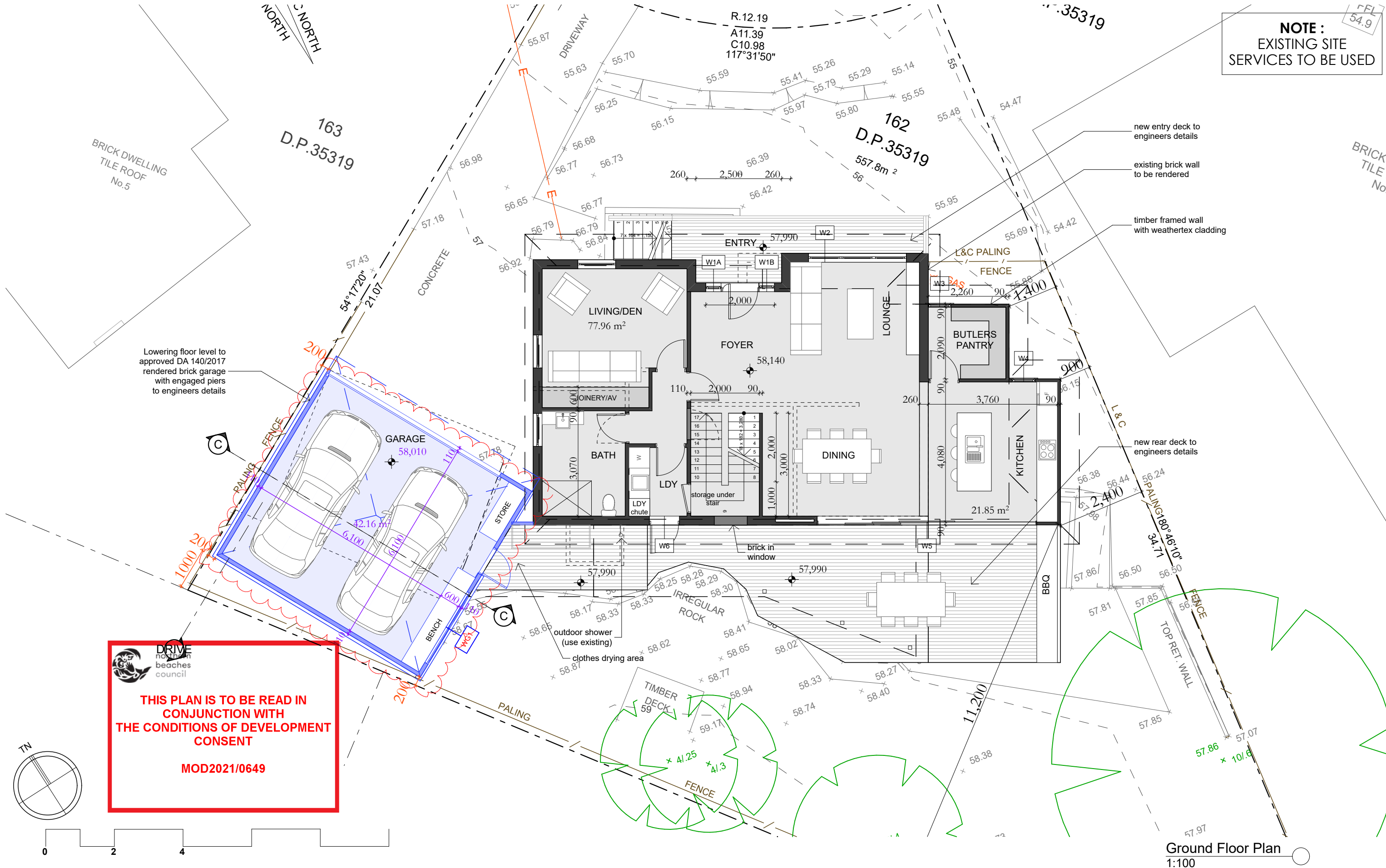
