metal the glazed doors are sliding doors and have sliding metal mesh screens. Timber doors are solid core with weather seals. Lanai Pool Room <i>Design complies:</i> Door frames are metal with bi-fold doors opening to the pool, this has no screening (See Bi-fold doors following table). A glazed door opens to the west. This has no screening but has weather seals. Garage <i>Design complies:</i> 3 roller doors open to the south. A solid core door opens to the west and has weather seals.
Vents & weepholes	- Must be screened with 1.8mm aperture steel, bronze or aluminium mesh.	- As for level 1. - Except no aluminium mesh shall be used.	Main House <i>Design complies:</i> Weepholes have bronze spark guards. Vents in external doors have metal mesh screen. Lanai Pool Room <i>Design complies:</i> Vents in external doors have metal mesh screen. Garage <i>Design complies:</i> Weepholes at base of fibre cement sheet external wall has metal mesh screen.

Summary Table of AS 3959-1999 'Construction of Buildings in Bushfire Prone Areas'			
Building Components	Level 1 construction	Level 2 construction	Statement of compliance or recommendation to achieve compliance
Roof covering, eaves & fascias	- Can't use timber shakes/shingles - Sheet roofing must be metal or fibre-reinforced cement - Gaps under corrugations/ribs of sheet roofing must be sealed/protected at the wall or fascia line by either a) fully sarking the roof, or b) using 1.8mm aperture steel or bronze mesh, or profiled metal sheet, or neoprene seal, or compressed mineral wool - Rib caps/ridge capping on sheet roofs preformed, or gaps protected as per previous point - The roof/wall junction to be sealed by either a) fascia and eaves lining, or b) sealing gaps between rafters at the wall with a non-combustible material - Tile roofs fully sarked including the ridge, directly below the tiling battens - Any sarking used must be low flammability	- As for level 1. - All roof sheeting shall be non-combustible and sarked. - All timber eaves lining and joining strips shall be fire retardant treated timber. - Facias to be non-combustible or of fire retardant treated timber.	Main House <i>Design complies:</i> Colorbond steel roof. Existing fascia to south are timber. Lanal Pool Room <i>Design complies:</i> Colorbond steel roof. Garage <i>Design complies:</i> Colorbond steel roof.

Summary Table of AS 3959-1999 'Construction of Buildings in Bushfire Prone Areas'			
Building Components	Level 1 construction	Level 2 construction	Statement of compliance or recommendation to achieve compliance
Gutters & downpipes	- Any gutter guards used must be low flammability	- As for Level 1.	Main House <i>Design complies:</i> Steel gutter guards applied. Lanai Pool Room <i>Design complies:</i> Steel gutter guards applied. Garage <i>Design complies:</i> Steel gutter guards applied. <i>Design complies</i>
Service pipes (water & gas)	- Buried 300mm below ground, or - Be metal.	- As for Level 1.	<i>Design complies</i>
Verandahs & decks	- Slab on ground or suspended concrete slab, or - Sheeting or tongue & grooved solid flooring which complies with "Flooring systems" requirements, or - Spaced timber deck flooring with a) gaps 5mm+, b) perimeter of deck not enclosed or access to space under deck impeded, or c) deck flooring separated from building in manner to stop spread of fire - Any posts or columns to comply with "Posts, columns, stumps, piers, poles" requirements - Any supporting walls to comply with "External walls" requirements.	- As for Level 1. - If spaced decking is used it must be of fire retardant treated timber.	Main House <i>Design complies:</i> Hardwood timber decking on 2nd storey has gaps a min of 5mm. Lanai Pool Room N/A Garage N/A

Bi-Fold Doors

Regarding screening for external sliding/bi-fold doors, it is considered accepted practice not to apply screening in accordance with NSW Rural Fire Service Practice Note 3/06 prepared after AS 3959-1999. This note allows for a performance based approach to doors assuming that they would be closed when the dwelling is not occupied or otherwise during the time of a bushfire.

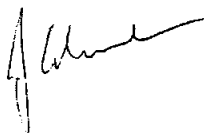
Summary

The requirements of condition 12 as determined by Pittwater Council for 22 Chiltern Road, Ingleside DA No. N0373/08 that the southern elevation be constructed to satisfy the Level 2 construction requirements of AS3959-1999 has been satisfied.

