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STATEMENT OF ENVIRONMENTAL EFFECTS

No. 20 Carlton Street
Freshwater 2096
Lot E DP 345308

PREPARED ON BEHALF OF:
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CRAWFORD ARCHITECT PTY LTD.

1.0 Introduction

This document has been prepared in response to the requirements of Warringah Local Environmental Plan (2011) and Warringah Development Control Plan (2011). The purpose of this document is to describe the existing site, detail the proposed development, review the planning controls relating to the proposal, assess the degree of compliance and examine the collective environmental effects of the development when measured against the criteria prescribed under Section 79C(1) of the Environmental Planning and Assessment Act, 1979.

The proposal consists of demolition and removal of an existing carport and driveway for a two storey extension, excavation for a mezzanine and double garage and various ancillary works.

The proposal also includes building an extension to the house with a mezzanine and an underground garage/ basement, resizing existing south face windows, and building an operable louvre roof on the west façade.

Please refer to the previously approved Development Application No. Mod 2018/0339 for any further information.

This statement is to be read in conjunction with the following Architectural drawings prepared by Crawford Architects Pty Ltd;

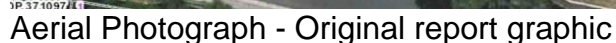
- 17092_A100 - Site Plan
- 17092_A110 - Proposed Demolition Plan
- 17092_A200 - Proposed Basement Floor Plan
- 17092_A201 – Proposed Mezzanine Plan
- 17092_A201 – Proposed Ground level Plan
- 17092_A203 – Proposed Roof Plan
- 17092_A204 – Proposed Landscape Plan
- 17092_A300 – Proposed Elevation Plan (South - Wyndora Avenue)
- 17092_A301 – Proposed Elevation Plan (North & East- Carlton Street)
- 17092_A310 - Proposed Section A Plan
- 17092_A311 - Proposed Section B Plan
- 17092_A312 - Proposed Section C Plan

Refer to approved DA2014/0433 / REV2014/0047 and Mod 2018/0339 plans:

- S82a 01 – Site Analysis & Roof Plan
- S82a 05 – Proposed Section
- S82a 06 – Proposed Wyndora St Ele
- S82a 07 – Proposed Carlton St Ele

- A100 Issue 05 – Site Plan
- A200 Issue 05 – Basement Plan
- A201 Issue 05 – Mezzanine

Street Address: 20 Carlton Street, Freshwater, NSW 2096
Identification Folio: Lot E, DP 345308
Site Area: 490.30sqm approx
Zoning: R2
Ward: B
Council's Property Id: 105931



The original dwelling was presumed to have been constructed in or around the 1930's as it has some P&O elements still visible. The current dwelling consists of a two-storey brick dwelling, a carport attached to the eastern end of the house and a swimming pool at the western end. The second storey would have been constructed at a later date as the skillion roof treatment was not part of the original style.

An existing sandstone retaining wall along the southern boundary gives the property a strong presence to Wyndora Ave. The property until 2006 had a driveway crossover and underground garage off Wyndora Ave with steps leading up to the dwelling.



Existing South Elevation -Street view from lower part of Carlton Street, South of Wyndora Avenue –



Existing Street view - looking west from Carlton Street



Existing Street view - looking south west from Wyndora Ave.



Existing Street View – looking west from Carlton Street
Original report graphic



Existing Street View – looking south down Carlton Street - Original report graphic

The nearby dwellings vary in styles and sizes. The immediate adjoining property to the north, No. 22 and 24 Carlton St, is a single-storey semi-detached brick house. Both No. 22 and 24 are significantly underdeveloped compared to other residences in the area. No. 26 is a large two storey dwelling as is the corner property immediately across the other side of the street. The other residences in the vicinity are typically two storey brick dwellings with pitched tiled roofs.

2.1 Description of the Proposed Alterations and Additions of the approved proposal

As per previous approved DA and modifications

With this proposal we want to remove an existing carport and access driveway from Carlton Street / East façade and re-locate the garage to Wyndora Avenue / South Façade as per original house design.

We propose extend the house to the east improving the east façade and adding a Guest Room at the Ground level, a basement level and a mezzanine.

On the south elevation (Wyndora Avenue) a proposed new windows W06/W07 located on the existing building to increase natural light and ventilation.