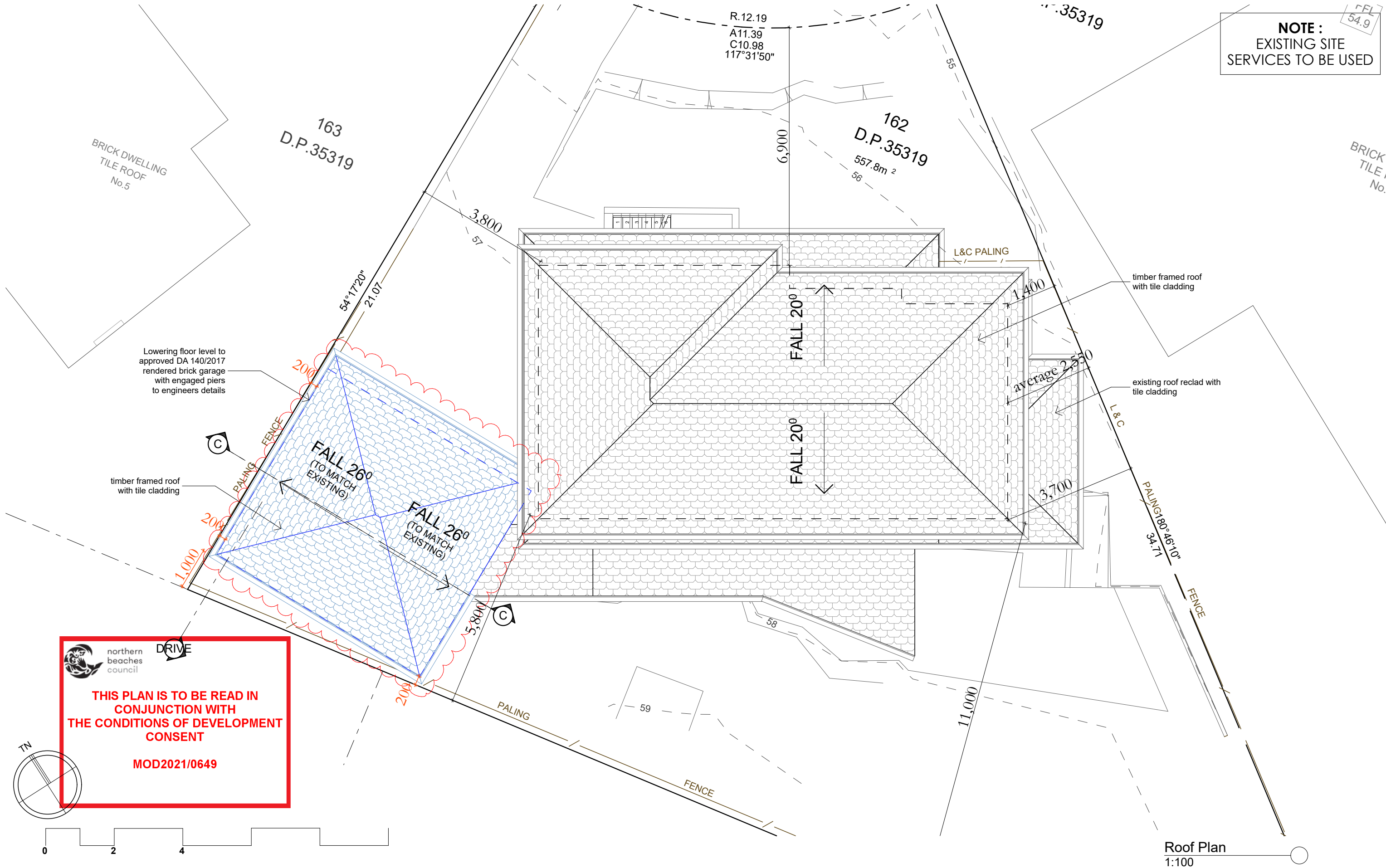