The requirements of condition 13 as determined by Pittwater Council for 22 Chiltern Road, Ingleside DA No. N0373/08 that the remaining elevations be constructed to satisfy the Level 1 construction requirements of AS3959-1999 has been satisfied.

Please don't hesitate to contact me on the numbers above to discuss the contents of this letter.

Yours sincerely,



Josh Calandra
Bushfire Consultant
FPAA BPAD Certified Practitioner No. BPD-PD-23276

Photo 1: Metal gutter guards

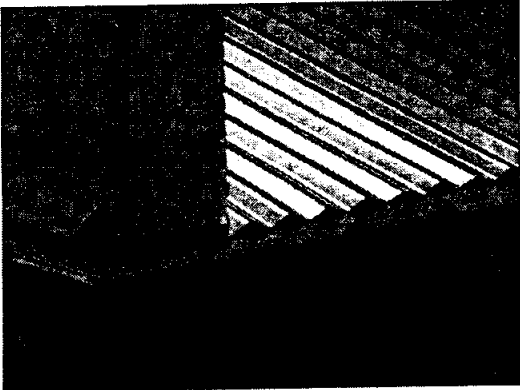


Photo 2: Metal mesh screen over vent

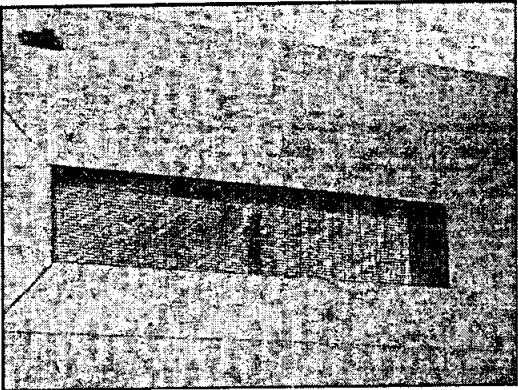


Photo 3: Tight fitting door seals



Photo 4: Timber decking min 5 mm gap

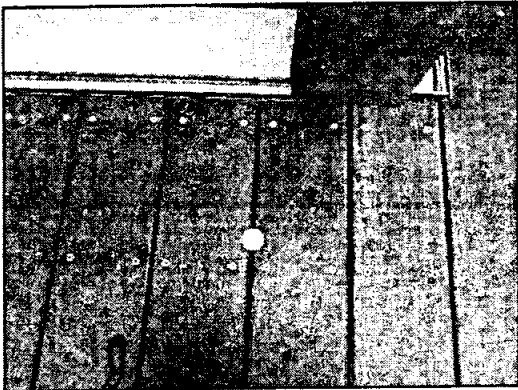


Photo 5: Doors with metal mesh screens



Photo 6: Window with metal mesh screen



Your reference:
Our reference: 10GOSBUS-0025

eco
logical
AUSTRALIA

ABN 87 096 512 088

PO Box 12
Sutherland
NSW 1499

Tel 02 8536 8600
Fax 02 9542 5622

www.ecoaus.com.au

17 July 2012

Craig Perkins
C/- Leahey Architects
99 Beattie Street
Balmain NSW 2041
Attention: Gary Leahey

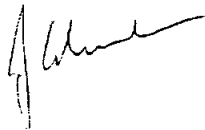
Dear Craig,

**Re: Bushfire Compliance letter for bi-fold doors at
22 Chiltern Road, Ingleside DA No. N0373/08**

Regarding screening for external sliding/bi-fold doors, it is considered accepted practice not to apply screening in accordance with NSW Rural Fire Service Practice Note 3/06 prepared after AS 3959-1999. This note allows for a performance based approach to doors assuming that they would be closed when the dwelling is not occupied or otherwise during the time of a bushfire.

Please don't hesitate to contact me on the numbers above to discuss the contents of this letter.

