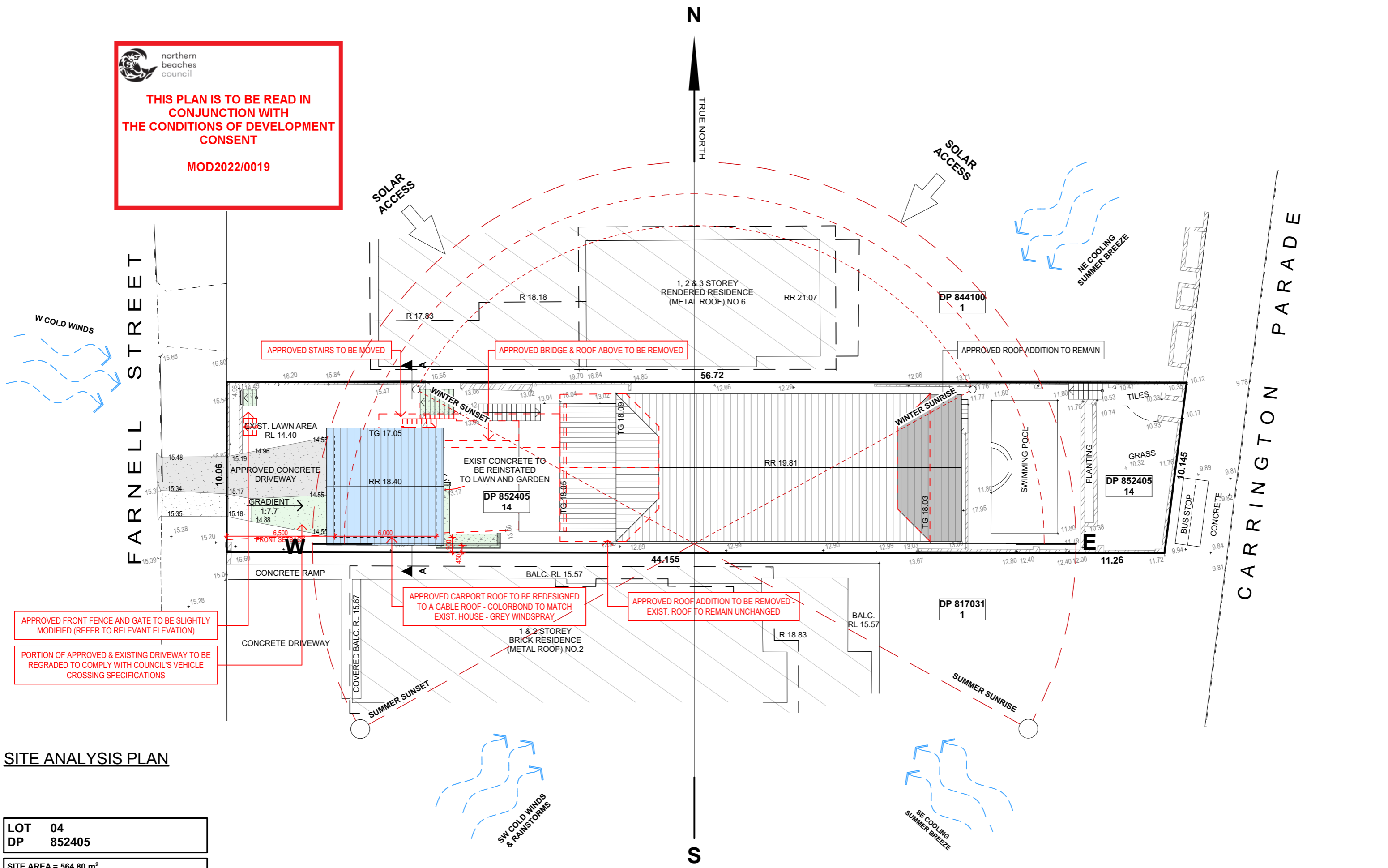


**northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**MOD2022/0019**



**SITE ANALYSIS PLAN**

**LOT 04**  
**DP 852405**

**SITE AREA = 564.80 m<sup>2</sup>**

**TRUE NORTH:**

**NOTES (E & OE)**

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- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