NOTE :
EXISTING SITE
SERVICES TO BE USED

Ground Floor Plan
1:100

<table><tr><td>Date :</td><td>Issue :</td><td>Description :</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>			Date :	Issue :	Description :													The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.			 Upstairs Design & Building Co. a p e STUART KELMAN 7 BRINAWA STREET MONA VALE NSW 2103 (02) 9979 4599 0402 902 296 info@upstairsdesign.com.au			Project : Alterations & Additions C4.55 4 Arabanoo St, Seaforth Lot 162 DP35319 - 557.8m² Client : Private Residence Drawing : - Ground Floor Plan    = Proposed Work = clause 4.55 = Existing			Drawn/Designed : PB Project Number : 1651 Drawing No. : C4.55-4 Date : 060621 Scale : 1:100 @ A3 Issue :		
Date :	Issue :	Description :																											



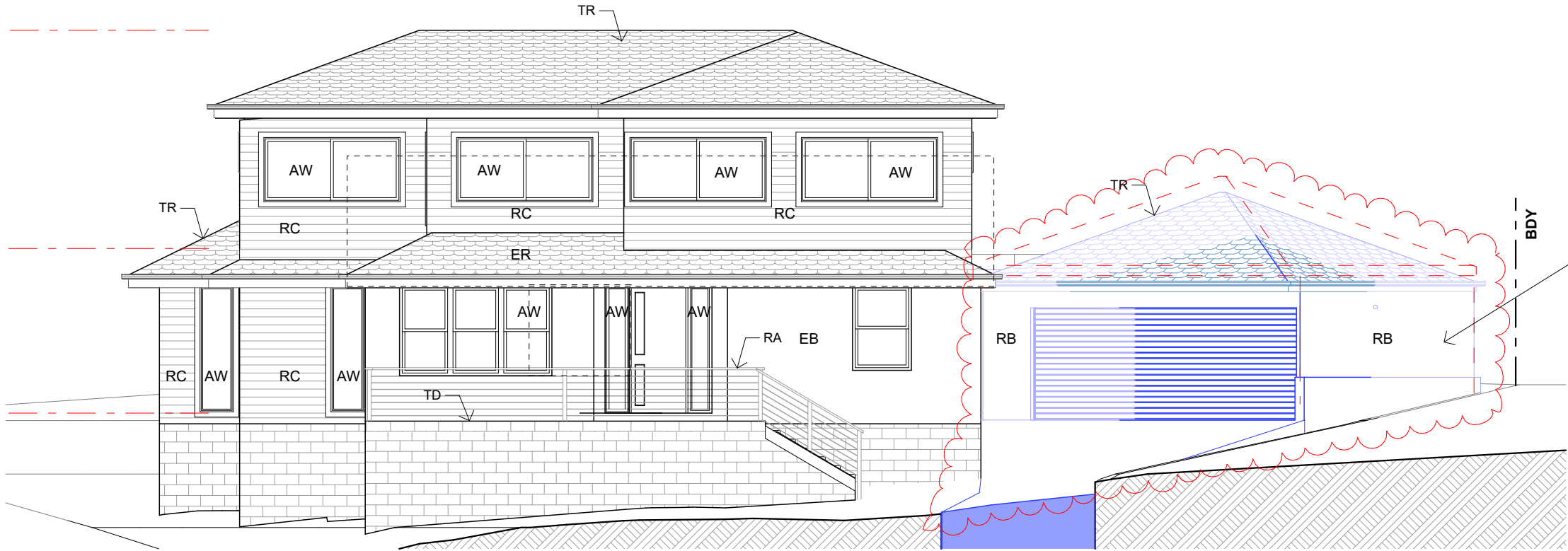
RL +65,600
Ridge

RL +61,220
First Floor

RL +58,140
Ground Floor

NOTE :
EXISTING SITE
SERVICES TO BE USED

Lowering floor level to
approved DA 140/2017
rendered brick garage
with engaged piers
to engineers details