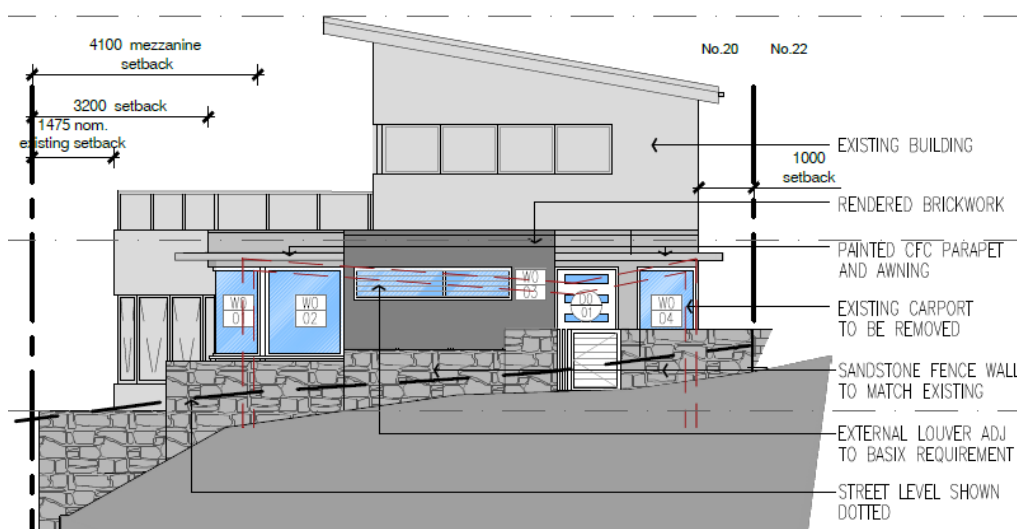
- add a mezzanine on top of the Basement with a terrace facing Wyndora Avenue.

The proposed elevation scale and proportion aims to create an inviting yet modest Carlton Street presence. The proposed single storey entry building with the proposed modifications will be finished with painted render with a sandstone base which will be in keeping with the existing house and enhance the new garden setting.

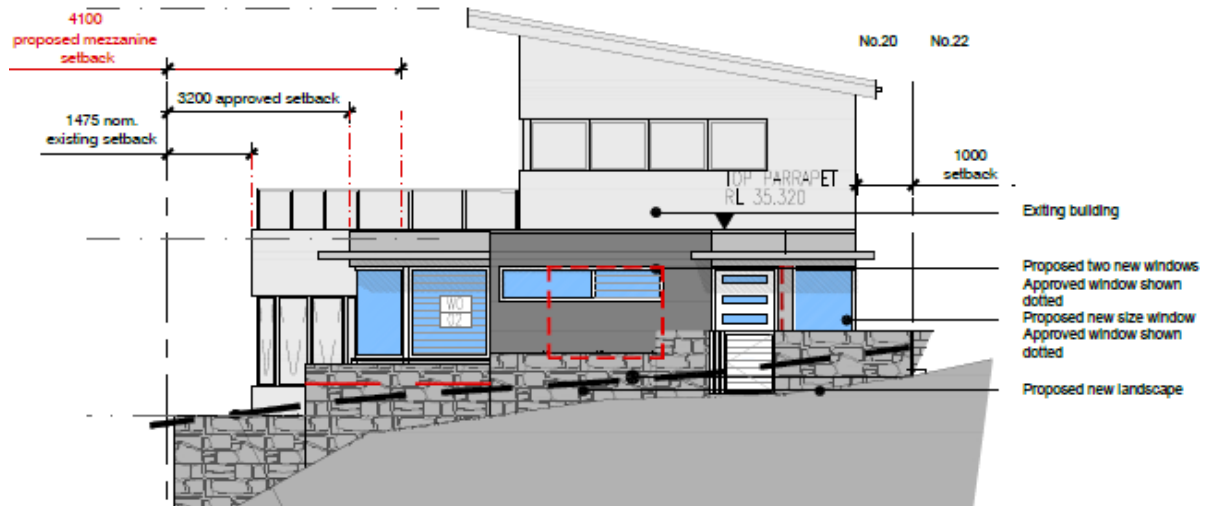
At the existing west deck we are proposing to remove an existing retractable awning to add an operable louver roof.



