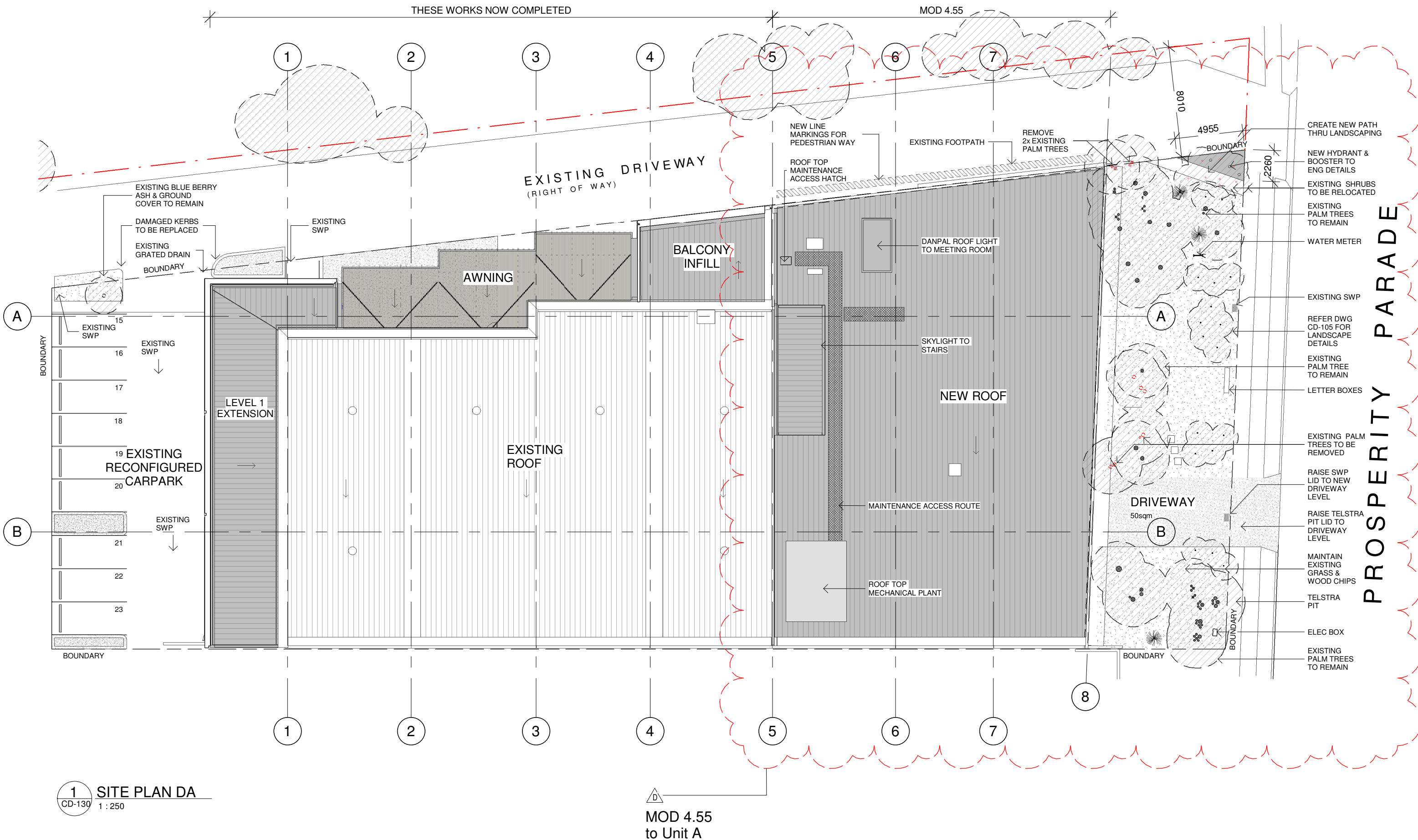




1 SITE PLAN DA
CD-130 1 : 250

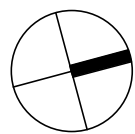
MOD 4.55
to Unit A

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D	19/07/21	MOD 4.55
C	18/06/21	MOD 4.55 - CLIENT REVIEW
B	26.03.18	DA ISSUE
A	02.03.18	Issue to Client
Issue	Date	Amendment