North Elevation
1:100

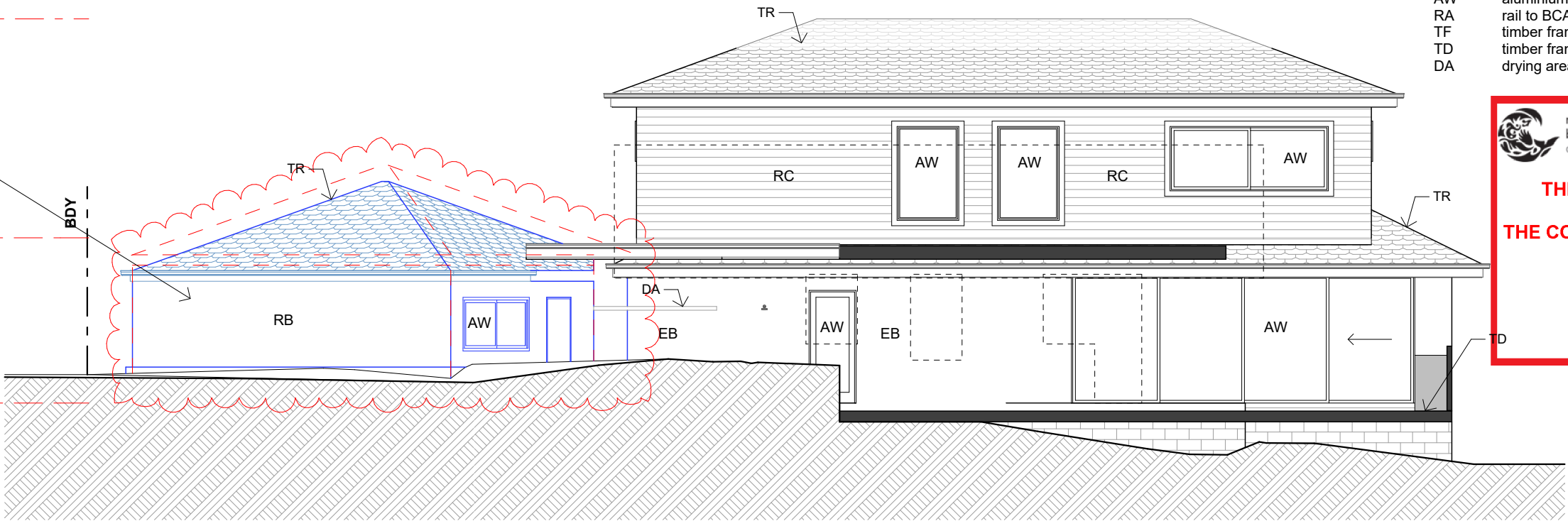
- TR timber framed roof with tile cladding
- ER reclad existing roof with tile cladding
- RC timber framed wall with weathertex cladding
- EB render existing brickwork
- RB rendered brickwork
- AW aluminium window
- RA rail to BCA
- TF timber framed floor to engineers details
- TD timber framed deck to engineers details
- DA drying area

RL +65,600
Ridge

Lowering floor level to
approved DA 140/2017
rendered brick garage
with engaged piers
to engineers details

RL +61,220
First Floor

RL +58,140
Ground Floor



South Elevation
1:100



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2021/0649



Date :	Issue :	Description :

The builder shall check and
verify all dimensions and
verify all errors and
omissions to the Architect.
Do not scale the drawings.
Drawings shall not
be used for construction
purposes until issued by the
Architect for construction.



Upstairs Design
& Building Co.

a
p
e

STUART KELMAN
7 BRINAWA STREET
MONA VALE
NSW 2103
(02) 9979 4599
0402 902 296
info@upstairsdesign.com.au

Project : Alterations & Additions
C4.55
4 Arabanoo St, Seaforth
Lot 162 DP35319 - 557.8m2
Client : Private Residence
Drawing : - Elevations N S