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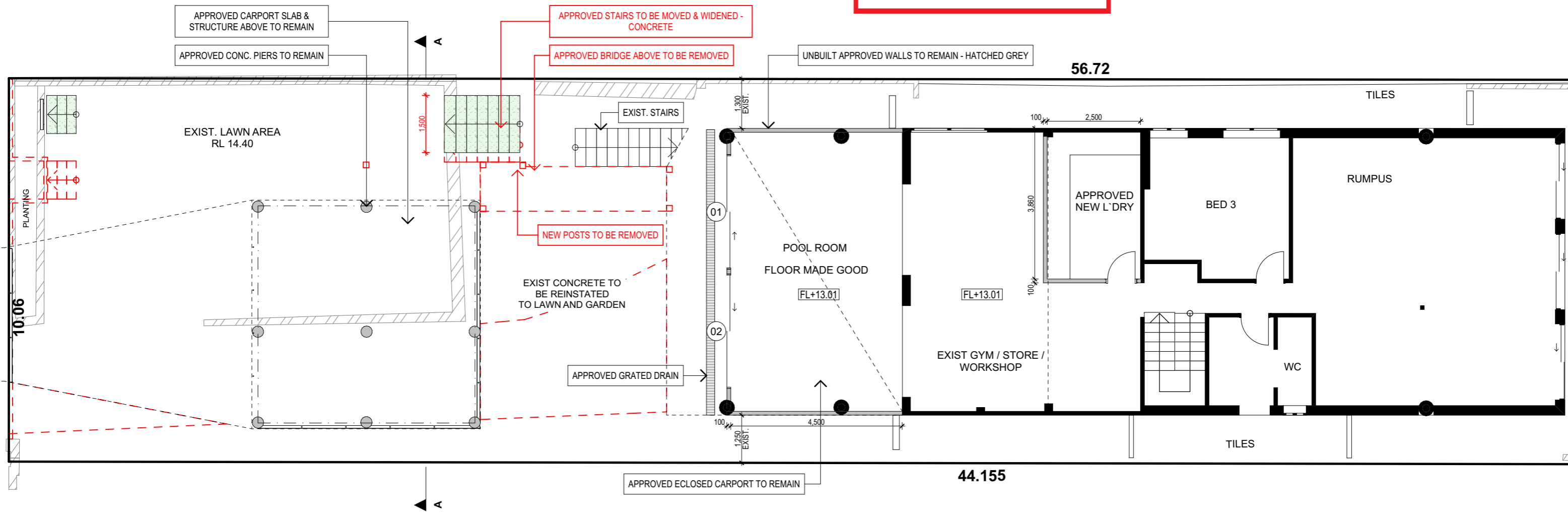
REV:	DATE:	DESCRIPTION:
A	12.01.2022	MOD/SEC 4.55 DRAWINGS ISSUED
B	14.01.2022	AMENDMENTS TO MOD DRAWINGS

**PROPOSED ALTERATIONS AND ADDITIONS**  
**4 FARNELL ST, SOUTH CURL CURL**  
**CLIENT:**  
**VICKY & MARK**

**DRAWING TITLE:**  
**SITE ANALYSIS PLAN**

<b>DATE:</b> JAN/21	<b>DRAWN BY:</b> CA	<b>SCALE:</b> 1:200 @ A3
<b>JOB No:</b> 978/22	<b>CHECKED BY:</b> JJ	<b>DRAWING No:</b> <b>MOD.01</b>


 northern beaches council  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
**MOD2022/0019**




**GROUND FLOOR PLAN**

EXIST. FLOOR AREA - 125.80 m<sup>2</sup>  
 APPROVED NEW FLOOR AREA - 159.84 m<sup>2</sup>

**NOTES**  
 ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

TRUE NORTH:



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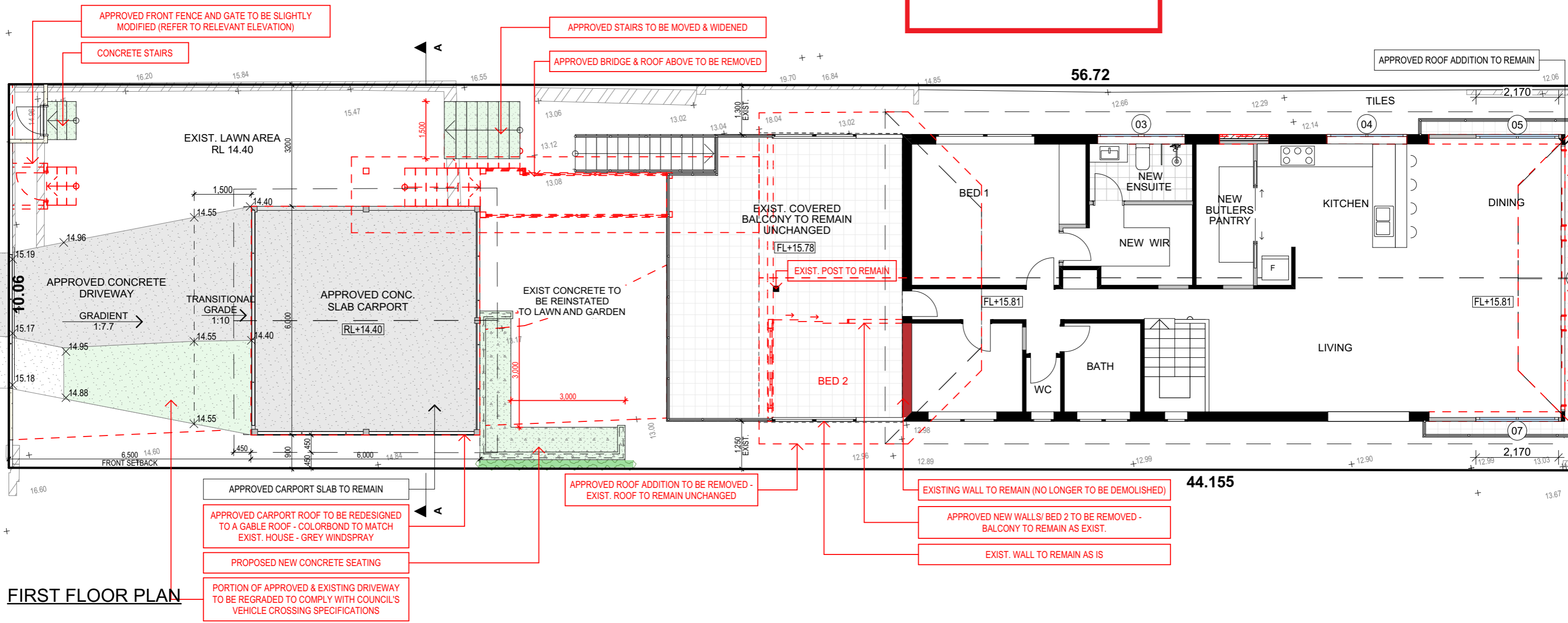
PROPOSED ALTERATIONS AND ADDITIONS  
 4 FARNELL ST, SOUTH CURL CURL  
 CLIENT:  
 VICKY & MARK  
 DRAWING TITLE:  
 GROUND FLOOR PLAN