Existing East Elevation
Carlton Street



Street Elevation
Proposed East Elevation
Carlton Street Elevation



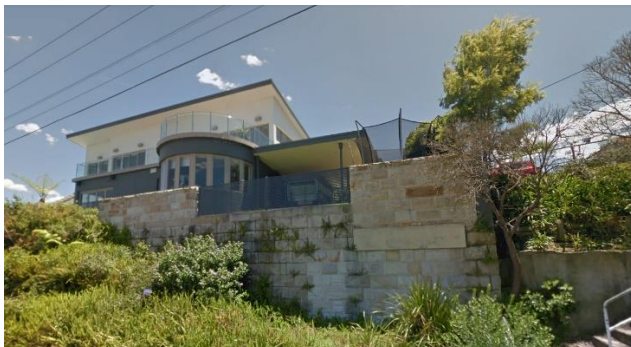
THIS PLAN TO BE READ IN CONJUNCTION WITH
MOD2018/0339
NORTHERN BEACHES COUNCIL

Street Elevation
Previous approved DA
East Elevation
Carlton Street Elevation

Until 2006, the property had always had a garage and landscaped path set in the sandstone wall to provide its occupants direct access to Wyndora Avenue as shown on the photo below. This was changed during the last alterations to the house.

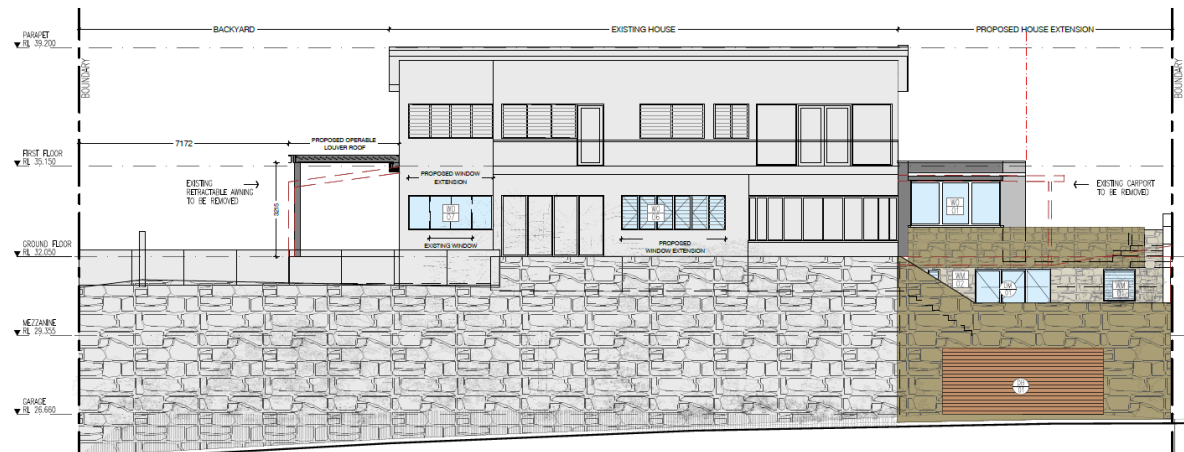


Pre 2006 South (Wyndora Avenue) Elevation – original report graphic



20 Carlton Street Freshwater NSW 2096

Current South (Wyndora Avenue) Elevation

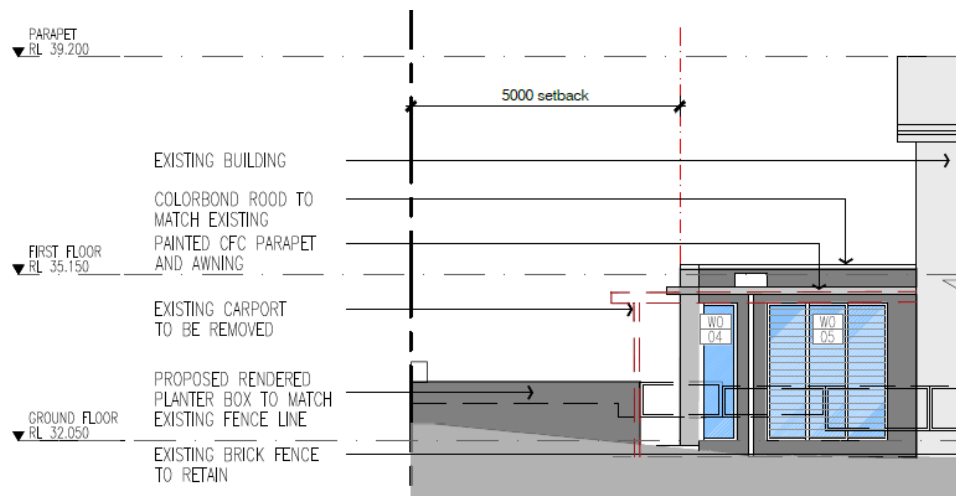


Street Elevation
Proposed South Elevation
Wyndora Avenue Elevation

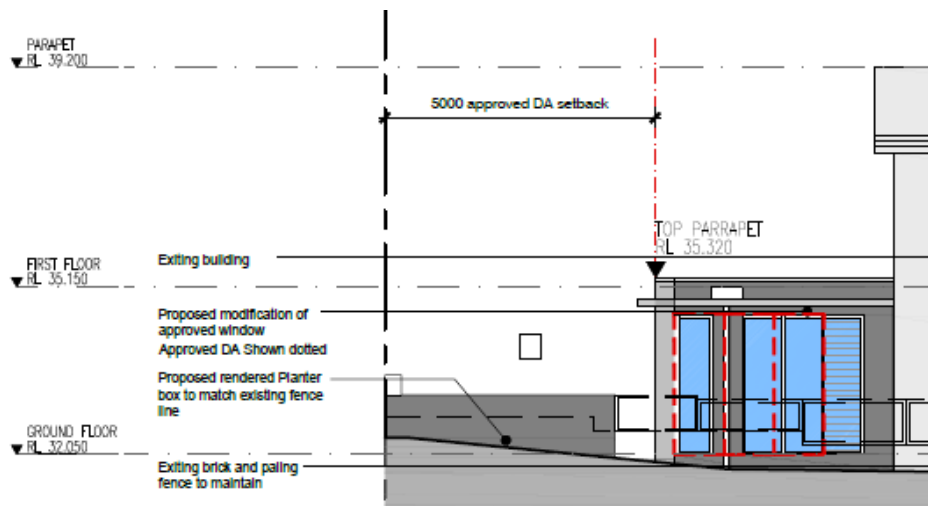


Street Elevation
Previous approved DA
Proposed South Elevation
Wyndora Avenue Elevation

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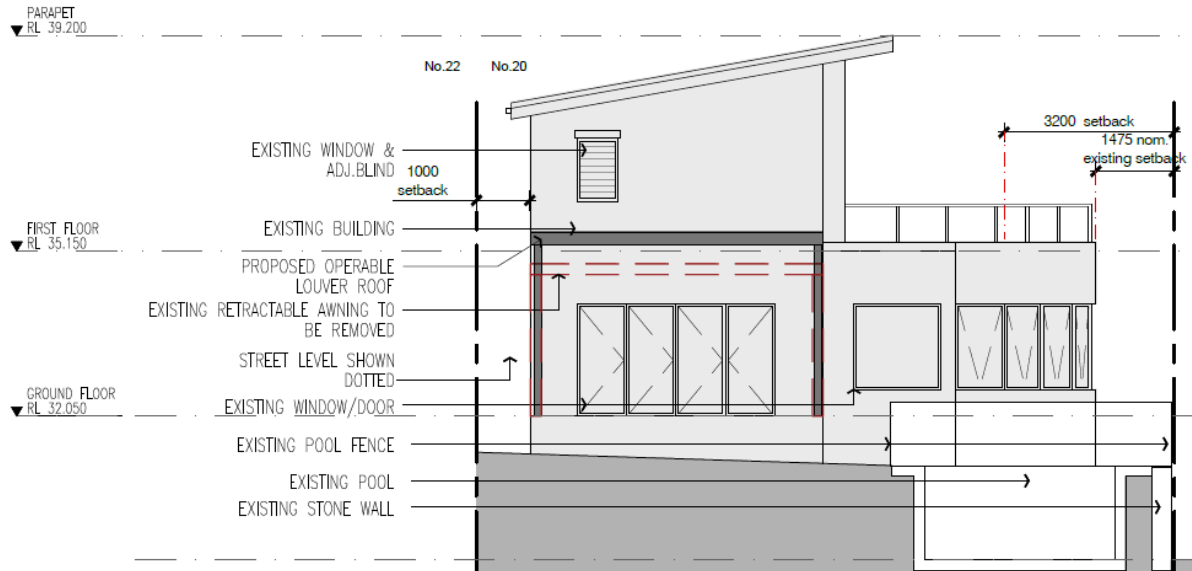