= Proposed Work
 = clause 4.55
 = Existing

Drawn/Designed : PB

Project Number : 1651

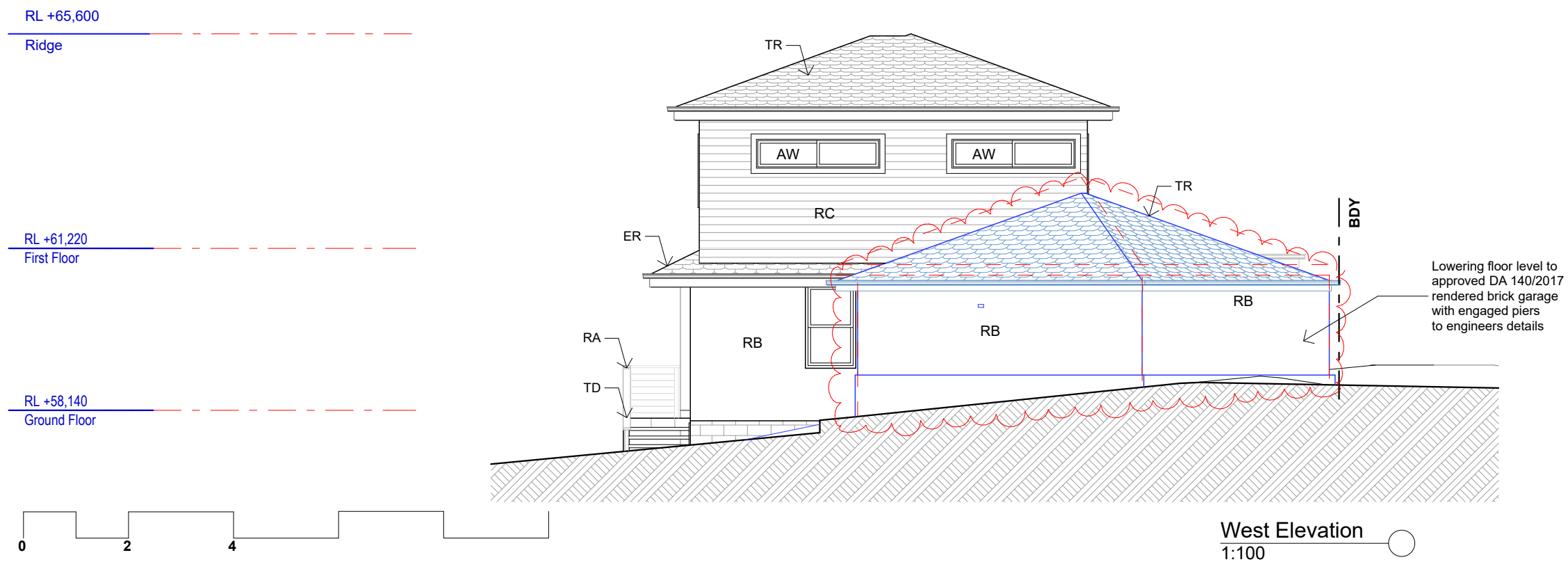
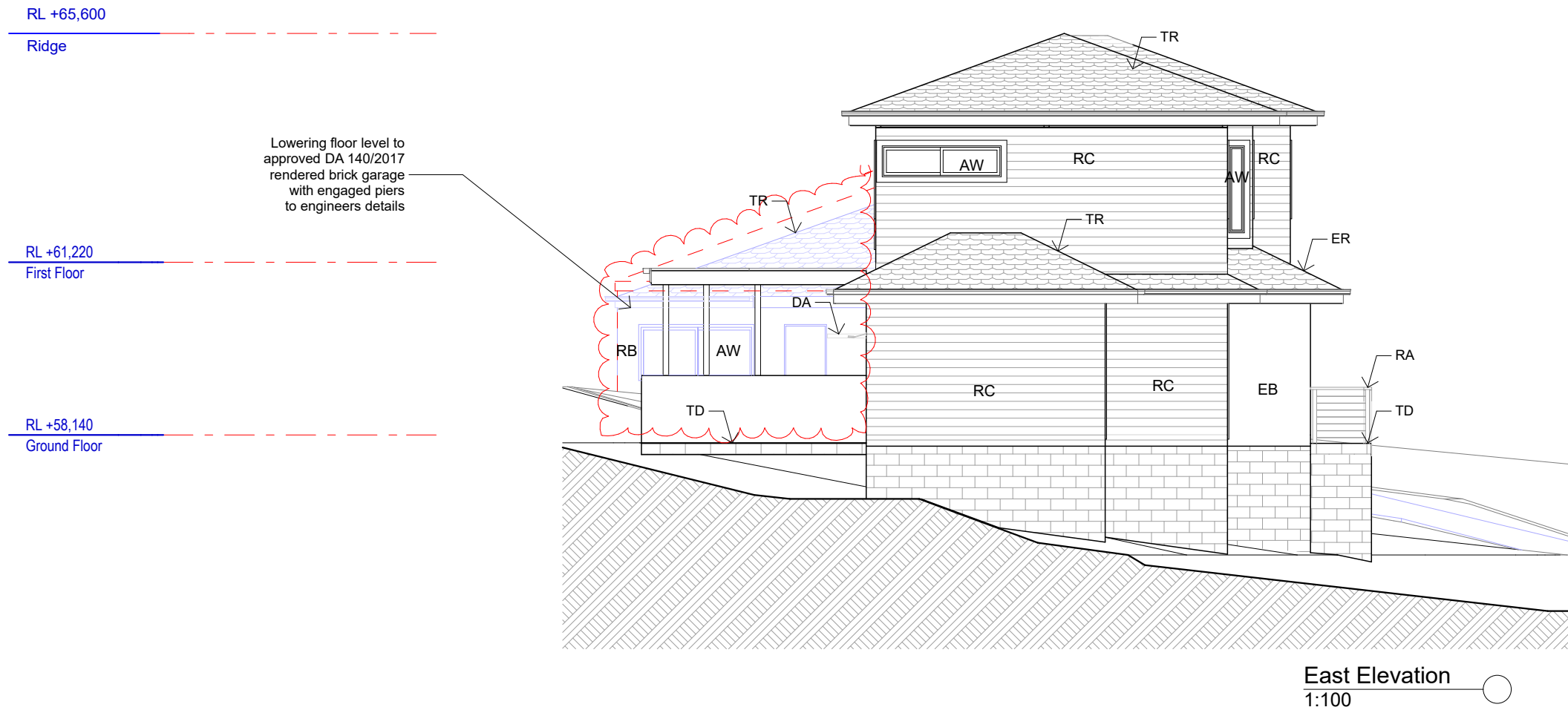
Drawing No. : **C4.55-7**