Yours sincerely,



Josh Calandra
Bushfire Consultant
FPAA BPAD Certified Practitioner No. BPD-PD-23276

BENVENUTI S. C. PTY LTD
CONSULTING STRUCTURAL ENGINEERS
ACN 082 755 646 ABN 35 082 755 646

Suite 12, 2 Beattie Street, Balmain NSW 2041
Ph: 61 2 9818 7513 Fax: 61 2 9818 7512
Email : benvenuti@bigpond.com.au



Craig Perkins
22 Chiltern Road
Ingleside NSW

7/05/2010
our ref: 1226inspcert

c/o
Leahey Architects
99 Beattie Street
Balmain NSW

Re: New residence at 22 Chiltern Road, Ingleside

I certify that we have carried out Structural inspections in accordance with accepted engineering practice and principles during the construction of the project and that at the time of the inspections the work inspected conformed with the intent of the design as conveyed by the Structural Engineering Drawings approved by Council.

During the course of construction of the above works, our firm inspected the following items prior to placing of the concrete as per our field inspection reports:

- Reinforcement in piers to pool, house
- Reinforcement in house footing beams
- Reinforcement in pool plant room slab
- Reinforcement in tank slab below garage
- Reinforcement in pump room slab
- Reinforcement in pool base, walls and apron
- Reinforcement in walls to OSD tank
- Reinforcement to front terrace footing
- Reinforcement to garage slab
- Reinforcement to north deck slab of house
- Reinforcement to lanai slab
- Reinforcement to walkway footings

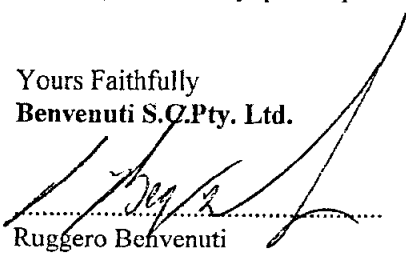
We have also inspected the structural steel and framing for the house, the Lanai and the garage. The steelwork, framing and connections were found to conform with the Structural Engineers drawings.

The structural documentation relevant to the above certification is noted as structural drawing No's S0, S01, S02, S03, S04, S05, S06, S07, S08, S09, S10, S11, S12, S13 of job No 1226.

This certification shall not be construed as relieving any other party of their responsibilities, liabilities or contractual obligations.

Should you have any queries please do not hesitate to contact the undersigned.

Yours Faithfully
Benvenuti S.C.Pty. Ltd.



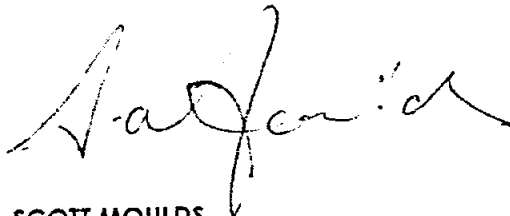
Ruggero Benvenuti
B.E.M.I.E.Aust.C.P.Eng.NPER.

**WATERPROOF CERTIFICATE
22 CHILTERN ROAD INGLESIDE**

This is to certify that all waterproofing installed at the above address has been done so in accordance with AS 3740-2004

Should additional information be required, please contact the undersigned.

Yours faithfully
MOULDS CONSTRUCTION & ELECTRICAL PTY LTD



SCOTT MOULDS
Director

23rd July 2012



SMOKE ALARM CERTIFICATE

This certificate confirms that Moulds Electrical Services has installed smoke detectors (listed by Scientific Services Laboratory as meeting Australian Standard AS 3786-1993) with battery backup at 22 Chiltern Rd, Ingleside in accordance with the requirements of construction and development approvals imposed by the relevant local council.

Yours sincerely,

MOULDS ELECTRICAL SERVICES

A handwritten signature in black ink, appearing to read "S. Moulds", written over a horizontal line.