DATE: JAN/21	DRAWN BY: CA	SCALE: 1:100 @ A3
JOB No: 978/22	CHECKED BY: JJ	DRAWING No: <b>MOD.02</b>



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**MOD2022/0019**



**FIRST FLOOR PLAN**

EXIST. FLOOR AREA - 125.80 m<sup>2</sup>  
 APPROVED NEW FLOOR AREA - 135.25 m<sup>2</sup>

**TRUE NORTH:**

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**JJ Drafting**

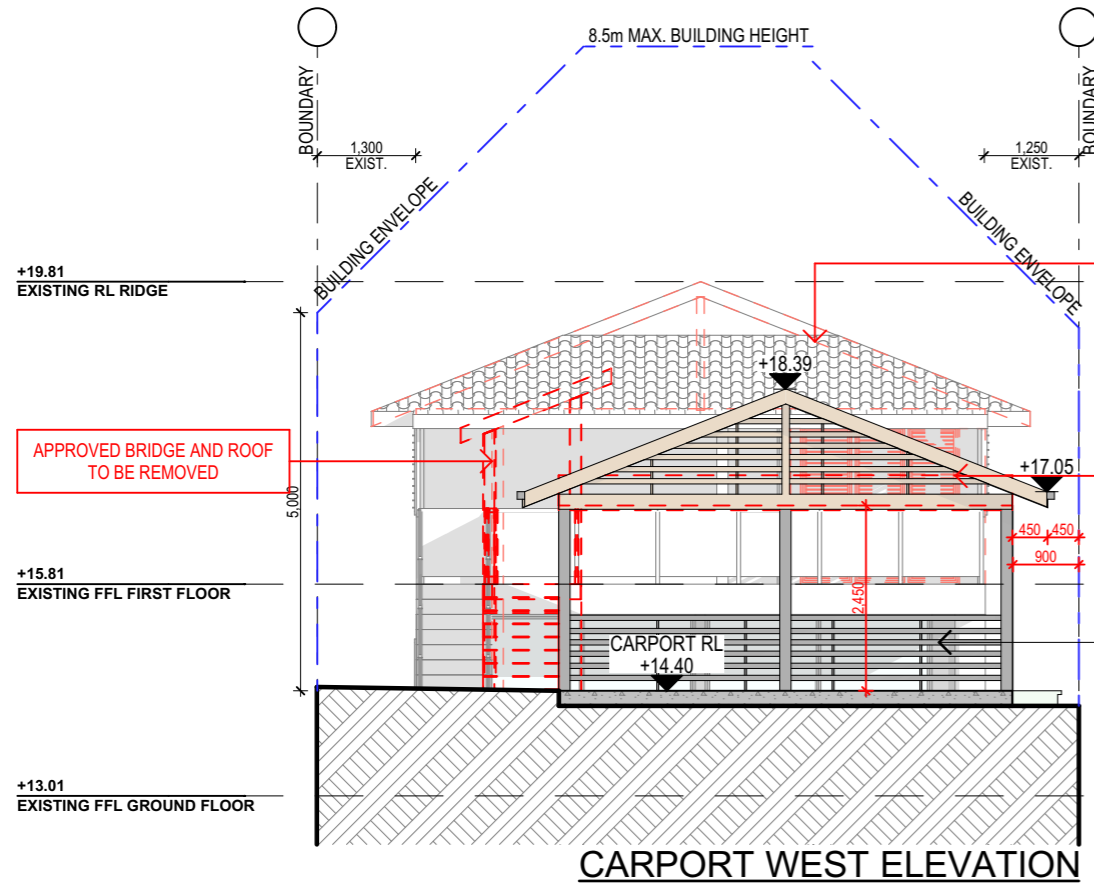
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**PROPOSED ALTERATIONS AND ADDITIONS**  
**4 FARNELL ST, SOUTH CURL CURL**  
 CLIENT:  
**VICKY & MARK**

DRAWING TITLE:  
**FIRST FLOOR PLAN**

DATE: <b>JAN/21</b>	DRAWN BY: <b>CA</b>	SCALE: <b>1:100 @ A3</b>
JOB No: <b>978/22</b>	CHECKED BY: <b>JJ</b>	DRAWING No: <b>MOD.03</b>