Proposed North Elevation



Previous approved DA
Proposed North Elevation

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Proposed West Elevation

Proposed North Elevation

- To enable planting to maintain and enhance the streetscape.
- To conserve and enhance indigenous vegetation, topographical features and habitat for wildlife.
- To provide for landscaped open space with dimensions that are sufficient to enable the establishment of low lying shrubs, medium high shrubs and canopy trees of a size and density to mitigate the height, bulk and scale of the building.
- To enhance privacy between buildings.
- To accommodate appropriate outdoor recreational opportunities that meet the needs of the occupants.
- To provide space for service functions, including clothes drying.
- To facilitate water management, including on-site detention and infiltration of stormwater.

3.0 Assessment Against relevant development standards.

Part B – built-form control	DCP 2011 Standard	Existing	Approved Previous DA	Proposed	Complies
B1: Wall height / Building Height	7.2/8.5	Wall height 6.6m Building height 7.1m	Wall height 3m	Wall height 3m	Yes
B2: Number of storeys	No relevant	2	2	2+ mezzanine	n/a
B3: side boundary envelope	Projecting planes at 45 degrees from 5m height above exiting ground at the side boundary	Yes	Yes	Yes	Yes
B4: site coverage (site area 490.3sqm)	The total building footprint must not cover more than 33.3% of the site area=163.3	Existing:197.3sqm (40%)	Approved 183.2sqm (37.3%)	183.2sqm (37.3%)	No* Improvement on exiting and previous DA
B5: Side boundary set back	0.9m	1m	1m	1m	Yes
B7: front boundary setback	Primary 6.5m (Wyndora Ave.)	1.475m	4.1m Mezzanine level	4.1m Mezzanine level	No** Greater than existing
	Secondary 3.5m (Carlton Street)	3.65m	5.0m	5.0m	Yes
B9: Rear setback	6m	10.94m	As existing	As existing	yes
Part D- design					
D1: Landscape open space	Minimum 40% 169.1sqm	39.3% 192.9sqm	37% 180.8sqm	37% 180.8sqm	No**
D2:private open space	Minimum 60sqm (min. dimension of 5m)	142.5sqm	As existing	As existing	yes

* Minor increase to existing

** Improvement on existing condition

This proposal only contains three non-compliances being the site coverage, landscape open space and a building setback control. On both items the proposal meets the objectives of those controls and goes further to improve the streetscape from the current presentation.

3.1 Site coverage

The DCP objectives to this control are;

- *To provide opportunities for the provision of landscaping and the enhancement of existing native vegetation.*
- *To minimise the bulk and scale of development.*
- *To reduce the stormwater runoff, preventing soil erosion and siltation of the natural drainage network.*
- *To limit impervious areas and encourage natural drainage into the sub-surface.*

The DCP Requirement is;

33.3% - the total building footprint(s) must not cover more than 33.3% of the site area,

The new proposal does not have a relevant modification from the approved DA

The approved proposal does not meet the numeric DCP control for site coverage as the building footprint will be 183.2sqm, which is 37.3% of the site area. However, this is an improvement of approx 14sqm from the existing site coverage which is 40% of the site area.

This has been achieved primarily by the removal of driveway between the existing carport and the Carlton St boundary and replacing the front area with a landscaped garden. This will naturally enhance the streetscape of Carlton St.

There is sufficient height between Wyndora Avenue and the upper level to ensure that the landscaped area above the garage can contain 1m of soil to support substantial vegetation growth.

Thus, the proposal meets the objectives of this control as it increases the amount of landscaping, has reduced the footprint of the building, reduces runoff and decreases the impervious area.



Showing the existing eastern landscaped area to Carlton St - original report graphic



Showing proposed landscaped area – note nature strip beyond boundary line will also be reinstated due to proposed removal of vehicular crossing – original report graphic

3.2 Front Boundary Setback – R2

This property is a corner allotment and has two street frontages. Whilst the street address is 20 Carlton St, the primary street frontage is clearly Wyndora Ave. The main factors in determining a primary street frontage are: which street the original pedestrian entry was located on and which street the front door was directed to. Other secondary factors include which street the vehicular access was designed to be accessed from and which street frontage the house is orientated towards. On all four points it is Wyndora Ave.