SCOTT MOULDS

Director



TO WHOM IT MAY CONCERN

We certify that the glass and frames supplied at

22 Chiltern Rd, Ingleside

IS IN ACCORDANCE WITH THE REQUIREMENTS OF

AUSTRALIAN STANDARDS 3715 – 1989
Metal Finishing – Thermoset Powdercoating for Architectural Applications

OR

AUSTRALIAN STANDARDS 1231 – 2000
Aluminium and Aluminium Alloys – Anodic Oxidation Coatings

AUSTRALIAN STANDARDS 1288 – 2006
Glass in Buildings – Selection and Installation

AUSTRALIAN STANDARDS 2208 – 1996 (Incorporating Amendment No.1)
Safety Glazing Materials in Buildings

AUSTRALIAN STANDARDS 2047 – 1999 (Incorporating Amendments Nos 1 and 2)
Windows in Buildings – Selection and Installation

Kind Regards,

Janie Jamieson

Company Licence # 228979C

ACN 081 695 641

ABN 13 081 695 641

Supervisor's Licence # 591425S

POSTAL ADDRESS: PO Box 5267, CHITTAWAY BAY NSW 2261

SHOWROOM ADDRESS: Shop 3 Cnr. Chard and Pittwater Road, BROOKVALE NSW 2100

FACTORY ADDRESS: 3A Catamaran Road OURIMBAH NSW 2258

PHONE: (02) 4388 2111 FAX: (02) 4388 2666



CERTIFICATE

DATE: 15 August 2012
EMAIL: leaharch@bigpond.net.au
COMPANY: Leahey Architects Pty Ltd
ATTENTION: Gary Leahey
FROM: Scott Moulds

Dear Gary

RE: 22 CHILTERN ROAD, INGLESIDE

This letter serves to confirm that the glass balustrades at the above address have been installed in accordance with all statutory requirements and in accordance with the Australian Standards AS1288 - *Glass in Buildings*; and AS2208 - *Safety Glazing Materials in Buildings*.

Yours faithfully
MOULDS CONSTRUCTIONS PTY LTD

per *L Wall*

Scott Moulds



TERMITE CERTIFICATE

DATE: 8 August 2012
EMAIL: leaharch@bigpond.net.au
COMPANY: Leahey Architects Pty Ltd
ATTENTION: Gary Leahey
FROM: Scott Moulds

Dear Gary

RE: 22 CHILTERN ROAD, INGLESIDE

This letter serves to confirm that Kordon was placed under all the new timber framed walls positioned on the existing concrete slab in accordance with Australian Standards 3660.

Please also be advised that all structural timber used was H2 treated.
(termite protected)

Yours faithfully
MOULDS CONSTRUCTIONS PTY LTD.

A handwritten signature in black ink, appearing to be "Scott Moulds", written over a horizontal line.

Scott Moulds

LEAHEY ARCHITECTS

1 June 2012
0707275

Insight
PO Box 326
Mona Vale NSW 1660

Attention Mr Stephen Pinn

Dear Stephen

Alterations and Additions to residence
22 Chilfern Road Ingleside
BASIX compliance statement – Pittwater Council DA N0373/08

The completed dwelling at the above address complies with the commitments specified in BASIX Certificate number A39566.

Should you have any questions or require additional information, please contact the undersigned.

Yours faithfully
Leahey Architects Pty Ltd



Gary Leahey

Copy Ms Laura Summerhayes and Mr Craig Perkins



PAUL SCRIVENER
LANDSCAPE ARCHITECT

Final landscape certification

Date: 7 June, 2012
To: The Principal Certifying Authority
Cc: Gary Leahey
Leahey Architects
99 Beattie Street
Balmain NSW 2041

Project address: 22 Chiltern Road. Ingleside NSW 2101
DA ref: DA No373/08 dated 12 November, 2008

This is to certify that the landscaping works at the above address have been inspected. The landscape works have been installed correctly and in accordance with the approved landscape plans.

The specific landscape consent clauses that have been complied with are as follow:

Clause: E - 4

Please do not hesitate to contact me if further clarification is required.

Yours sincerely,

Paul Scrivener

Landscape Architect
Bach. App Sc (Env. Des) Bach Land Arch. AAILDM

PAUL SCRIVENER
LANDSCAPE ARCHITECT PTY LTD
ACN 070 598 882 • ABN 56 070 598 882
BOX 813, NEWPORT NSW 2106
PHONE: 02 9907 8011
FAX: 02 9948 9527
MOBILE: 0417 258 629
www.scrivener-design.com
EMAIL: paul@scrivener-design.com