North Point



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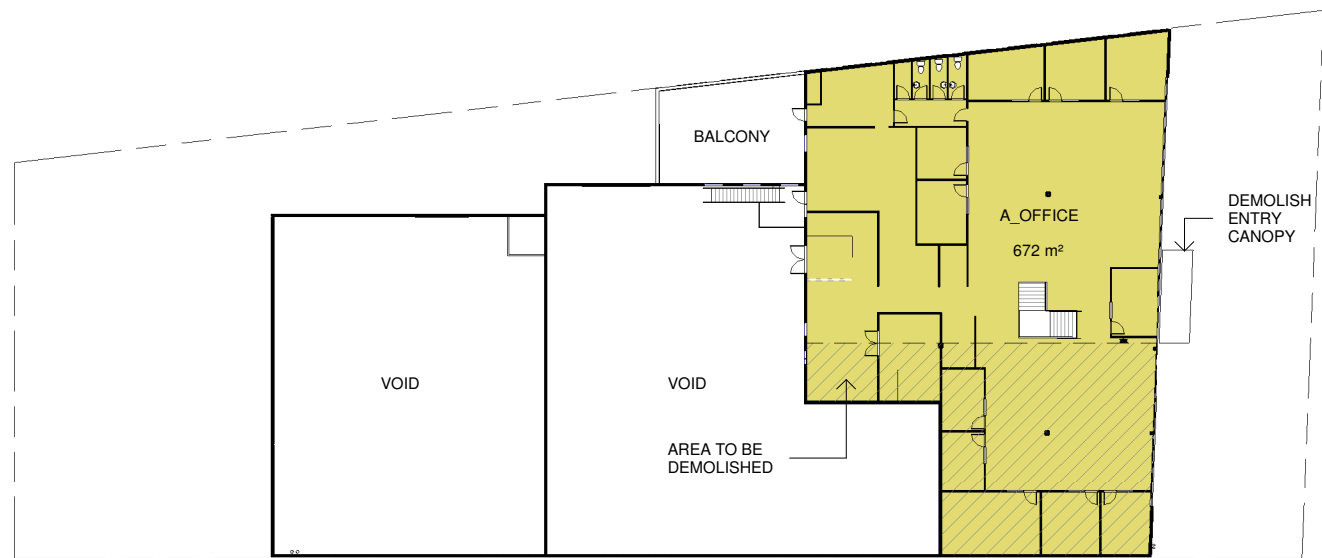
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Project Prosperity Parade
Client Objective Property
Address 6 Prosperity Parade