Date : 060621

Scale : 1:100 @ A3

Issue :

NOTE :
EXISTING SITE
SERVICES TO BE USED



TR	timber framed roof with tile cladding
ER	reclad existing roof with tile cladding
RC	timber framed wall with weathertex cladding
EB	render existing brickwork
RB	rendered brickwork
AW	aluminium window
RA	rail to BCA
TF	timber framed floor to engineers details
TD	timber framed deck to engineers details
DA	drying area



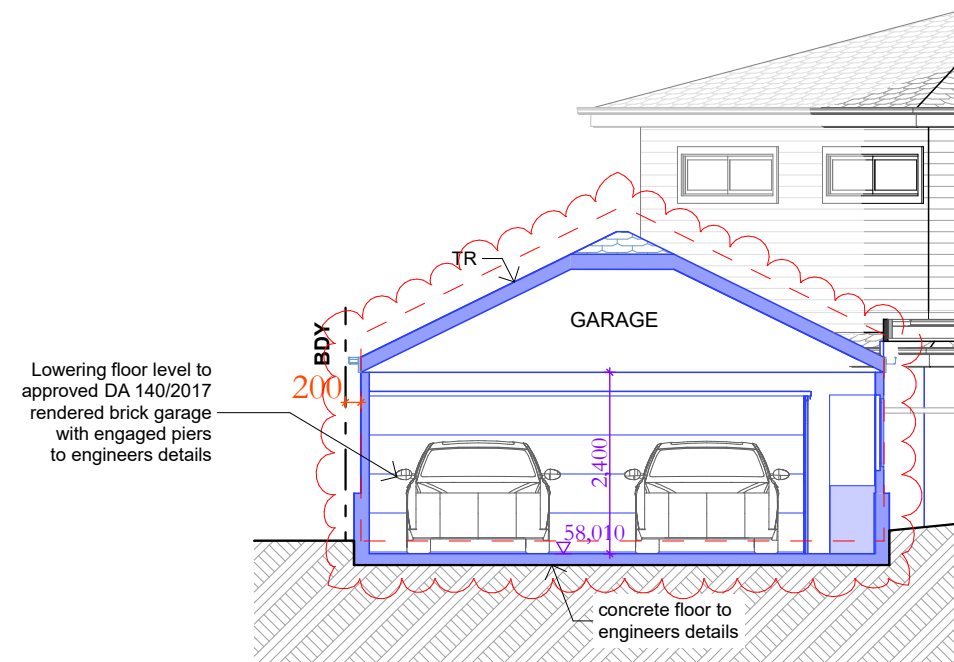
northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