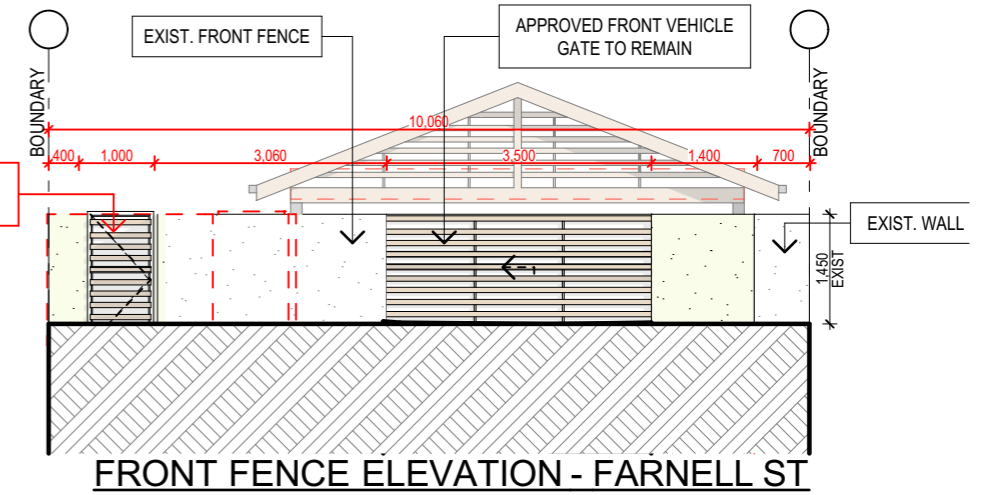


CARPORT WEST ELEVATION

APPROVED GABLE ROOF ADDITION TO BE REMOVED - EXIST. ROOF TO REMAIN UNCHANGED

APPROVED CARPORT ROOF TO BE REDESIGNED TO A GABLE ROOF - COLORBOND TO MATCH EXIST. HOUSE - GREY WINDSPRAY

APPROVED CARPORT SLAB AND STRUCTURE TO REMAIN



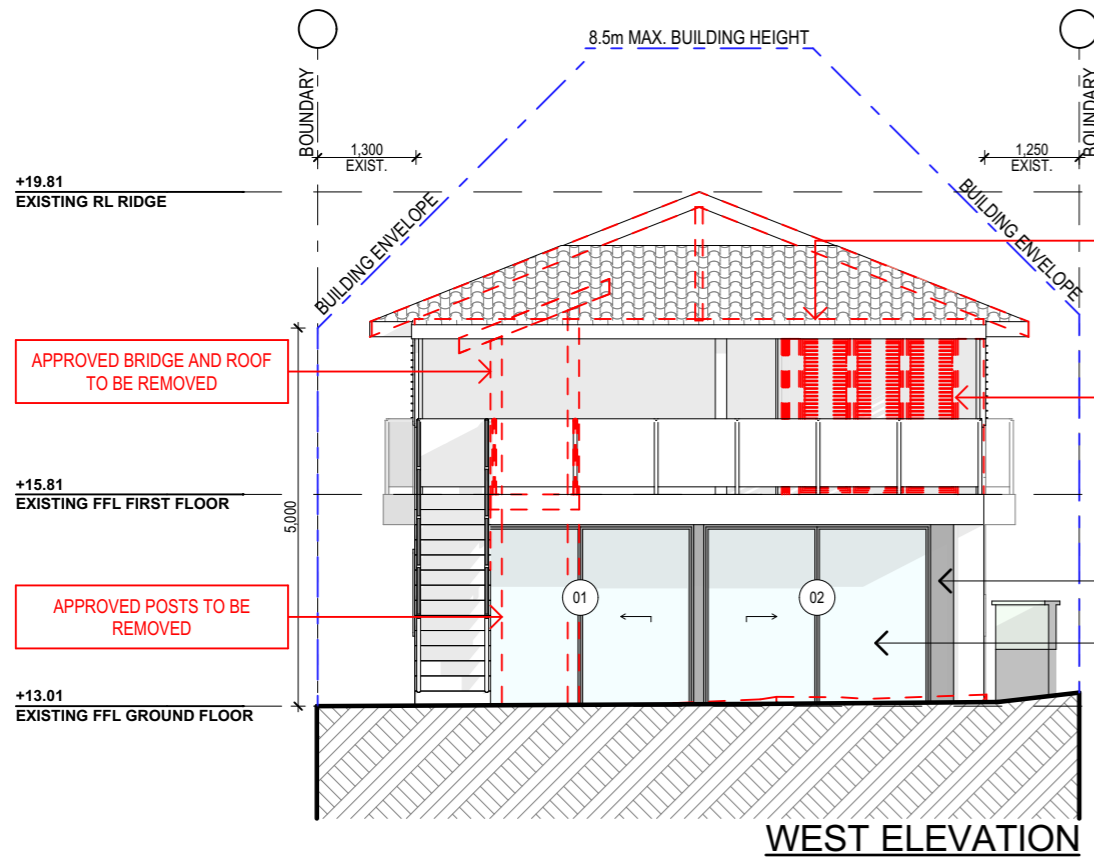
FRONT FENCE ELEVATION - FARNELL ST

APPROVED FRONT FENCE AND GATE TO BE SLIGHTLY MOVED

**northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**MOD2022/0019**



WEST ELEVATION