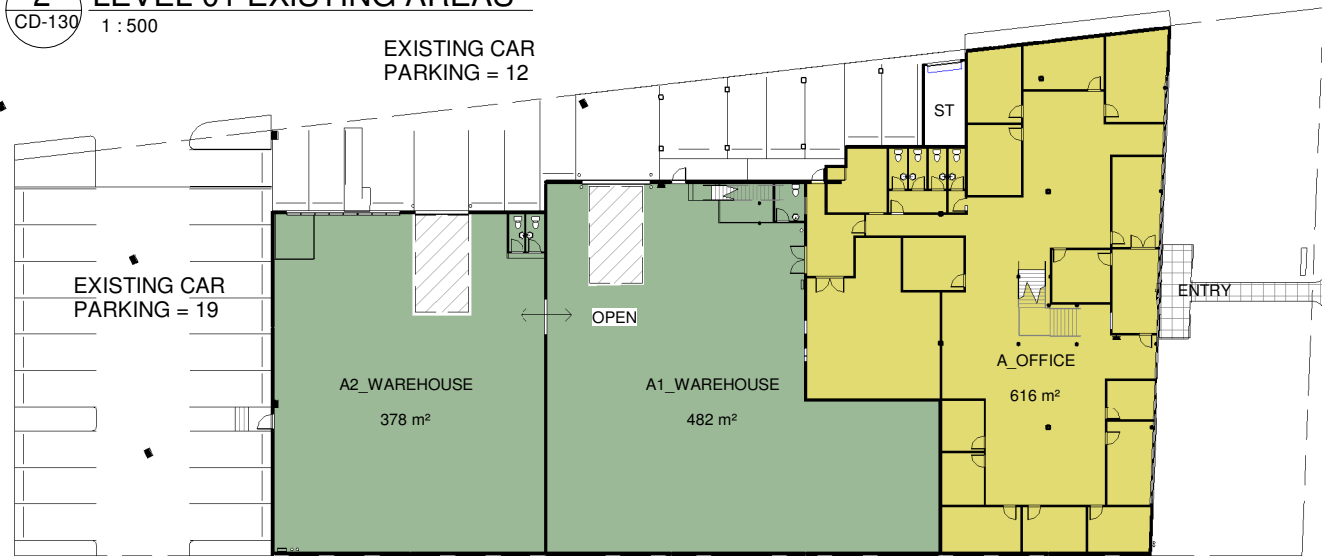
Design Stage MOD 4.55
Title SITE PLAN

Job No 346-03 Drawing no.
Drawn GV DA-102
Checked MFB Issue
Scale 1 : 250 D

2/08/2021 3:30:03 PM



2 LEVEL 01 EXISTING AREAS
CD-130 1 : 500



TOTAL CAR PARKING = 31

1 GROUND FLOOR EXISTING AREAS
CD-130 1 : 500

- OFFICE A
- OFFICE B
- OFFICE C
- WAREHOUSE A
- WAREHOUSE B
- WAREHOUSE C

AREAS - EXISTING		
Name	Area	Level
A_OFFICE	616 m²	GROUND FLOOR
A_OFFICE	672 m²	LEVEL 01
OFFICE: 2	1287 m²	
A1_WAREHOUSE	482 m²	GROUND FLOOR
A2_WAREHOUSE	378 m²	GROUND FLOOR
WAREHOUSE: 2	860 m²	
Grand total: 4	2147 m²	

GFA & FSR ANALYSIS	
SITE AREA	= 2,680m²
EXISTING GFA (EXC LOADING AREA)	= 2,147m²
EXISTING FSR	= 45m²
ALLOWABLE FSR	= 0.80 : 1
PROPOSED GFA (EXC LOADING AREA)	= 2,299m²
PROPOSED FSR	= 90m²
TOTAL GFA INCREASE	= 152m²

CARPARK ANALYSIS	
OFFICE	= 800m² @ 1/40m² = 20
WAREHOUSE	= 1,499m² @ 1/300m² = 5
ONSTREET PARKING LOSS OFFSET	= 1
REQUIRED CAR SPACES	= 26
APPROVED CAR SPACES (PREVIOUS DA)	= 34
ACTUAL CAR SPACES (CURRENTLY ON SITE)	= 31
PROPOSED CAR SPACES	= 26
TOTAL CAR SPACE REDUCTION	= 5

AREAS - PROPOSED			
Name	Area	Level	Department
A.1_WAREHOUSE	684 m²	GROUND FLOOR	WAREHOUSE A
B_WAREHOUSE	384 m²	GROUND FLOOR	WAREHOUSE B
C_WAREHOUSE	355 m²	GROUND FLOOR	WAREHOUSE C
GROUND FLOOR: 3	1423 m²		
A_OFFICE	454 m²	LEVEL 01	OFFICE A
B_OFFICES	201 m²	LEVEL 01	OFFICE B
C_OFFICES	145 m²	LEVEL 01	OFFICE C
A.1_WAREHOUSE	76 m²	LEVEL 01	WAREHOUSE A
LEVEL 01: 5	876 m²		
Grand total: 8	2299 m²		