- Firstly, the front pedestrian access up until 2005 was off Wyndora Ave. The photo on the following page shows the original staircase set into the stone wall fronting Wyndora Ave. The next photo shows the pathway that leads up the front garden to the house



Original front entry stairs and pathway from Wyndora Ave – original report graphic

- Secondly, the pathway leads to the original front Door. This door was located facing Wyndora Ave.



original report graphic

- Thirdly, that the property until recently had its garage and vehicular entry off Wyndora Ave adjacent to the front entry steps.

- Fourthly, the house was clearly designed so as to address Wyndora Ave. The front door, the main fenestration, the balconies and room orientation are to Wyndora Ave to capture the views to the south. There is only one window that currently faces Carlton St which is a secondary highlight window on the later constructed upper level.

With regards to corner allotments and the determining of front setback controls, the DCP states that;

On corner allotments or sites with a double street frontage, where the minimum front building setback is 6.5 metres to both frontages, the front building setback may be reduced to a minimum of 3.5 metres for the secondary frontage, but secondary street variations must consider the character of the secondary street and the predominant setbacks existing to that street.

The objectives of that control are;

- To create a sense of openness.
- To maintain the visual continuity and pattern of buildings and landscape elements.
- To protect and enhance the visual quality of streetscapes and public spaces.
- To achieve reasonable view sharing.

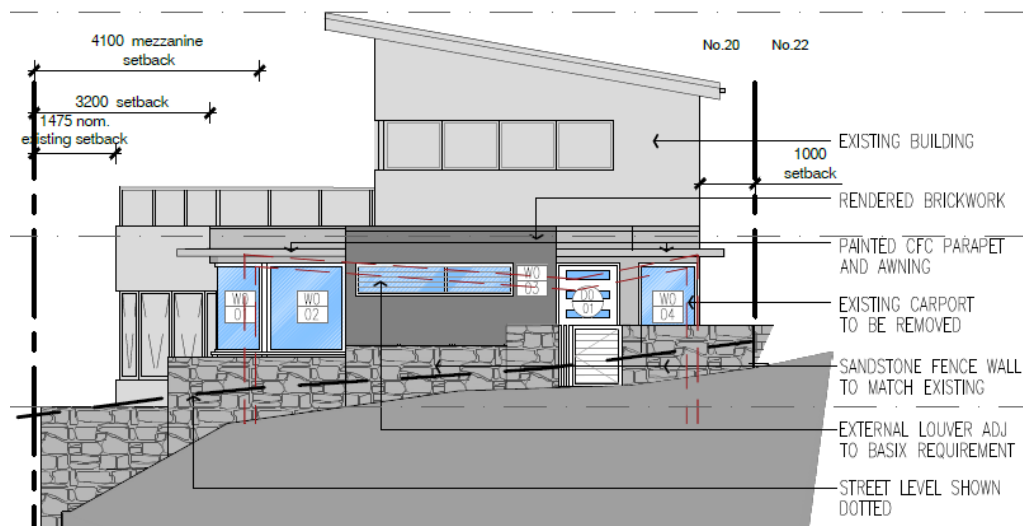
Primary Setback to Wyndora Ave

The current dwelling does not comply with the 6.5m primary street setback to Wyndora Ave. The current setback is just under 1.5m from the outer edge of the existing curved living room and approximately 4m from the main dwelling.

The approved DA bedroom/study where the current carport is with a corner window being 3.2m off this boundary.

A mezzanine level in addition of the approved DA will be setback 4.1m from the boundary and 0.9m off from the approved setback.

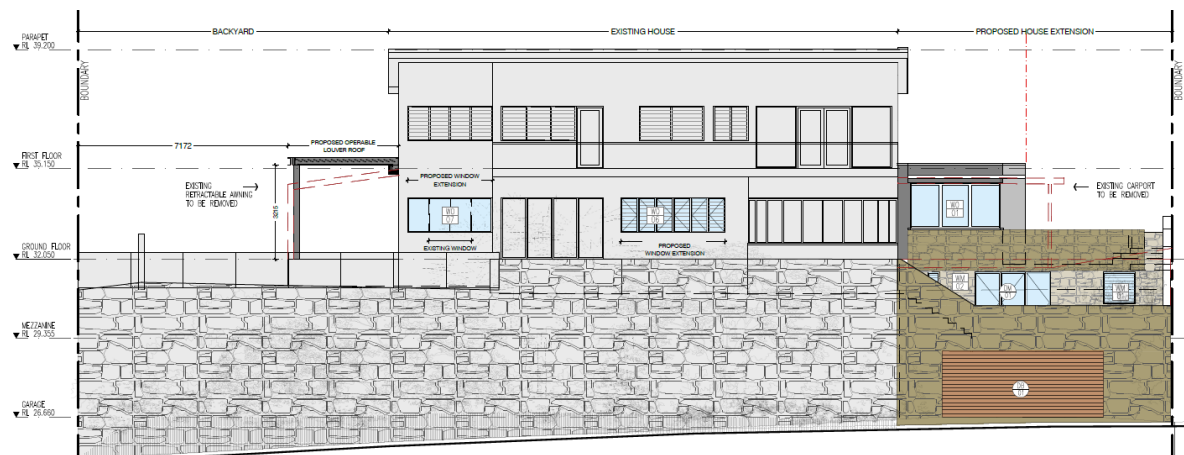
There is not change to the overall height of the building.