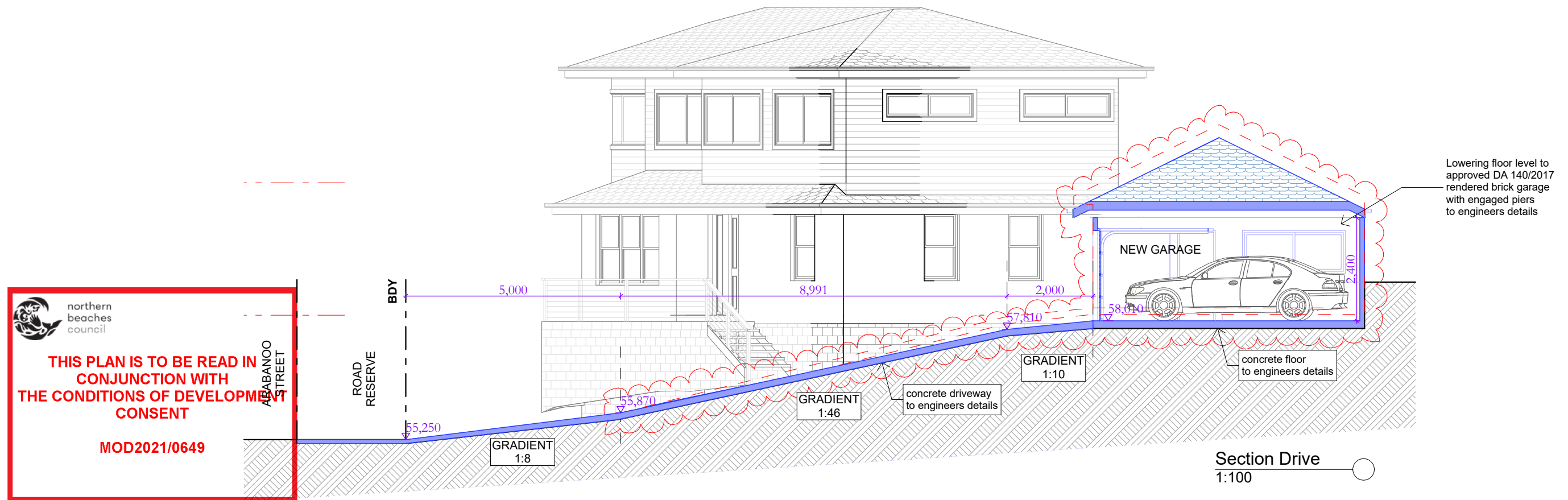
MOD2021/0649

Date : Issue : Description :			The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction. STUART KELMAN 7 BRINAWA STREET MONA VALE NSW 2103 (02) 9979 4599 0402 902 296 info@upstairsdesign.com.au			Project : Alterations & Additions C4.55 4 Arabanoo St, Seaforth Lot 162 DP35319 - 557.8m2 Client : Private Residence Drawing : Elevations E W = Proposed Work = clause 4.55 = Existing			Drawn/Designed : PB Project Number : 1651 Drawing No. : C4.55-8 Date : 060621 Scale : 1:100 @ A3 Issue :		
--	--	--	--	--	--	--	--	--	--	--	--

NOTE :
EXISTING SITE
SERVICES TO BE USED



Section C-C
1:100



Section Drive
1:100



Date :	Issue :	Description :

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.



Upstairs Design
& Building Co.

a
p
e

STUART KELMAN
7 BRINAWA STREET
MONA VALE
NSW 2103
(02) 9979 4599
0402 902 296
info@upstairsdesign.com.au

Project : Alterations & Additions
C4.55

4 Arabanoo St, Seaforth
Lot 162 DP35319 - 557.8m2

Client : Private Residence

Drawing : - Sections C-C, Drive

 = Proposed Work
 = clause 4.55
 = Existing

Drawn/Designed : PB

Project Number : 1651

Drawing No. : **C4.55-9**

Date : 060621

Scale : 1:100 @ A3

Issue :