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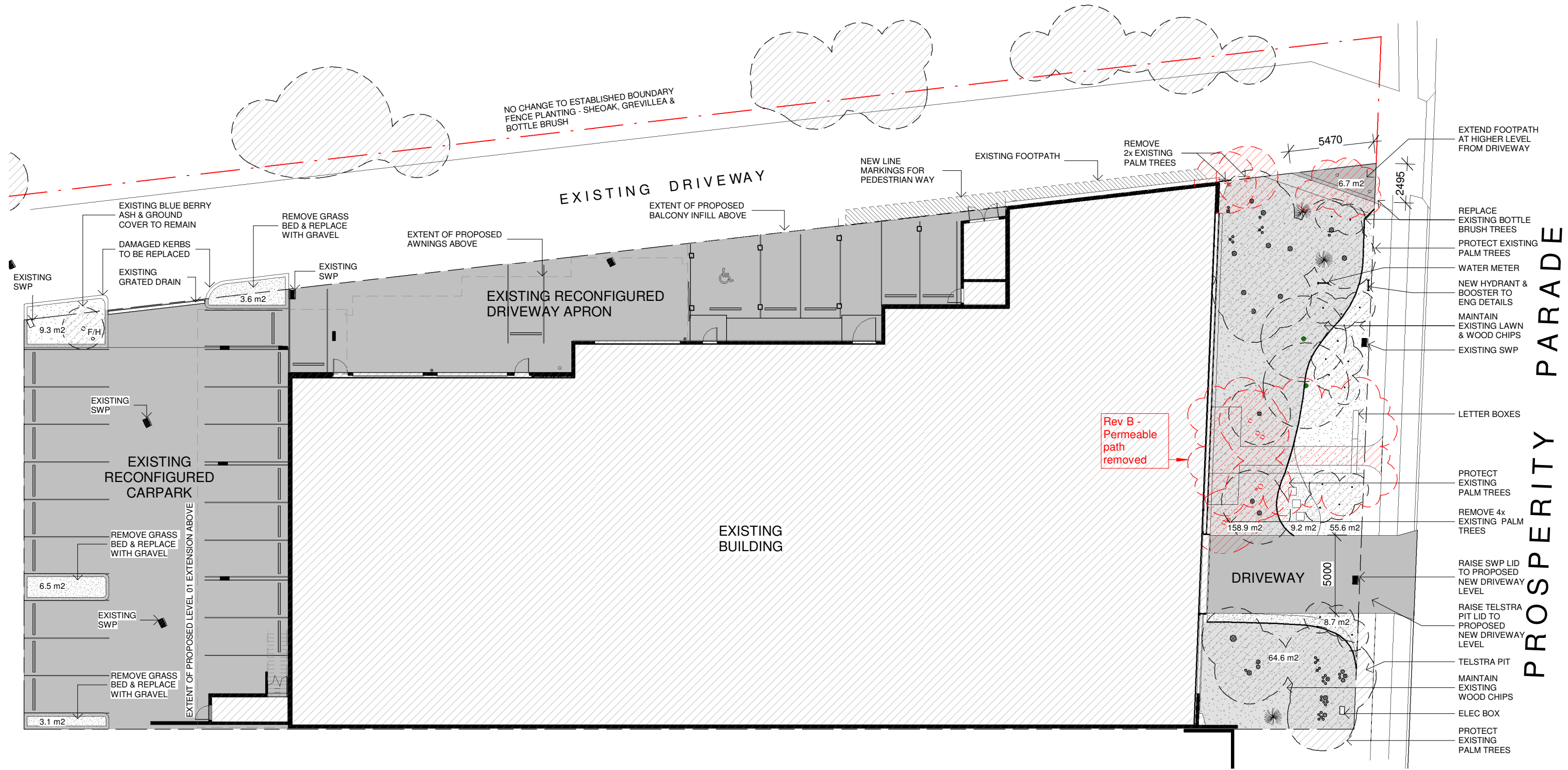
G	29/07/21	Mod 4.55
F	27/07/21	Mod 4.55
E	26/07/21	Mod 4.55
D	19/07/21	MOD 4.55
Issue	Date	Amendment

North Point
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Project Prosperity Parade
Client Objective Property
Address 6 Prosperity Parade