APPROVED GABLE ROOF ADDITION TO BE REMOVED - EXIST. ROOF TO REMAIN UNCHANGED

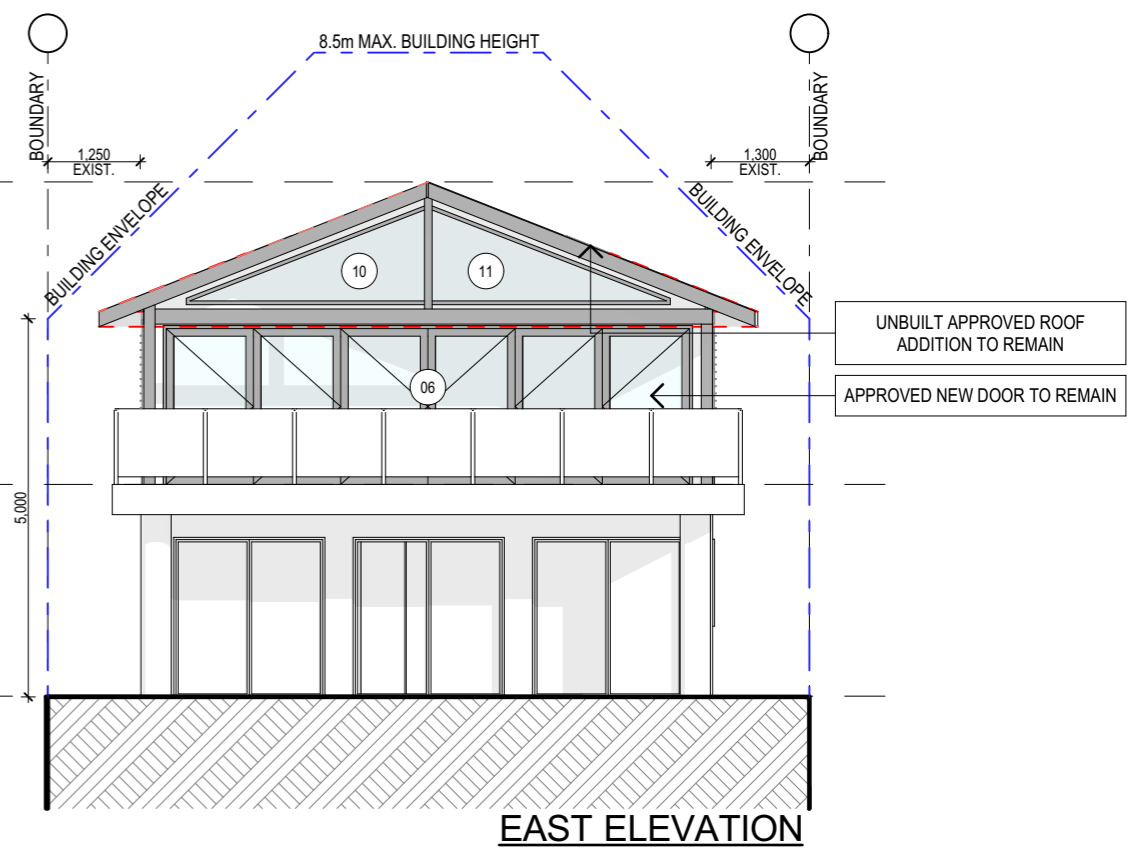
APPROVED NEW WALLS (BED 2) TO BE REMOVED

APPROVED ENCLOSED CARPORT TO REMAIN

APPROVED NEW DOOR TO REMAIN

APPROVED BRIDGE AND ROOF TO BE REMOVED

APPROVED POSTS TO BE REMOVED



EAST ELEVATION

UNBUILT APPROVED ROOF ADDITION TO REMAIN

APPROVED NEW DOOR TO REMAIN

**NOTES (E & OE)**

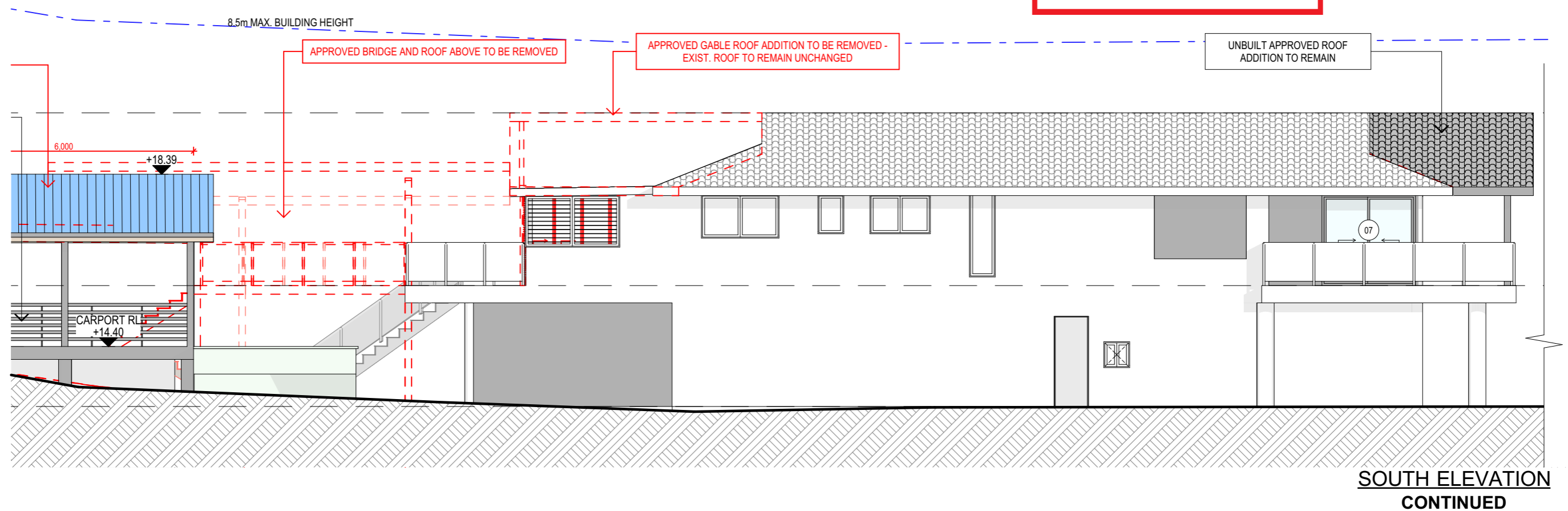
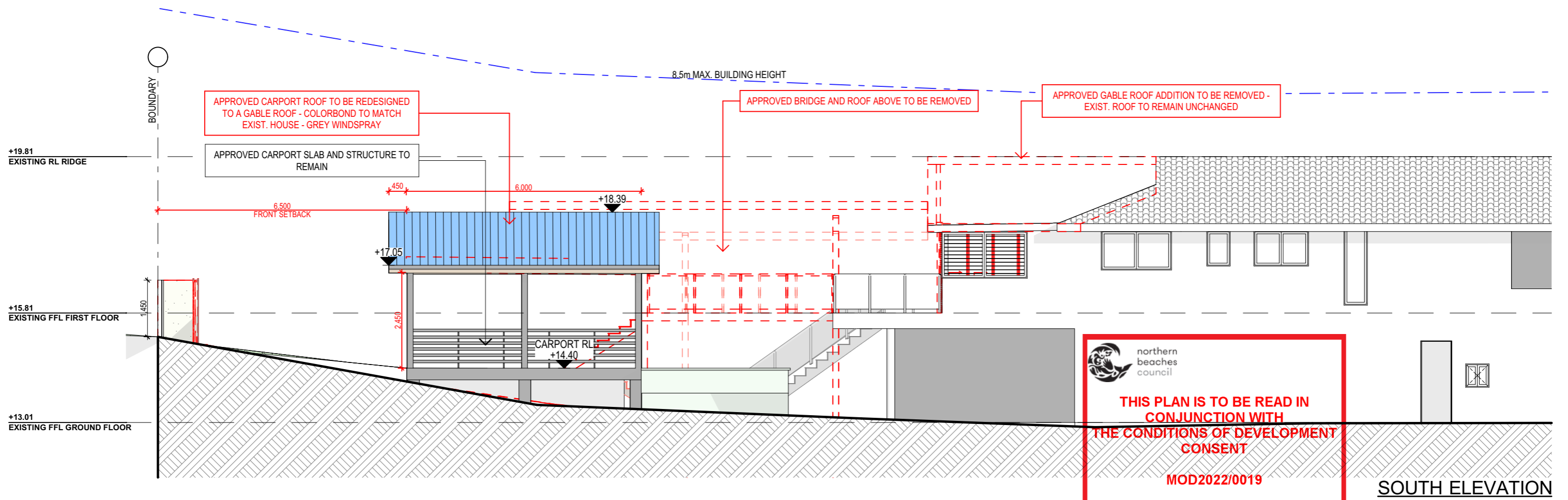
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B	14.01.2022	AMENDMENTS TO MOD DRAWINGS