Proposed East Elevation

Secondary Setback to Carlton St

The setback to Carlton St maintained the approved setback of 5m and not extend further than the carport roof that currently exists. This is 3.65m from the Carlton (secondary St frontage) and complies with the 3.5m secondary street control. One of the main purposes of this proposal is to enhance the Carlton St presentation. The integrating of the built form into the overall design, the removal of the carport structures and vehicles from the site, the landscaping of the front garden area and the reinstatement of the grassed verge will vastly enhance the presentation to the street.



Proposed East Elevation

View sharing

In terms of views along Carlton St and from surrounding residences, the Approved and the new proposal will not have any adverse impact on these.

As a result, and irrespective of the fact that it is compliant with the setback control, the proposal will meet the objectives of the front setback controls to both streets as the proposal;

- *Will maintain the same sense of openness as currently exists*
- *Will enhance the visual continuity and pattern of buildings and landscape elements.*
- *Will protect and enhance the visual quality of streetscapes and public spaces.*
- *Will achieve reasonable view sharing.*

4.1 Flooding

The site is elevated and not subject to flooding.

4.2 Excavation/ Soil Erosion

The site is relatively flat and rock has been found approx 500mm below the existing ground level. The geotechnical investigations have determined that the excavation work required for the new garage will not have adverse impact on the existing and neighbouring property as the rock ensures the continued support of both.

4.3 Bushfire Hazard Risk

The site is not located in a bushfire zone.

4.4 Landscape

As addressed previously, the removal of the existing driveway and carport will allow for more space and opportunity to create a garden setting along Carlton Street frontage. This will enhance the current street appearance.

The crossover along Wyndora Avenue does not require the removal of any significant vegetation.

4.5 Streetscape/ Amenity of the Locality

Refer to previous assessment

4.6 Privacy

The approved and the new proposal has been designed to maximize privacy of the existing property as well as the adjoining properties.

The approved sandstone boundary wall on Carlton Street will provide privacy along the eastern garden, the new guestroom and study.

The side boundary fence will be no higher than the existing front fence but provide some level of privacy from the adjoining properties to the north.

The new proposed mezzanine level windows and terrace would not impact on the privacy of the adjoining properties.

4.7 Maintenance of Views

As discussed previously

4.8 Noise

There will be no noise impact to the adjoining properties.

4.9 Daylight/ Solar Access

The proposal is on the south side of the adjoining property, thus will not have any impact to the daylight/solar access of No.22 Carlton Street.

4.10 Waste Disposal Arrangements

All waste will be collected and disposed in the same manner as currently via council collection.

4.11 Stormwater Disposal

A downpipe from the proposed new single storey extension will be connected to the existing stormwater drain in a similar way to the collection of water off the current carport roof. The existing driveway will mostly be replaced with soft landscaping which will reduce run-off water.

4.12 Historical and archaeological aspects

The site is not listed as a heritage item nor is it located in a Conservation Area

4.13 Flora and Fauna

The site is not located in any of environmentally sensitive flora and fauna areas.

4.14 Acid Sulphate Soil/ Land Contamination

There has been no testing or assessment of the site for land contamination or acid sulphate soils. However it has always been used for residential purposes and due to its elevated position acid sulphate soils would be extremely unlikely to be encountered on this site.

5.0 CONCLUSION

This proposal has been assessed against all of the relevant policies and guidelines. We believe the proposal meets all the objectives of the LEP and DCP. We believe the proposal will enhance the local area and in particular to the desired