Design Stage MOD 4.55
Title Area Schedule

Job No 346-03
Drawing no. DA-103
Drawn gv
Checked MfB
Scale As indicated
G



%	Areas	KEY
11%	288.5 m ²	SOFTSCAPE (GRASS/ WOOD CHIPS)
0%	0 m ²	PERMEABLE PAVING
1%	31 m ²	PERMEABLE GRAVEL
29%	765.7 m ²	HARDSCAPE (NON-PERMEABLE)
59%	1594.8 m ²	BUILT FORM (NON-PERMEABLE)
100%	2680 m ²	SITE AREA

- TREES TO BE RETAINED
- TREES TO BE REMOVED
- PROPOSED TREES

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A	26.03.18	DA ISSUE
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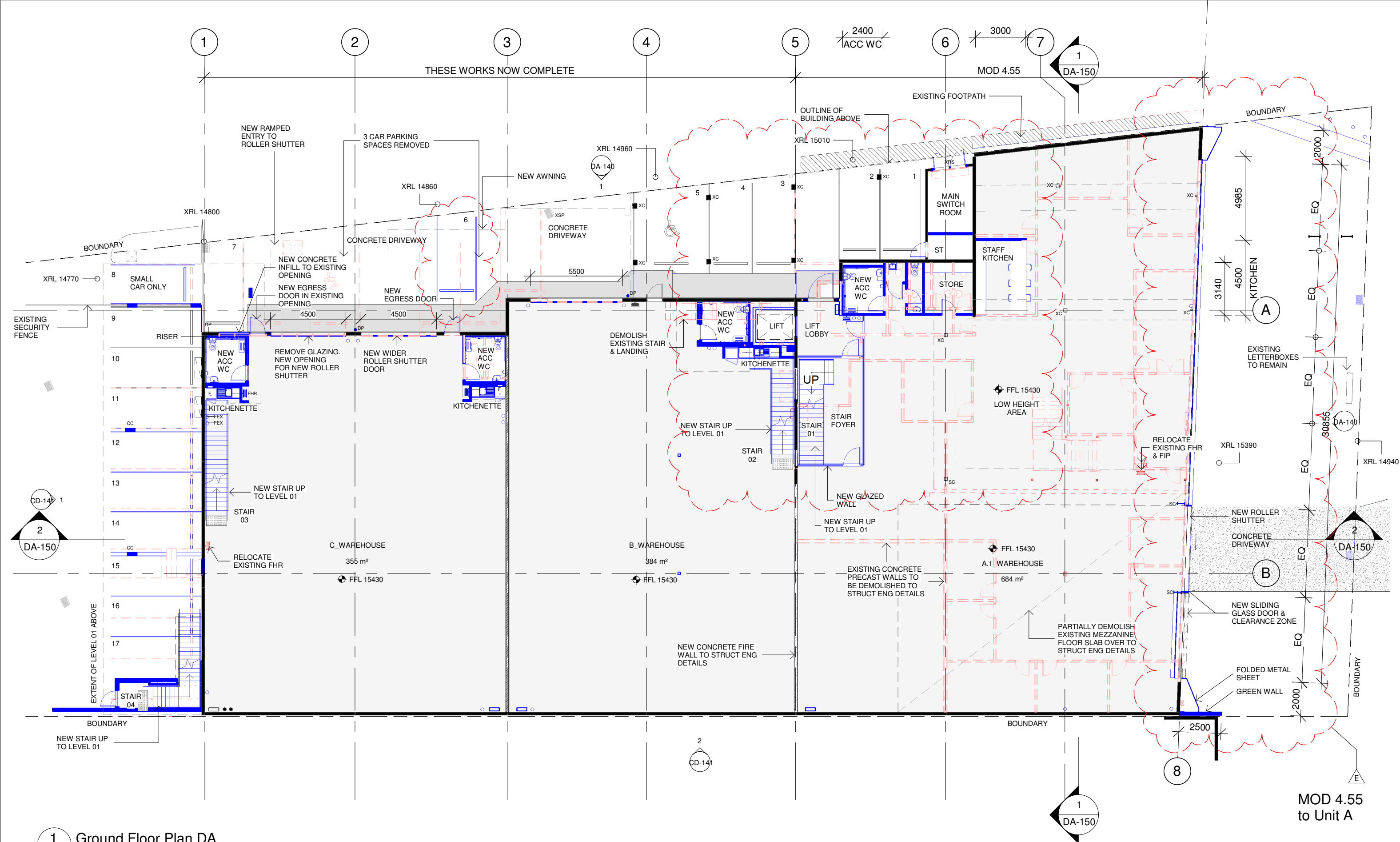
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Project	Prosperity Parade
Client	Objective Property
Address	6 Prosperity Parade