PROPOSED ALTERATIONS AND ADDITIONS  
 4 FARNELL ST, SOUTH CURL CURL  
 CLIENT:  
 VICKY & MARK  
 DRAWING TITLE:  
 ELEVATIONS SHEET 1

DATE: JAN/21	DRAWN BY: CA	SCALE: 1:100 @ A3
JOB No: 978/22	CHECKED BY: JJ	DRAWING No: <b>MOD.04</b>



**NOTES (E & OE)**

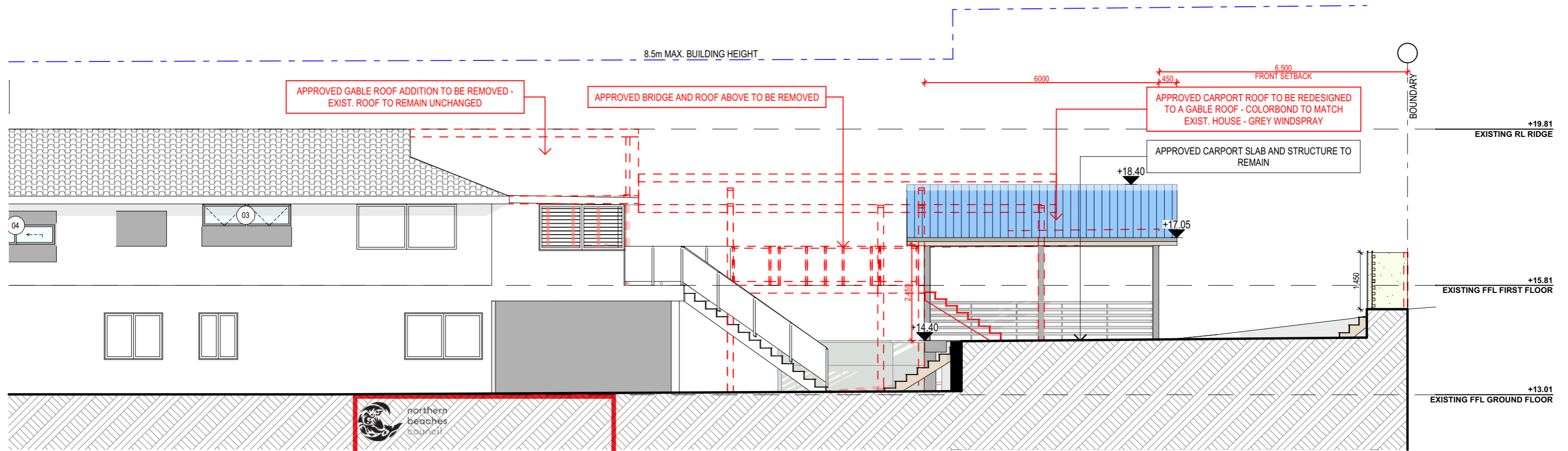
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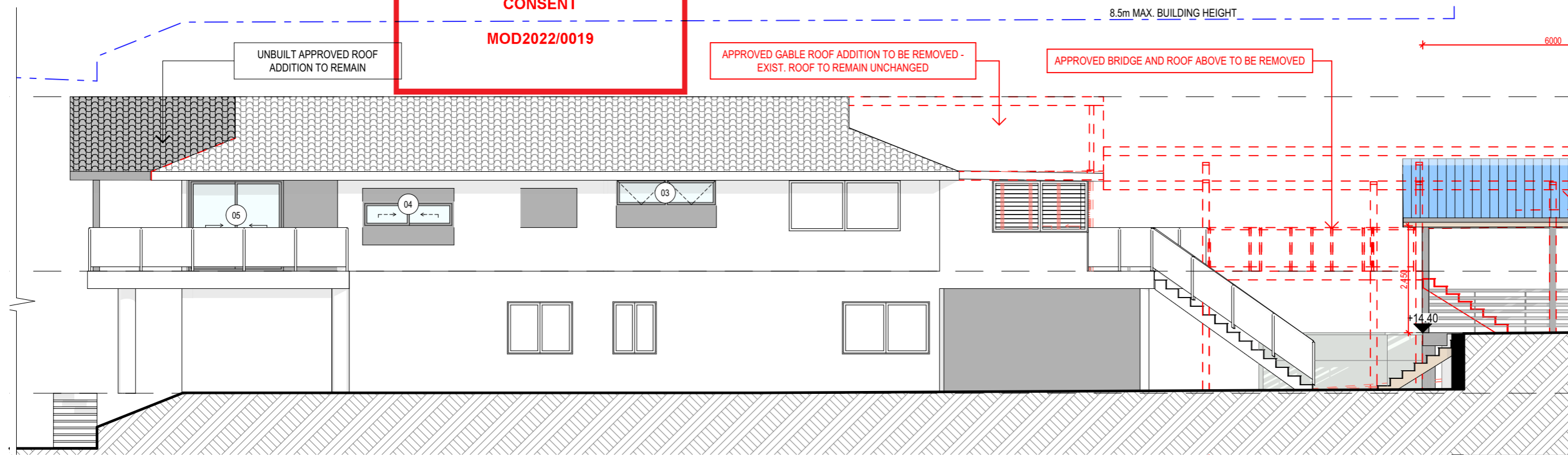
REV:	DATE:	DESCRIPTION:
A	12.10.2022	MOD/SEC 4.55 DRAWINGS ISSUED
B	14.01.2022	AMENDMENTS TO MOD DRAWINGS

PROPOSED ALTERATIONS AND ADDITIONS  
 4 FARNELL ST, SOUTH CURL CURL  
 CLIENT:  
 VICKY & MARK  
 DRAWING TITLE:  
 ELEVATIONS SHEET 2

DATE: JAN/21	DRAWN BY: CA	SCALE: 1:100 @ A3
JOB No: 978/22	CHECKED BY: JJ	DRAWING No: <b>MOD.05</b>



**NORTH ELEVATION**



**NORTH ELEVATION  
CONTINUED**

TRUE NORTH:



**NOTES (E & OE)**

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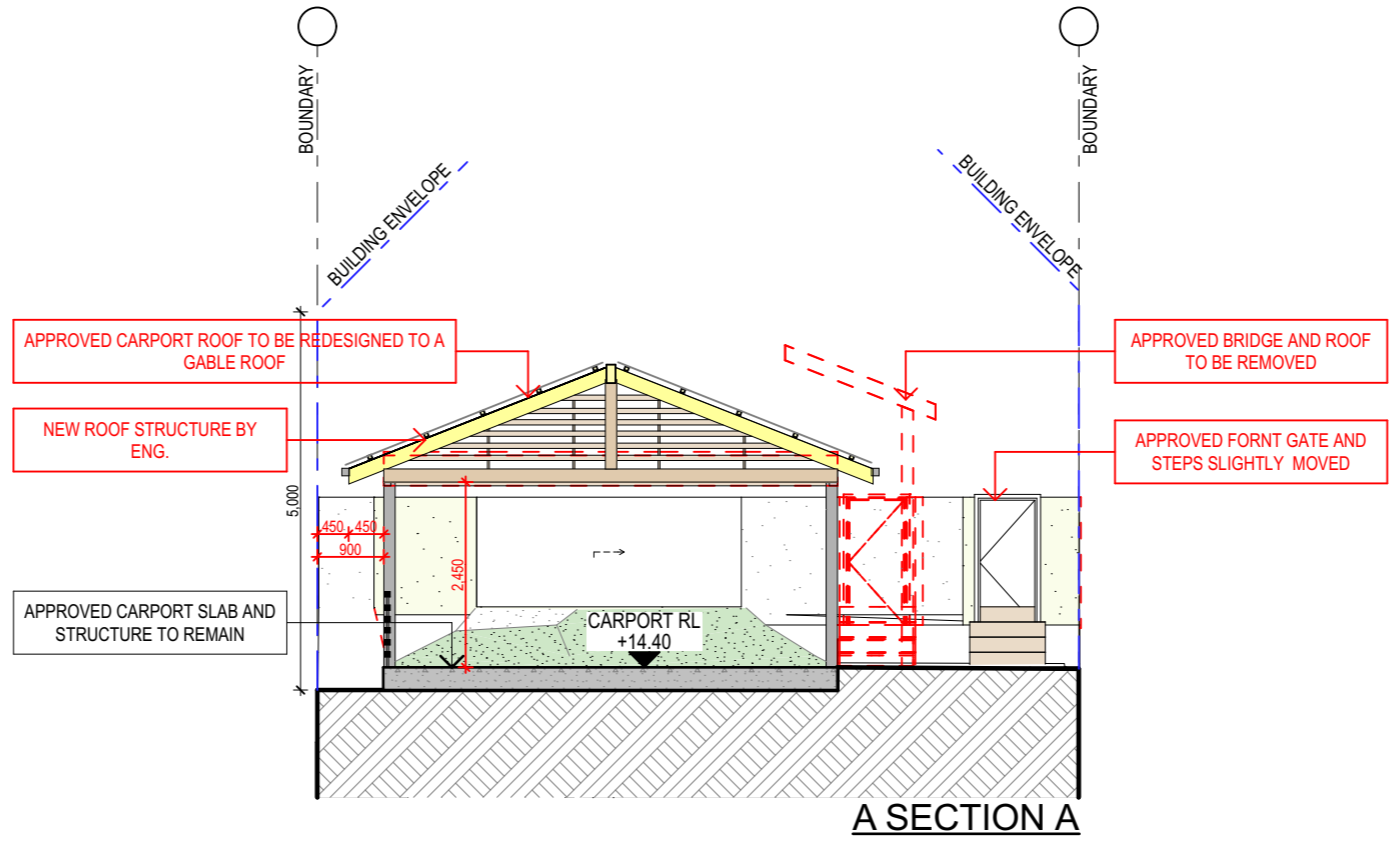
PROPOSED ALTERATIONS AND ADDITIONS 4 FARNELL ST, SOUTH CURL CURL
CLIENT: VICKY & MARK
DRAWING TITLE: ELEVATIONS SHEET 3