Design Stage	MOD 4.55
Title	LANDSCAPE SITE PLAN

Job No	346-03	Drawing no.
Drawn	Author	DA-105
Checked	Checker	Issue
Scale	1 : 250	B



1 Ground Floor Plan DA
1 : 200

General Notes:

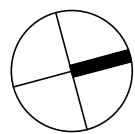
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E
D
C
B
Issue

19/07/21
13/07/21
18/06/21
26.03.18
Date

MOD 4.55
MOD 4.55 - CLIENT REVIEW
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DA ISSUE
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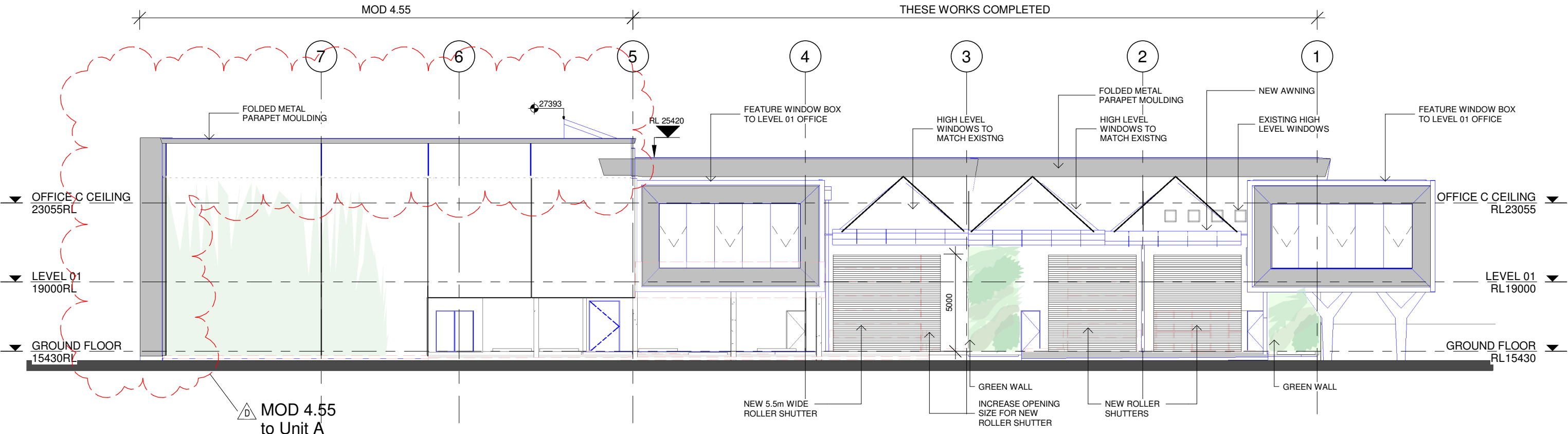
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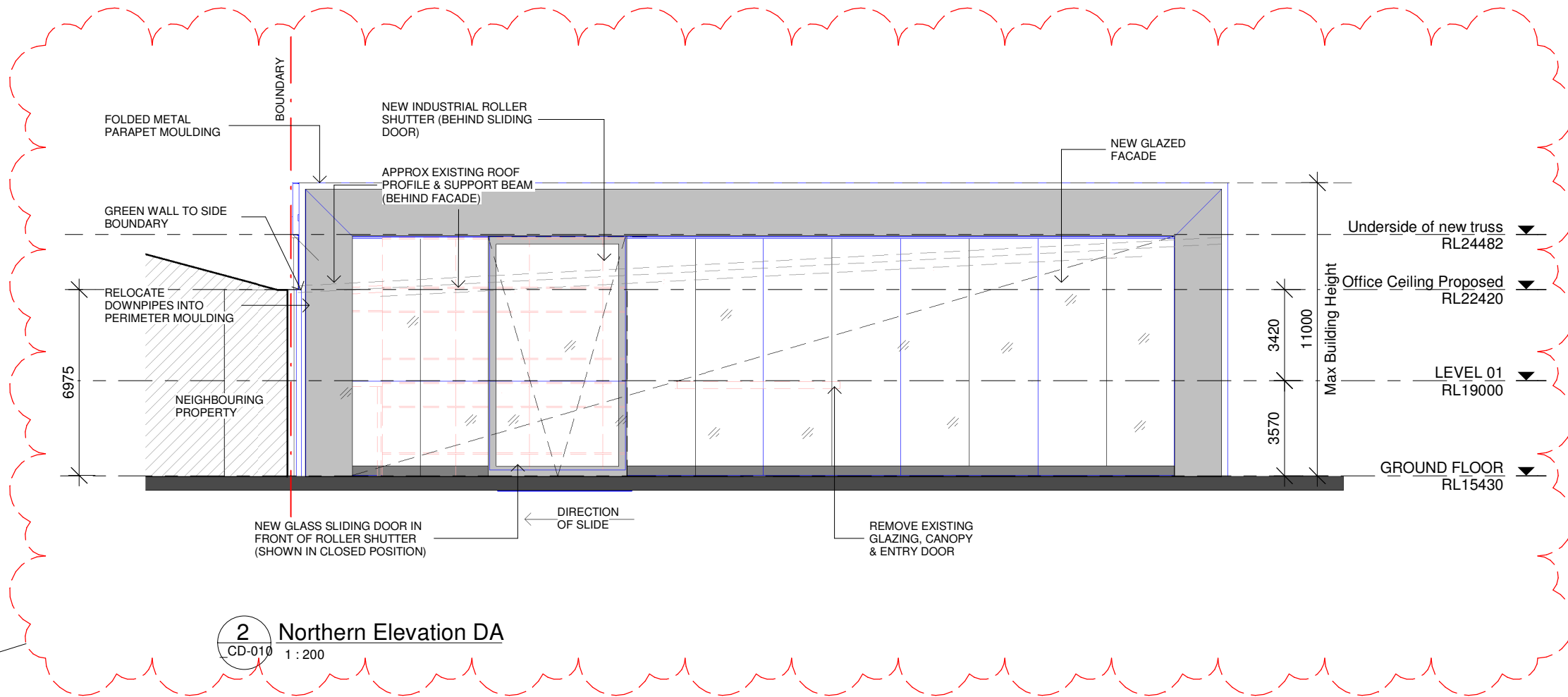
Design Stage MOD 4.55
Title PROPOSED GROUND FLOOR

Job No 346-03
Drawn GV
Checked MFB
Scale 1 : 200
Drawing no. DA-120
Issue E

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1 Western Elevation DA
CD-010 1 : 200



MOD 4.55 to Unit A

2 Northern Elevation DA
CD-010 1 : 200

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Project	Prosperity Parade
Client	Objective Property
Address	6 Prosperity Parade

Design Stage	MOD 4.55
Title	Proposed Elevations - Sheet 1

Job No	346-03	Drawing no.
Drawn	GV	DA-140
Checked	MFB	Issue
Scale	1 : 200	D



1 VIEW TOWARDS N-W CORNER



2 VIEW TOWARDS S-W CORNER

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Project Prosperity Parade

Client Objective Property

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Design Stage MOD 4.55

Title 3D Views - Sheet 1

Job No 346-03 Drawing no.

Drawn HC DA-160

Checked MB Issue

Scale D