DATE: JAN/21	DRAWN BY: CA	SCALE: 1:100 @ A3
JOB No: 978/22	CHECKED BY: JJ	DRAWING No: <b>MOD.06</b>



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**MOD2022/0019**



**SPECIFICATION NOTES**

- INTERNAL LINING**  
 - PROVIDE PLASTERBOARD LINING.  
 - INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589
- EXTERNAL WALLS:**  
 - BRICK VENEER WALLS WITH SELECTED BRICKS TO DWELLING.  
 - LIGHTWEIGHT TIMBER OR COMPOSITE WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.4.  
 - LIGHTWEIGHT METAL WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.5.
- FLOOR:**  
 - GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH AS2870.  
 - FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.
- WET AREAS:**  
 - ALL WATERPROOFING TO AS 3740  
 - PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERS WALLS TO MANUFACTURES INSTRUCTIONS
- BEARERS AND JOISTS:**  
 - SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.
- ANT CAPS:**  
 - SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.
- PROFILED STEEL ROOF:**  
 - COLORBOND ROOF CLADDING  
 - NCC VOL.2 PART 3.5.1.  
 - DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562.
- ROOF TILES OR SHINGLES:**  
 - NCC VOL.2 PART 3.5.2.
- CONCRETE:**  
 - SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.  
 - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

- FOOTINGS:**  
 - FOOTINGS TO BE IN ACCORDANCE WITH AS1480.  
 - FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5  
 - ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.
- BRICK AND BLOCKWORK:**  
 - CONSTRUCTION OF MASONRY BUILDINGS SHALL BE AS PER AS3700 OR AS4773.
- CARPENTRY:**  
 - TIMBER TO COMPLY WITH AS1170.2 OR AS4055.  
 - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.
- TIMBER FRAMING:**  
 - TO COMPLY WITH NCC VOL.2 PART 3.4  
 - GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.  
 - SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.  
 - IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.  
 - WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.  
 - USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.  
 - DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.  
 - PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684  
 - PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684  
 - USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.
- TERMITE CONTROL:**  
 - TO BE IN ACCORDANCE WITH TO AS3660.1  
 - SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.4 OR VOL.1 PART B1.4.
- FLASHING AND CAPPINGS:**  
 - SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180  
 - FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.  
 - PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.
- CONCRETE BLOCKS OR BRICKS:**  
 - TO COMPLY WITH TO AS4455 MASONRY BUILDING BLOCKS/PAVER.

- LIGHTING:**  
 - 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS
- DOORS & WINDOWS:**  
 - ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.  
 - ALUMINIUM FRAMED WINDOWS AND DOORS.  
 - WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.
- STAIRS, HANDRAILS AND BALUSTRADES:**  
 - NCC VOL.2 PARTS 3.9.1 AND 3.9.2  
 - RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657.  
 - BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.  
 - THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.  
 - THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.
- SLIP RESISTANCE:**  
 - MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.
- STORMWATER:**  
**EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES**  
 - TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.  
 - IN ACCORDANCE WITH NCC VOL 2 PART 3.5.3  
 - NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE  
 - COLORBOND GUTTERS AND DOWNPIPES  
 - MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

- WATERPROOFING FOR EXTERNAL TILED BALCONIES:**  
 - WATERPROOFING TO COMPLY WITH AS4654
- GLAZING:**  
 - NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6
- SMOKE DETECTORS/ALARMS:**  
 - NCC VOL 2 PART 3.7.5. FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.  
 - INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.  
 - MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.
- WASTE MANAGEMENT:**  
 - ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.  
 - ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.  
 - WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.
- SEDIMENT CONTROL:**  
 - A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.
- NOTE:**  
 ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

NOTES (E & OE)
<ul style="list-style-type: none"> <li>All structures including stormwater &amp; drainage to engineer's details.</li> <li>Do not obtain dimensions by scaling drawings.</li> <li>All dimensions are to be checked on site prior to starting work.</li> <li>These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li> <li>All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li> <li>New materials are to be used throughout unless otherwise noted.</li> <li>Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li> </ul>

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PROPOSED ALTERATIONS AND ADDITIONS 4 FARNELL ST, SOUTH CURL CURL CLIENT: VICKY & MARK
DRAWING TITLE: SECTION

DATE: JAN/21	DRAWN BY: CA	SCALE: 1:100 @ A3
JOB No: 978/22	CHECKED BY: JJ	DRAWING No: MOD.07